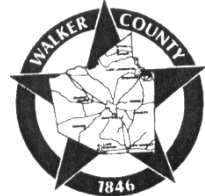




**MINUTES for Walker County Commissioners Court
REGULAR SESSION**
Monday, December 15, 2025, 9:00 a.m.



CALL TO ORDER

Be it remembered, Commissioners Court of Walker County was called to order by County Judge, Colt Christian at 9:00 a.m. in Commissioners Courtroom, 1st Floor, 1100 University Avenue, Huntsville Texas.

County Judge	Colt Christian	Present
Precinct 1, Commissioner	Danny Kuykendall	Present
Precinct 2, Commissioner	Ronnie White	Present
Precinct 3, Commissioner	Bill Daugeette	Present
Precinct 4, Commissioner	Brandon Decker	Present

County Judge, Colt Christian stated a quorum was present. County Clerk, Kari French, certified the notice of the meeting was given in accordance with Section 551.001 of the Texas Government Code.

GENERAL ITEMS

Pledge of Allegiance and Texas Pledge were performed.
Prayer was led by Pastor, James Ray Necker.

CITIZENS INPUT

None

CONSENT AGENDA

1. Approve minutes from Commissioners Court Regular Session held on December 1, 2025.
2. Approve Disbursement Report for the period of 11/25/2025 – 12/15/2025.
3. Receive financial information as of December 8, 2025, for the fiscal year ending September 30, 2026.
4. Approve payment of claims and invoices submitted for payment.
5. Receive Justice of the Peace Precinct 1 Report for October 2025.
6. Receive Justice of the Peace Precinct 2 Report for October 2025.
7. Receive Justice of the Peace Precinct 3 Report for October 2025.
8. Receive Justice of the Peace Precinct 4 Report for October 2025.
9. Receive resignation letter from Joe Connell, CERT Coordinator.
10. Approve Order 2026-19, Treasurer Report for October 2025.
11. Approve transfer and disposal of FAS# 12421, Dell OptiPlex 7040 – County Judge by auction or disposal.
12. Approve transfer and disposal of FAS# 12286, Dell Tablet Latitude 7202 – County Judge by auction or disposal.
13. Approve transfer and disposal of FAS# 12190, Dell OptiPlex 9020 – County Judge by auction or disposal.
14. Approve transfer of FAS# 11881, Dell OptiPlex 9020 – County Judge by auction or disposal.
15. Approve transfer and disposal of FAS# 12188, Dell OptiPlex 9020 – Constable Pct. 2 by auction or disposal.

Judge Christian asked to pull item 9 for discussion.

MOTION: Made by Commissioner Daugeette to **APPROVE** Consent Agenda with correction to December 1, 2025 Minutes and item 9 pulled for discussion.
SECOND: Made by Commissioner White.
VOTE: Motion carried unanimously.

- (9.) Receive resignation letter from Joe Connell, CERT Coordinator.
Judge Christian presented Mr. Connell with a plaque and thanked him for his service.

MOTION: Made by Judge Christian to **APPROVE** resignation letter from Joe Connell, CERT Coordinator.
SECOND: Made by Commissioner White.
VOTE: Motion carried unanimously.

STATUTORY AGENDA

Jail

Captain Davila presented information.

16. Discuss and take action to purchase tire changer and tire balancer equipment for mechanic shop at the Jail.

MOTION: Made by Commissioner White to **APPROVE** to purchase a tire changer and balancer equipment for mechanic shop at the Jail in an amount not to exceed \$ 8,400.00 from project contingency.
SECOND: Made by Commissioner Daugette.
VOTE: Motion carried unanimously.

Commissioner Decker recused himself from Executive Session and item 17 at 9:06 a.m.

EXECUTIVE SESSION

ACTION: County Judge, Colt Christian called Executive Session at 9:06 a.m. under **Section 551.071 for item 17.**

ACTION: County Judge, Colt Christian reconvened back in to Regular Session at 9:25 a.m.

Tax Assessor-Collector

Diana McRae presented information.

17. Discuss and take action on regarding redistricting following the 89th Legislature, 2nd Called Session.

MOTION: Made by Commissioner White to **APPROVE** redistricting following the 89th Legislature, 2nd Called Session with Option B on proposed map all proposed maps presented in Court.
SECOND: Made by Commissioner Daugette.
VOTE: Motion carried unanimously.

Commissioner Decker returned to the meeting at 9:30 a.m.

Information Technology

Dan Early via Zoom spoke regarding item.

18. Discuss and take action to authorize Microsoft True-Up/Enterprise Update Statement with no changes to close out year 2 of 3 on the Microsoft Licensing Agreement.

MOTION: Made by Commissioner Daugette to **APPROVE** to authorize Microsoft True-Up/Enterprise Update Statement with no changes to close out year 2 of 3 on the Microsoft Licensing Agreement.
SECOND: Made by Commissioner Kuykendall.
VOTE: Motion carried unanimously.

Maintenance

Larry Whitener presented information.

19. Update on HEARTS flooding issues.

ACTION: Update the County Maintenance assistance with HEARTS Museum.

Purchasing

Cheryl Cowart presented information.

20. Discuss and take action on award of solicitation C2360-26-011, Financial Advisor.

ACTION: Pass at this time for information during Workshop.

21. Discuss and take action on the purchase and payment of a used 2000-gallon Etnyre Asphalt Distributor with 22' spray bar from RB Everett & Company in the amount not to exceed \$217,500.00 through BuyBoard Contract 788-25 using funds as designated by Commissioner's Court.

MOTION: Made by Commissioner Decker to APPROVE the purchase and payment of a used 2000-gallon Etnyre Asphalt Distributor with 22' spray bar from RB Everett & Company in the amount not to exceed \$ 217,500.00 through Buyboard Contract 788-25 using funds as designated by Commissioner's Court as follows: \$ 100,000.00 form Road and Bridge General and the balance from Weigh Station Maintenance, subject to the review of the Buyboard Contingency policy and the State Purchasing policy from the County Attorney and inspection by Commissioner Decker and Commissioner Daugette today.

SECOND: Made by Commissioner Daugette.

VOTE: Motion carried unanimously.

22. Discuss and take action on the purchase and payment of John Deere Jet Machine 4020T with pump and trailer in the amount of \$4,000.00 for R&B 4 using budgeted funds.

MOTION: Made by Commissioner Decker to APPROVE the purchase and payment of John Deere Jet Machine 4020T with pump and trailer in the amount of \$4,000.00 for R&B 4 using budgeted funds.

SECOND: Made by Commissioner Daugette.

VOTE: Motion carried unanimously.

23. Discuss and take action on the purchase of (2) two Franklin A70 Devices at \$0.00 on the monthly rate plan of FirstNet Unlimited; Wi-Fi Data Service \$30.00 per month through AT&T FirstNet to be paid from Road and Bridge Weigh Station Project Funds.

DPS Corporal was present for questions. Discussion with the Court.

ACTION: PASS at this time for more options.

Auditor

Patricia Allen presented information.

24. Discuss and take action on Order 2026-14 amending the operating and personnel budget for the fiscal year ended September 30, 2025.

MOTION: Made by Commissioner Kuykendall to APPROVE Order 2026-14 amending the operating and personnel budget for the fiscal year ended September 30, 2025.

SECOND: Made by Commissioner Decker.

VOTE: Motion carried unanimously.

25. Discuss and take action on Order 2026-15 amending the operating and personnel budget for the fiscal year ending September 30, 2026.

MOTION: Made by Commissioner Decker to APPROVE Order 2026-15 amending the operating and personnel budget for the fiscal year ending September 30, 2026 as presented.

SECOND: Made by Commissioner Daugette.

VOTE: Motion carried unanimously.

Commissioners Court

EXECUTIVE SESSION

ACTION: County Judge, Colt Christian called Executive Session at 9:59 a.m. under Section 551.074 for item 26.

ACTION: County Judge, Colt Christian reconvened back in to Regular Session at 10:13 a.m.

26. Discuss and take action on Planning and Development Engineer position.

ACTION: No action.

27. Discuss and take action on Resolution Authorizing Submission of the Disaster Recovery Reallocation Program (DRRP) application number DRRP-301-1452 administered through the Texas General Land Office for Walker County.

ACTION: PASS at this time for more information during workshop.

28. Discuss and take action on Engineering Services Contracts for DRRP 25-141-009-F356 and DRRP 25-141-009-F357.

MOTION: Made by Commissioner Decker to APPROVE Engineering Services Contracts for DRRP 25-141-009-F356 and DRRP 25-141-009-F357.

SECOND: Made by Commissioner Daugette.

VOTE: Motion carried unanimously.

29. Discuss and take action on appointing Mary Keller to the Walker County ESD #1 Board.

MOTION: Made by Commissioner Daugette to APPROVE appointing Mary Keller to the Walker County ESD #1 Board.

SECOND: Made by Commissioner Decker.

VOTE: Motion carried unanimously.

30. Discuss and take action on appointing Charlene Crocker to the Walker County ESD #1 Board.

MOTION: Made by Commissioner Daugette to APPROVE appointing Charlene Crocker to the Walker County ESD #1 Board.

SECOND: Made by Commissioner Kuykendall.

VOTE: Motion carried unanimously.

31. Discuss and take action on reappointing Thomas Malak, James Gregory, and Jane Ellisor to the Walker County ESD #2 Board.

MOTION: Made by Commissioner Decker to APPROVE reappointing Thomas Malak, James Gregory, and Jane Ellisor to the Walker County ESD #2 Board.

SECOND: Made by Commissioner Kuykendall.

VOTE: Motion carried unanimously.

32. Discuss and take action to add New Waverly Community Club Arena to Walker County insurance. *Josh Slott was present to answer questions. There was discussion with the Court.*

MOTION: Made by Commissioner Decker to APPROVE to add New Waverly Community Club Arena to Walker County insurance at a price not to exceed \$ 3,400.00 per year contingent upon review of contract with County Attorney to amend if necessary.

SECOND: Made by Commissioner White.

ACTION: Second and Motion were rescinded to bring item back to Court.

33. Discuss and take action to waive development permit fees for the New Waverly Community Club Arena.

MOTION: Made by Commissioner Decker to APPROVE to waive development permit fees for the New Waverly Community Club Arena.

SECOND: Made by Commissioner White.

VOTE: Motion carried unanimously.

34. Discuss and take action on pending litigation in Cause No. 2531957.

EXECUTIVE SESSION

ACTION: County Judge, Colt Christian called Executive Session at 10:21 a.m. under Section 551.071 for item 35.

ACTION: County Judge, Colt Christian reconvened back in to Regular Session at 10:36 a.m.

ACTION: Received legal advice from Counsel.

Planning & Development

Annette Oliver presented information.

35. Public hearing concerning Plat # 2025-016, Replat of Lots 7 and 8, Block 1, Section 7 of the Wildwood Shores Subdivision, G.W. Robinson Survey, A-454 – Reveille Court and Wilderness Trail – Pct. 4.

ACTION: Public Hearing began at 10:36 a.m.

Annette Oliver presented information

ACTION: Public Hearing closed at 10:38 a.m.

36. Discuss and take action on Plat # 2025-016, Replat of Lots 7 and 8, Block 1, Section 7 of the Wildwood Shores Subdivision, G.W. Robinson Survey, A-454 – Reveille Court and Wilderness Trail – Pct. 4.

MOTION: Made by Commissioner Decker to APPROVE Plat # 2025-016, Replat of Lots 7 and 8, Block 1, Section 7 of the Wildwood Shores Subdivision based upon agreement reached between the two parties regarding the property boundary dispute.

SECOND: Made by Commissioner Dauge.

VOTE: Motion carried unanimously.

37. Discuss and take action on Comcast of Houston, LLC Utility Installation Request for fiber optic cable along/under a portion of Colony Road – Pct. 4.

MOTION: Made by Commissioner Decker to APPROVE Comcast of Houston, LLC Utility Installation Request for fiber optic cable along/under a portion of Colony Road, contingent upon development permits approved before installation can start and also per variance approved by Commissioners Court need to do 811 locate to protect utility companies and once complete will submit as built drawings of facilities as listed in the Bleyl Engineering, Conditional, No-objection letter dated November 18, 2025.

SECOND: Made by Commissioner Dauge.

VOTE: Motion carried unanimously.

38. Discuss and take action on Kyle Villarreal request for variance to On-Site Sewage Facility Regulations of Walker County regarding Lot 12 of Northdale Addition, A.J. Beard Survey A-67 Oak Bend Drive – Pct. 3.

MOTION: Made by Commissioner Dauge to APPROVE Kyle Villarreal request for variance to On-Site Sewage Facility Regulations of Walker County regarding Lot 12 of Northdale Addition, A.J. Beard Survey A-67 Oak Bend Drive – Pct. 3.

SECOND: Made by Commissioner Kuykendall.

VOTE: Motion carried unanimously.

WORKSHOP

Workshop began at 10:41 a.m.

- Presentation from D.A. Davidson & Co. by Steve Perry, Senior Vice President, to Walker County.

ACTION: Presentation received by Court.

- Projects for DRRP Communication Grant.

ACTION: Presentation given by Judge Christian received and discussed with Court.

Workshop ended at 11:05 a.m.

20. Discuss and take action on award of solicitation C2360-26-011, Financial Advisor.

MOTION: Made by Commissioner Dauge to APPROVE award of solicitation C2360-26-011, Financial Advisor

SECOND: Made by Commissioner Kuykendall.

VOTE: Motion carried unanimously.

Judge Christian deviated back to item 20 for clarification. Motion was remade to include award of solicitation awardee.

MOTION: Made by Commissioner Daugette to **APPROVE** award of solicitation C2360-26-011, Financial Advisor awarded to D.A. Davidson & Co.
SECOND: Made by Commissioner Kuykendall.
VOTE: Motion carried unanimously.

27. Discuss and take action on Resolution Authorizing Submission of the Disaster Recovery Reallocation Program (DRRP) application number DRRP-301-1452 administered through the Texas General Land Office for Walker County.

MOTION: Made by Judge Christian to **APPROVE** Resolution Authorizing Submission of the Disaster Recovery Reallocation Program (DRRP) application number DRRP-301-1452 administered through the Texas General Land Office for Walker County.
SECOND: Made by Commissioner White.
VOTE: Motion carried unanimously.

*Clarification for item 20 was asked from Purchasing Agent, Cheryl Cowart.
Judge Christian deviated back to item 20.*

PUBLIC COMMENT

None

INFORMATION ITEMS

*Questions from the media - None
Commissioners Court - None*

ACTION: County Judge, Colt Christian adjourned the meeting at 11:06 a.m.

I, Kari A. French, County Clerk of Walker County, Texas, do hereby certify that these Commissioners Court Minutes are a true and correct record of proceedings from the Meeting on December 15, 2025.

Walker County Clerk, Kari A. French

Walker County Judge, Colt Christian

Date Minutes Approved by Commissioners

Disbursement Report 12/05/2025 - 12/29/2025

Payment Journal DISB 12/15/2025	1,452,653.66
Payment Journal DISB1 12/15/2025	3,795.48
Payment Journal DISB 12/16/2025	81,153.97
Payment Journal DISB1 12/16/2025	5,000.00
Payment Journal DISB 12/17/2025	30,338.12

ACH PAYMENTS

ACH 12/15/2025	3,415.00
ACH TOT 12/15/2025	19,905.17
ACH TOT 12/18/2025	55,824.57

Payroll

818,572.31

DNP:

Nationwide 12/05/2025	2,853.00
IRS 12/05/2025	268,837.79
TX State Disb 12/05/2025	2,212.65

VOID:

Check 260730 - Vanguard Truck Center of Houston	(29,250.00)
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Check register and eft/draft Total	2,715,311.72
Dynamics Total	(\$2,715,311.72)
- difference - **	-
Total Disbursement	\$ 2,715,311.72

Walker County Disbursement Report 12/05/2025 - 12/29/2025

DatePaid	CheckReference	Vendor	CostCenter	Amount
12/5/2025	000000000007112	10171-Nationwide Retirement Solutions	Balance Sheet Accounts	2,853.00
12/5/2025	000000000007113	10303-Internal Revenue Service	Balance Sheet Accounts	101,453.03
12/5/2025	000000000007113	10303-Internal Revenue Service	Balance Sheet Accounts	167,384.76
12/5/2025	000000000007114	12006-Texas State Disbursement Unit	Balance Sheet Accounts	2,212.65
12/15/2025	000000000007115	10395-Oliphant's Tree Service	Road and Bridge Precinct 4	3,000.00
12/15/2025	000000000007116	11694-Brown, William	County Auditor-Financial Systems	175.00
12/15/2025	000000000007117	12994-Affordable Plumbing, Inc.	County Facilities	240.00
12/15/2025	000000000007118	10095-RB Everett & Company	Road and Bridge General	1,957.00
12/15/2025	000000000007119	10143-Walker County Hardware	County Facilities	89.42
12/15/2025	000000000007119	10143-Walker County Hardware	County Jail	7.99
12/15/2025	000000000007119	10143-Walker County Hardware	Litter Control - General Fund	45.29
12/15/2025	000000000007119	10143-Walker County Hardware	Road and Bridge Precinct 1	36.11
12/15/2025	000000000007119	10143-Walker County Hardware	Road and Bridge Precinct 2	204.60
12/15/2025	000000000007119	10143-Walker County Hardware	Road and Bridge Precinct 3	2.39
12/15/2025	000000000007120	11811-Law Office of Joseph W Krippel	12th Judicial District Court	3,950.00
12/15/2025	000000000007120	11811-Law Office of Joseph W Krippel	278th Judicial District Court	3,950.00
12/15/2025	000000000007120	11811-Law Office of Joseph W Krippel	County Court at Law	500.00
12/15/2025	000000000007121	12499-Vulcan Construction Materials, LLC	Road and Bridge Precinct 4	1,577.01
12/15/2025	000000000007122	13562-Prestige Tower Services	Centralized Costs	625.00
12/15/2025	000000000007123	14437-Higginbotham Public Sector, LLC	Balance Sheet Accounts	6,935.48
12/15/2025	000000000007123	14437-Higginbotham Public Sector, LLC	Centralized Costs	-0.12
12/15/2025	000000000007124	14466-Affordable Signs	Public Safety Projects	25.00
12/15/2025	260574	14472-American Materials, Inc.	Road and Bridge Precinct 3	28,434.61
12/15/2025	260575	13728-Amwins Group Benefits LLC	Balance Sheet Accounts	559.39
12/15/2025	260575	13728-Amwins Group Benefits LLC	Centralized Costs	16,791.60
12/15/2025	260575	13728-Amwins Group Benefits LLC	SPU Criminal	2,237.56
12/15/2025	260576	13502-Antwi, Stephen	County Jail Inmate Medical Cost Center	8,500.00
12/15/2025	260577	10218-ASCO Equipment	Road and Bridge Precinct 4	200.26
12/15/2025	260578	10269-AT&T	Centralized Costs	1,162.32
12/15/2025	260578	10269-AT&T	Emergency Operations	437.13
12/15/2025	260578	10269-AT&T	Juvenile Probation Support - General Fund	97.14
12/15/2025	260578	10269-AT&T	Walker County EMS - Emergency Services	156.71
12/15/2025	260579	13623-AT&T Corp	Adult Basic Supervision	1,072.24
12/15/2025	260580	12518-AT&T Mobility	Road and Bridge Precinct 4	21.49
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	County Jail	196.97
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Litter Control - General Fund	27.95
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Road and Bridge General	260.58
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 1	82.82
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 1	118.69
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 1	234.14
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 2	4,300.00
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 2	35.26
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 2	232.07
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 2	370.08
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 3	653.61

12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 3	99.13
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 3	492.68
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 3	198.86
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 4	429.26
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 4	94.17
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Sheriff	1,012.47
12/15/2025	260581	13614-Auto Parts of Huntsville, Inc	Walker County EMS - Emergency Services	251.55
12/15/2025	260583	10629-Bennett Law Office PC	12th Judicial District Court	7,264.80
12/15/2025	260583	10629-Bennett Law Office PC	278th Judicial District Court	2,850.00
12/15/2025	260584	10345-Bill Fick Ford	Walker County EMS - Emergency Services	75.00
12/15/2025	260585	10361-Bound Tree Medical LLC	Walker County EMS - Emergency Services	676.05
12/15/2025	260586	14351-Brazos Trailer Manufacturing, LLC	Road and Bridge Precinct 1	39,050.00
12/15/2025	260587	14180-Buck, Christopher	Courts-Central Costs	774.00
12/15/2025	260588	13277-Buckeye Cleaning Center - Houston	County Facilities	1,636.90
12/15/2025	260589	11506-Burrus CSR, Marsha	Court Reporter Fees	75.00
12/15/2025	260590	10496-Burton Auto Supply	Road and Bridge General	123.76
12/15/2025	260590	10496-Burton Auto Supply	Road and Bridge Precinct 3	71.70
12/15/2025	260590	10496-Burton Auto Supply	Road and Bridge Precinct 3	615.89
12/15/2025	260591	14336-Canon U.S.A., Inc.	County Auditor	79.20
12/15/2025	260591	14336-Canon U.S.A., Inc.	County Jail	189.35
12/15/2025	260591	14336-Canon U.S.A., Inc.	Emergency Operations	28.02
12/15/2025	260591	14336-Canon U.S.A., Inc.	SPU Civil Division	17.61
12/15/2025	260592	10339-Cavender's Boot City	Road and Bridge Precinct 2	364.38
12/15/2025	260593	10654-CDCAT	County Clerk	150.00
12/15/2025	260594	10036-CenterPoint Energy	Justice of Peace Precinct 4	41.16
12/15/2025	260594	10036-CenterPoint Energy	Road and Bridge Precinct 4	112.24
12/15/2025	260595	12490-Cintas Corporation #2	Road and Bridge Precinct 3	265.82
12/15/2025	260596	14530-City of Conroe	Balance Sheet Accounts	2,000.00
12/15/2025	260597	11009-City of Huntsville	Adult Probation Support- General Fund	243.23
12/15/2025	260597	11009-City of Huntsville	County Facilities	2,780.59
12/15/2025	260597	11009-City of Huntsville	Criminal District Attorney	116.72
12/15/2025	260597	11009-City of Huntsville	Emergency Operations	500.37
12/15/2025	260597	11009-City of Huntsville	Facilities-Justice Center Municipal Allocation	107.90
12/15/2025	260597	11009-City of Huntsville	Juvenile Probation Support - General Fund	82.48
12/15/2025	260597	11009-City of Huntsville	Litter Control - General Fund	634.74
12/15/2025	260597	11009-City of Huntsville	Road and Bridge Precinct 1	424.49
12/15/2025	260597	11009-City of Huntsville	SPU - State General Allocation	88.71
12/15/2025	260597	11009-City of Huntsville	SPU Juvenile Division	80.61
12/15/2025	260597	11009-City of Huntsville	Texas AgriLife Extension Service	110.53
12/15/2025	260597	11009-City of Huntsville	Walker County Central Dispatch Services	47.95
12/15/2025	260597	11009-City of Huntsville	Walker County EMS - Emergency Services	81.67
12/15/2025	260598	10021-City of New Waverly	Justice of Peace Precinct 4	121.66
12/15/2025	260598	10021-City of New Waverly	Road and Bridge Precinct 4	315.70
12/15/2025	260598	10021-City of New Waverly	Weigh Station Utilites and Services	115.78
12/15/2025	260599	10022-Cleveland Asphalt	Road and Bridge Precinct 4	1,390.36
12/15/2025	260600	14005-Clinical Solutions Pharmacy	County Jail Inmate Medical Cost Center	4,875.98
12/15/2025	260601	10023-Coburn's Huntsville # 15	Road and Bridge Precinct 4	724.80

12/15/2025	260601	10023-Coburn's Huntsville # 15	Road and Bridge Precinct 4	215.00
12/15/2025	260602	10421-Coca Cola Southwest Beverages LLC	Revenues-Sheriff Commissary Fund	291.84
12/15/2025	260603	10823-Connell, Joseph	Emergency Operations	2,000.00
12/15/2025	260604	14435-Corcoran, Anthony	Sheriff	200.00
12/15/2025	260605	10245-Corrections Software Solutions, LP	Adult Basic Supervision	820.75
12/15/2025	260605	10245-Corrections Software Solutions, LP	Adult Probation Support- General Fund	2,462.25
12/15/2025	260606	11221-CPI/Guardian	County Jail	139.16
12/15/2025	260607	10831-Cross, Shellie M	Adult Basic Supervision	40.60
12/15/2025	260608	11698-Custom Products Corporation	Road and Bridge Precinct 3	1,242.73
12/15/2025	260609	10614-Doggett Machinery Services	Road and Bridge Precinct 2	2,039.25
12/15/2025	260610	13888-Dowdy, Ryan	Sheriff	313.00
12/15/2025	260611	14334-Eliot, Katie	Walker County EMS - Emergency Services	170.00
12/15/2025	260612	10441-Elliott Electric Supply	County Facilities	221.00
12/15/2025	260612	10441-Elliott Electric Supply	County Facilities	341.40
12/15/2025	260613	11390-Ellis D. Walker Trucking, LLC	Road and Bridge Precinct 1	39,342.88
12/15/2025	260613	11390-Ellis D. Walker Trucking, LLC	Road and Bridge Precinct 4	16,007.56
12/15/2025	260614	13617-English, Tim	SPU - State General Allocation	244.00
12/15/2025	260615	12271-Enterprise Rent a Car	Sheriff	1,726.66
12/15/2025	260616	10795-Faseler, Erin K	SPU Civil Division	168.00
12/15/2025	260617	10038-Federal Express Corporation	SPU - State General Allocation	84.26
12/15/2025	260618	11046-Fletcher, Melinda	SPU - State General Allocation	1,184.50
12/15/2025	260619	13606-Fort Bend County	Juvenile State/Grant Aid	5,950.00
12/15/2025	260620	13662-Fort Bend Medical Examiner	Balance Sheet Accounts	5,200.00
12/15/2025	260621	10799-Gault, Marc F	SPU - State General Allocation	340.00
12/15/2025	260622	10174-Grainger	County Facilities	111.18
12/15/2025	260623	10050-Grimes County	Adult Basic Supervision	5.18
12/15/2025	260624	11776-GTS Technology Solutions, Inc.	Constables Central	1,913.29
12/15/2025	260625	14456-Hall, Phil	SPU - State General Allocation	613.60
12/15/2025	260626	10055-Haney Paschal & Romoser, P.C.	District Clerk	600.00
12/15/2025	260627	10210-Harris County Treasurer	Walker County Central Dispatch Services	13,467.27
12/15/2025	260627	10210-Harris County Treasurer	Walker County Central Dispatch Services	35,388.86
12/15/2025	260628	13717-Harvey, Jennifer	Walker County EMS - Emergency Services	170.00
12/15/2025	260629	10263-HCTRA-Violations	Emergency Operations	22.00
12/15/2025	260630	11987-Heavyquip	Road and Bridge Precinct 1	2,970.00
12/15/2025	260631	13055-Hoeser, Bonner	Road and Bridge Precinct 4	2,310.00
12/15/2025	260632	10317-Home Depot	County Facilities	13.08
12/15/2025	260632	10317-Home Depot	County Facilities	99.12
12/15/2025	260633	11389-Huntsville A-1 Tire Repair, LLC	Road and Bridge Precinct 1	53.95
12/15/2025	260633	11389-Huntsville A-1 Tire Repair, LLC	Road and Bridge Precinct 1	1,233.45
12/15/2025	260633	11389-Huntsville A-1 Tire Repair, LLC	Road and Bridge Precinct 2	85.00
12/15/2025	260633	11389-Huntsville A-1 Tire Repair, LLC	Road and Bridge Precinct 2	115.76
12/15/2025	260633	11389-Huntsville A-1 Tire Repair, LLC	Road and Bridge Precinct 4	25.00
12/15/2025	260633	11389-Huntsville A-1 Tire Repair, LLC	Road and Bridge Precinct 4	20.00
12/15/2025	260634	10324-Huntsville Discount Tires	Walker County EMS - Emergency Services	830.60
12/15/2025	260635	10067-Huntsville Truck & Tractor, Inc.	Road and Bridge Precinct 3	713.58
12/15/2025	260635	10067-Huntsville Truck & Tractor, Inc.	Road and Bridge Precinct 4	689.80
12/15/2025	260636	10771-IIX Insurance Information Exchange	Walker County EMS - Emergency Services	206.51

12/15/2025	260637	13571-Impact Promotional Services, LLC	Walker County EMS - Emergency Services	1,274.15
12/15/2025	260638	13846-Iron Brothers Metals LP	Road and Bridge Precinct 4	430.15
12/15/2025	260639	10483-Jason Dunham PhD.	SPU Civil Division	4,900.00
12/15/2025	260640	11446-Johnson Wrecker Service	Constable Precinct 4	95.00
12/15/2025	260640	11446-Johnson Wrecker Service	Road and Bridge General	1,400.00
12/15/2025	260640	11446-Johnson Wrecker Service	Road and Bridge Precinct 2	648.00
12/15/2025	260640	11446-Johnson Wrecker Service	Sheriff	95.00
12/15/2025	260640	11446-Johnson Wrecker Service	Sheriff	275.00
12/15/2025	260641	13460-Kane, Robert	Health and Human Services Projects	594.91
12/15/2025	260642	14485-Kramer Chevrolet GMC of Madisonville	Sheriff	1,379.89
12/15/2025	260642	14485-Kramer Chevrolet GMC of Madisonville	Walker County EMS - Emergency Services	319.32
12/15/2025	260643	10313-Legal Shield	Balance Sheet Accounts	160.60
12/15/2025	260644	10077-Lexis-Nexis	Criminal District Attorney	1,180.00
12/15/2025	260644	10077-Lexis-Nexis	Law Library	680.52
12/15/2025	260645	10284-LexisNexis Risk Data Management, Inc.	County Treasurer - Collections	178.65
12/15/2025	260645	10284-LexisNexis Risk Data Management, Inc.	SPU - State General Allocation	200.00
12/15/2025	260645	10284-LexisNexis Risk Data Management, Inc.	SPU Juvenile Division	50.00
12/15/2025	260646	10073-Linde Gas & Equipment, Inc.	Road and Bridge Precinct 2	323.03
12/15/2025	260646	10073-Linde Gas & Equipment, Inc.	Walker County EMS - Emergency Services	465.56
12/15/2025	260647	14122-Live Oak Environmental LLC	Road and Bridge Precinct 2	159.74
12/15/2025	260647	14122-Live Oak Environmental LLC	Road and Bridge Precinct 3	116.77
12/15/2025	260648	11556-LiveViewGPS, Inc.	Sheriff	358.80
12/15/2025	260649	11971-Lopez, Maria	Adult Basic Supervision	13.16
12/15/2025	260650	14529-Loya, Josh	Walker County EMS - Emergency Services	170.00
12/15/2025	260651	13991-Maddox-Bennett, Peyton	SPU Civil Division	136.00
12/15/2025	260652	11584-Main Street Auto Parts	Road and Bridge Precinct 3	4.39
12/15/2025	260653	14053-Matlak, Michael	12th Judicial District Court	6,600.00
12/15/2025	260654	11317-Matlak, Tara	SPU Civil Division	156.00
12/15/2025	260655	13190-McKerley Law Firm, PLLC	Courts-Central Costs	327.00
12/15/2025	260656	10434-McKesson Medical-Surgical Government Solutions, LLC	County Jail Inmate Medical Cost Center	225.46
12/15/2025	260657	13925-McKinnon, Natalie	SPU - State General Allocation	40.00
12/15/2025	260658	10159-Motorola Solutions, Inc.	Public Safety Projects	5,004.46
12/15/2025	260659	10547-Mustang Cat	Road and Bridge Precinct 1	512.96
12/15/2025	260660	10547-Mustang Cat	Balance Sheet Accounts	0.00
12/15/2025	260660	10547-Mustang Cat	Road and Bridge Precinct 4	271.96
12/15/2025	260661	11780-Ni Government Services, Inc.	Emergency Operations	73.73
12/15/2025	260662	13796-ODP Business Solutions, LLC	Planning and Development	216.75
12/15/2025	260663	13856-Optimum	Adult Basic Supervision	154.00
12/15/2025	260663	13856-Optimum	Centralized Costs	1,096.76
12/15/2025	260663	13856-Optimum	Juvenile Title IV-E	42.00
12/15/2025	260663	13856-Optimum	Walker County Central Dispatch Services	301.00
12/15/2025	260663	13856-Optimum	Walker County EMS - Emergency Services	301.00
12/15/2025	260664	13856-Optimum	Centralized Costs	45.93
12/15/2025	260664	13856-Optimum	Centralized Costs	120.00
12/15/2025	260664	13856-Optimum	District Attorney Supplement	31.17
12/15/2025	260664	13856-Optimum	Sheriff	105.17
12/15/2025	260664	13856-Optimum	Sheriff Commissary Operations	421.39

12/15/2025	260664	13856-Optimum	SPU - State General Allocation	160.95
12/15/2025	260664	13856-Optimum	SPU Civil Division	290.00
12/15/2025	260664	13856-Optimum	Walker County EMS - Emergency Services	169.95
12/15/2025	260664	13856-Optimum	Walker County EMS - Emergency Services	272.00
12/15/2025	260665	14352-Outdoor Aerobics	County Facilities	550.00
12/15/2025	260666	10645-Pegasus Schools Inc.	Juvenile State/Grant Aid	6,820.20
12/15/2025	260667	10542-Perdue Brandon Fielder Collins & Mott LLP	Balance Sheet Accounts	340.50
12/15/2025	260667	10542-Perdue Brandon Fielder Collins & Mott LLP	Balance Sheet Accounts	447.30
12/15/2025	260667	10542-Perdue Brandon Fielder Collins & Mott LLP	Balance Sheet Accounts	2,206.32
12/15/2025	260668	10216-Performance Truck	Road and Bridge Precinct 1	7.99
12/15/2025	260669	10092-Powers Auto Supply	Road and Bridge Precinct 4	32.97
12/15/2025	260670	14057-Pro Generator Services, LLC	County Facilities	4,290.00
12/15/2025	260671	14089-Pursell, Tyler	Sheriff	500.00
12/15/2025	260672	14008-Quisenberry, Eric	SPU - State General Allocation	332.00
12/15/2025	260673	14185-Recovery Monitoring Solutions Corporation	Juvenile Probation Support - General Fund	270.00
12/15/2025	260674	10098-Reliable Parts Co.	Road and Bridge Precinct 1	89.00
12/15/2025	260674	10098-Reliable Parts Co.	Road and Bridge Precinct 1	191.44
12/15/2025	260674	10098-Reliable Parts Co.	Road and Bridge Precinct 2	16.19
12/15/2025	260674	10098-Reliable Parts Co.	Road and Bridge Precinct 2	233.60
12/15/2025	260675	10389-Richard Rush	Planning and Development	3,000.00
12/15/2025	260676	14286-Ricoh USA, Inc.	Justice of Peace Precinct 2	9.00
12/15/2025	260676	14286-Ricoh USA, Inc.	Voter Registration	378.59
12/15/2025	260677	13655-Riley, Michael	12th Judicial District Court	4,750.00
12/15/2025	260677	13655-Riley, Michael	278th Judicial District Court	7,750.00
12/15/2025	260677	13655-Riley, Michael	County Court at Law	500.00
12/15/2025	260678	13720-Rugged Depot	Walker County EMS - Emergency Services	16,720.00
12/15/2025	260679	10356-Sam Houston Memorial Funeral Home	Centralized Costs	619.00
12/15/2025	260680	14347-Sames Laredo Chevrolet, Inc.	Public Safety Projects	55,752.26
12/15/2025	260680	14347-Sames Laredo Chevrolet, Inc.	Sheriff	163,050.00
12/15/2025	260681	14433-SecureTech Systems, Inc.	General Government Projects	15,720.00
12/15/2025	260682	10384-Security Benefit Group	Balance Sheet Accounts	50.00
12/15/2025	260683	14256-Serenity House Counseling PLLC	Adult Comprehensive Substance Abuse	3,210.00
12/15/2025	260684	10243-SHI Government Solutions	IT Hardware/Software	176,717.45
12/15/2025	260685	10708-Siemens Industry, Inc.	General Government Projects	9,953.85
12/15/2025	260686	14425-Simler, Chris	SPU Civil Division	324.00
12/15/2025	260687	13731-Simple Cellular	SPU - State General Allocation	550.00
12/15/2025	260688	12171-SLS Litigation Services, LLC	SPU Civil Division	4,025.60
12/15/2025	260689	12032-Smartox	Adult Basic Supervision	157.50
12/15/2025	260690	14532-Smith, Ryan	Walker County EMS - Emergency Services	170.00
12/15/2025	260691	11931-Spang-Glish Interpreters, LLC	Courts-Central Costs	5,663.40
12/15/2025	260692	10341-Stalker Radar	Public Safety Projects	28,349.00
12/15/2025	260693	14462-Statewide Pest Control	County Facilities	270.00
12/15/2025	260694	13258-Summit Food Service, LLC	County Jail	17,484.87
12/15/2025	260695	14531-SylogistGov, Inc.	Criminal District Attorney	2,098.40
12/15/2025	260696	10621-TAC Risk Management Pool	Centralized Costs	14,170.90
12/15/2025	260697	10126-TAC Workers Compensation Fund	Balance Sheet Accounts	140,195.00
12/15/2025	260698	10270-Texas Association of Counties HEBP	Balance Sheet Accounts	395,193.59

12/15/2025	260698	10270-Texas Association of Counties HEBP	Balance Sheet Accounts	4,261.22
12/15/2025	260698	10270-Texas Association of Counties HEBP	Centralized Costs	21,884.25
12/15/2025	260698	10270-Texas Association of Counties HEBP	SPU Criminal	93.78
12/15/2025	260698	10270-Texas Association of Counties HEBP	Walker County Central Dispatch Services	948.72
12/15/2025	260699	10475-Texas Department of State Health Services	County Clerk	135.42
12/15/2025	260700	12477-Texas Top Cop Shop, Inc.	Sheriff	195.96
12/15/2025	260701	14493-The Genesis Group	Sheriff Commissary Operations	900.00
12/15/2025	260702	14340-The Guerra Firm PLLC	County Court at Law	1,257.50
12/15/2025	260703	10065-The Huntsville Item	Centralized Costs	1,774.96
12/15/2025	260704	10212-Thomson Reuters - West	Adult Basic Supervision	107.89
12/15/2025	260704	10212-Thomson Reuters - West	Law Library	276.80
12/15/2025	260704	10212-Thomson Reuters - West	SPU - State General Allocation	215.79
12/15/2025	260704	10212-Thomson Reuters - West	SPU Civil Division	215.79
12/15/2025	260704	10212-Thomson Reuters - West	SPU Juvenile Division	215.79
12/15/2025	260705	11518-Tipton, Jeremy	Adult Basic Supervision	275.00
12/15/2025	260706	10169-Tractor Supply Credit Plan	County Facilities	179.90
12/15/2025	260707	11724-TransUnion Risk and Alternative Data Solution, Inc.	Planning and Development	100.00
12/15/2025	260708	11540-Turner, Darrel	SPU Civil Division	7,000.00
12/15/2025	260709	10276-Tyler Technologies, Inc.	District Clerk	408.24
12/15/2025	260709	10276-Tyler Technologies, Inc.	Justice of Peace Precinct 3	50.46
12/15/2025	260710	14052-Valdez Law Firm, PLLC	278th Judicial District Court	4,250.00
12/15/2025	260711	10227-Verizon Wireless	12th Judicial District Court	49.67
12/15/2025	260711	10227-Verizon Wireless	278th Judicial District Court	40.00
12/15/2025	260711	10227-Verizon Wireless	Constable Precinct 1	20.00
12/15/2025	260711	10227-Verizon Wireless	Constable Precinct 2	40.00
12/15/2025	260711	10227-Verizon Wireless	Constable Precinct 3	60.00
12/15/2025	260711	10227-Verizon Wireless	Constable Precinct 4	160.00
12/15/2025	260711	10227-Verizon Wireless	County Auditor	113.97
12/15/2025	260711	10227-Verizon Wireless	County Court at Law	20.00
12/15/2025	260711	10227-Verizon Wireless	County Jail	57.99
12/15/2025	260711	10227-Verizon Wireless	County Judge	-262.78
12/15/2025	260711	10227-Verizon Wireless	County Judge	60.00
12/15/2025	260711	10227-Verizon Wireless	District Clerk	37.99
12/15/2025	260711	10227-Verizon Wireless	Emergency Operations	133.97
12/15/2025	260711	10227-Verizon Wireless	IT Operations	37.99
12/15/2025	260711	10227-Verizon Wireless	Justice of Peace Precinct 2	20.00
12/15/2025	260711	10227-Verizon Wireless	Planning and Development	60.00
12/15/2025	260711	10227-Verizon Wireless	Purchasing	80.00
12/15/2025	260711	10227-Verizon Wireless	Road and Bridge Precinct 1	76.12
12/15/2025	260711	10227-Verizon Wireless	Road and Bridge Precinct 1	399.98
12/15/2025	260711	10227-Verizon Wireless	Road and Bridge Precinct 2	203.12
12/15/2025	260711	10227-Verizon Wireless	Road and Bridge Precinct 2	199.99
12/15/2025	260711	10227-Verizon Wireless	Road and Bridge Precinct 3	20.00
12/15/2025	260711	10227-Verizon Wireless	Road and Bridge Precinct 4	108.43
12/15/2025	260711	10227-Verizon Wireless	Sheriff	1,159.90
12/15/2025	260711	10227-Verizon Wireless	Sheriff SB22 Grant FY 2026	1,937.49
12/15/2025	260711	10227-Verizon Wireless	SPU - State General Allocation	303.94

12/15/2025	260711	10227-Verizon Wireless	SPU Civil Division	285.16
12/15/2025	260711	10227-Verizon Wireless	SPU Juvenile Division	171.96
12/15/2025	260711	10227-Verizon Wireless	Texas AgriLife Extension Service	57.99
12/15/2025	260711	10227-Verizon Wireless	Veterans Services	20.00
12/15/2025	260711	10227-Verizon Wireless	Walker County EMS - Emergency Services	360.32
12/15/2025	260712	13172-Victoria County Juvenile Services	Juvenile State/Grant Aid	2,800.00
12/15/2025	260713	10283-Walker County Feed & Farm Supply	Sheriff Estray	27.70
12/15/2025	260714	10090-Walker County Special Utility District	Road and Bridge Precinct 2	38.84
12/15/2025	260714	10090-Walker County Special Utility District	Texas AgriLife Extension Service	63.85
12/15/2025	260715	14523-Wall, Dina	SPU Civil Division	985.00
12/15/2025	260716	14528-Ward, Justin	Walker County EMS - Emergency Services	170.00
12/15/2025	260717	11864-Whitley, Greg	SPU - State General Allocation	224.00
12/15/2025	260718	10268-Zoll Medical Corporation	Walker County EMS - Emergency Services	1,387.44
12/15/2025	260719	10269-AT&T	SPU - State General Allocation	343.96
12/15/2025	260719	10269-AT&T	SPU Civil Division	343.96
12/15/2025	260720	10269-AT&T	Centralized Costs	1,054.08
12/15/2025	260721	10250-AT&T Mobility	Sheriff	111.25
12/15/2025	260722	12203-Frontier Communications of Texas	Weigh Station Utilites and Services	397.30
12/15/2025	260723	10542-Perdue Brandon Fielder Collins & Mott LLP	Balance Sheet Accounts	400.80
12/15/2025	260724	10542-Perdue Brandon Fielder Collins & Mott LLP	District Clerk	275.00
12/15/2025	260725	10732-Quadiant Leasing USA, Inc.	Centralized Costs	602.23
12/15/2025	260726	10376-Texas Parks & Wildlife	Balance Sheet Accounts	133.45
12/15/2025	260727	10376-Texas Parks & Wildlife	Balance Sheet Accounts	133.45
12/16/2025	260728	14382-AT&T Enterprises, LLC	General Government Projects	51,539.67
12/16/2025	260729	10841-Hunter, Kristin N	Adult Basic Supervision	364.30
12/16/2025	260731	10156-US Postmaster	Centralized Costs	5,000.00
12/17/2025	260732	14382-AT&T Enterprises, LLC	General Government Projects	1,088.12
12/17/2025	260733	12244-Vanguard Truck Center of Houston	Road and Bridge Precinct 4	29,250.00
12/17/2025	Payroll Account - Net Pay	Transfer to Payroll Account	County Wide	818,572.31
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	12th Judicial District Court	85.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	278th Judicial District Court	46.99
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Adult Basic Supervision	861.96
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Adult Basic Supervision	414.58
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Adult Basic Supervision	357.95
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Adult Probation Support- General Fund	9.50
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Balance Sheet Accounts	2,524.13
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Balance Sheet Accounts	352.80
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Centralized Costs	243.80
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Centralized Costs	1,106.38
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Centralized Costs	200.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Centralized Costs	2,205.60
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Constable Precinct 1	114.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Constable Precinct 2	228.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Constable Precinct 3	228.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Constable Precinct 4	684.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	County Clerk	594.50
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	County Court at Law	85.00

12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	County Court at Law	990.74
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	County Facilities	310.97
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	County Facilities	9.50
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	County Jail	237.80
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	County Jail	574.02
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	County Jail	9.67
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	County Treasurer	937.84
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	County Auditor-Financial Systems	2,918.56
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Criminal District Attorney	141.17
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Criminal District Attorney	13.18
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Criminal District Attorney	155.08
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	District Attorney Forfeiture	432.19
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	District Attorney Supplement	22.44
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	District Attorney Supplement	1,131.67
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	District Attorney Victim Assistance Coord	197.75
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	District Clerk	123.97
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	District Clerk	9.36
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	District Clerk	424.79
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Elections	150.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Elections	649.07
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Emergency Operations	9.50
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Healthy County Initiative	369.94
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	IT Hardware/Software	325.54
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Justice of Peace Precinct 4	261.83
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Juvenile Probation Support - General Fund	525.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Public Safety Projects	174.95
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Revenues-General Fund	-18.09
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Road and Bridge General	237.50
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Road and Bridge Precinct 1	437.43
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Road and Bridge Precinct 1	658.65
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Road and Bridge Precinct 2	123.75
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Road and Bridge Precinct 2	75.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Road and Bridge Precinct 2	1,549.15
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Road and Bridge Precinct 3	486.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Road and Bridge Precinct 3	240.15
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Road and Bridge Precinct 3	36.19
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Road and Bridge Precinct 3	293.42
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Road and Bridge Precinct 4	1,517.48
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Road and Bridge Precinct 4	516.11
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Road and Bridge Precinct 4	730.19
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Road and Bridge Precinct 4	40.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Sheriff	202.21
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Sheriff	1,852.20
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Sheriff	574.39
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Sheriff	69.55
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Sheriff	3,420.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Sheriff	493.50

12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Sheriff Estray	116.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU - State General Allocation	1,000.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU - State General Allocation	201.28
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU - State General Allocation	43.64
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU - State General Allocation	75.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU - State General Allocation	871.77
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU - State General Allocation	4,254.83
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU Civil Division	500.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU Civil Division	2.35
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU Civil Division	414.88
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU Civil Division	80.17
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU Civil Division	100.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU Civil Division	3,629.41
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU Juvenile Division	600.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU Juvenile Division	34.99
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU Juvenile Division	15.60
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU Juvenile Division	128.03
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	SPU Juvenile Division	47.02
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Texas AgriLife Extension Service	256.36
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Texas AgriLife Extension Service	5.59
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Texas AgriLife Extension Service	75.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Vehicle Registration	323.88
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Walker County Central Dispatch Services	369.99
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Walker County Central Dispatch Services	155.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Walker County Central Dispatch Services	447.48
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Walker County EMS - Emergency Services	2,191.92
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Walker County EMS - Emergency Services	99.83
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Walker County EMS - Emergency Services	4.07
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Walker County EMS - Emergency Services	875.00
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Walker County EMS - Emergency Services	26.69
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Walker County EMS - Emergency Services	1,831.20
12/18/2025	000000000007125	10636-Citibank (South Dakota), NA	Walker County EMS - Emergency Services	2,064.09
Total:				2,715,311.72

Walker County

Financial Information

Posted as of December 22, 2025 for the Fiscal Year Ending September 30, 2026

Prepared by:
County Auditor Department

Patricia Allen, County Auditor

Information is presented based on ledger balances and entries posted thru December 22, 2025 for the fiscal year ending September 30, 2026.

There are entries that have not been posted. Invoices are outstanding for the period that have not been received/posted. Encumbrances are not included in the report.



Summary of Revenues, Expenditures and Net Transfers to Date
Transactions Posted As of December 22, 2025
For the Fiscal Year Ending September 30, 2026

Ledger Balances	Fund Balance Fiscal Yr Begin	Revenues To Date	Expenditures To Date	Net Transfers Between Funds	Fund Balance This Date
<u>Operating</u>					
101 - General Fund	\$ 14,880,837.15	\$ 5,224,288.12	\$ 5,645,717.21	\$ (947,869.00)	\$ 13,511,539.06
192 - Debt Service Fund	\$ 428,505.16	\$ 171,084.98	\$ -	\$ -	\$ 599,590.14
220 - Road & Bridge	\$ 3,515,225.36	\$ 891,516.66	\$ 2,016,746.73	\$ 600,000.00	\$ 2,989,995.29
301 - Walker County EMS Fund	\$ 5,033,826.69	\$ 1,450,381.04	\$ 1,278,760.67	\$ -	\$ 5,205,447.06
180 - Public Safety Seized Money Fund	\$ -	\$ -	\$ -	\$ -	\$ -
185 - General Fund - Healthy County Initiative Fund	\$ 13,546.87	\$ 94.50	\$ 369.94	\$ -	\$ 13,271.43
	23,871,941.23	7,737,365.30	8,941,594.55	(347,869.00)	\$ 22,319,842.98
<u>Projects</u>					
105 - General Projects Fund	\$ 4,945,831.61	\$ 29,955.75	\$ 417,629.97	\$ 90,000.00	\$ 4,648,157.39
115 - General Capital Projects Fund	\$ 5,980,872.82	\$ 36,882.90	\$ -	\$ -	\$ 6,017,755.72
119 - ARP Funds	\$ 10,470.70	\$ 68.17	\$ -	\$ -	\$ 10,538.87
120 - Long Range Planning Fund	\$ 184,581.14	\$ 1,256.53	\$ -	\$ 213,128.00	\$ 398,965.67
<u>Grants/Other Funds</u>					
221 - RB Grant-CDBG-MIT F003	\$ -	\$ -	\$ -	\$ -	\$ -
222 - RB Grant-CDBG-MIT E999	\$ -	\$ -	\$ -	\$ -	\$ -
402 - SB22-CDA Grant FY 2026	\$ -	\$ 276,541.98	\$ 43,671.65	\$ -	\$ 232,870.33
411 - SB22-Sheriff Grant FY 2026	\$ -	\$ 502,144.92	\$ 3,874.98	\$ -	\$ 498,269.94
460 - Affordable Housing Initiatives	\$ -	\$ -	\$ -	\$ -	\$ -
473 - SO Auto Task Force Grant	\$ -	\$ 11,373.47	\$ 15,395.32	\$ -	\$ (4,021.85)
474 - CDA Victims Assistance Grant	\$ -	\$ -	\$ 12,920.76	\$ -	\$ (12,920.76)
511 - County Records Management and Preservation	\$ 8,508.85	\$ 627.57	\$ -	\$ -	\$ 9,136.42
512 - County Records Preservation II Fund	\$ 74,471.90	\$ 548.28	\$ -	\$ -	\$ 75,020.18
515 - County Clerk Records Management and Preser	\$ 423,775.80	\$ 22,732.83	\$ 14,651.60	\$ -	\$ 431,857.03
516 - County Clerk Records Archive Fund	\$ 476,085.99	\$ 19,841.48	\$ -	\$ -	\$ 495,927.47
517 - Court Facilities Fund	\$ 88,535.15	\$ 3,984.80	\$ -	\$ -	\$ 92,519.95
518 - District Clerk Records Preservation	\$ 123,787.07	\$ 4,904.66	\$ 630.00	\$ -	\$ 128,061.73
519 - District Clerk Rider Fund	\$ 178,855.07	\$ 15,143.49	\$ 766.33	\$ -	\$ 193,232.23
520 - District Clerk Archive Fund	\$ 6,360.80	\$ 64.97	\$ -	\$ -	\$ 6,425.77
523 - County Jury Fee Fund	\$ 2,912.59	\$ 157.79	\$ -	\$ -	\$ 3,070.38
524 - County Jury Fund	\$ 23,679.07	\$ 1,836.42	\$ -	\$ -	\$ 25,515.49
525 - Court Reporter Services Fund	\$ 19,718.44	\$ 4,491.07	\$ 2,989.50	\$ -	\$ 21,220.01
526 - County Law Library Fund	\$ 110,845.67	\$ 6,750.79	\$ 3,781.93	\$ -	\$ 113,814.53
527 - Language Access Fund	\$ 9,329.71	\$ 1,499.16	\$ 6,062.40	\$ -	\$ 4,766.47
536 - Courthouse Security Fund	\$ 6,565.75	\$ 6,228.88	\$ 15,443.48	\$ 44,741.00	\$ 42,092.15
537 - Justice Courts Security Fund	\$ 71,553.07	\$ 1,060.67	\$ 302.40	\$ -	\$ 72,311.34
538 - JP Truancy Prevention and Diversion	\$ 81,506.67	\$ 3,327.56	\$ -	\$ -	\$ 84,834.23
539 - County Speciality Court Programs	\$ 32,354.41	\$ 1,476.96	\$ -	\$ -	\$ 33,831.37
550 - Justice Courts Technology Fund	\$ 85,899.95	\$ 2,826.41	\$ 5,739.87	\$ -	\$ 82,986.49
551 - County and District Courts Technology Fund	\$ 5,198.25	\$ 325.95	\$ -	\$ -	\$ 5,524.20
552- Child Abuse Prevention Fund	\$ 3,766.78	\$ 173.48	\$ -	\$ -	\$ 3,940.26
560 - District Attorney Prosecutors Supplement Fund	\$ -	\$ -	\$ 3,091.95	\$ -	\$ (3,091.95)
561 - Pretrial Intervention Program Fund	\$ 202,269.87	\$ 7,310.86	\$ 1,342.97	\$ -	\$ 208,237.76
562 - District Attorney Forfeiture Fund	\$ 243,179.22	\$ 3,028.40	\$ 489.79	\$ -	\$ 245,717.83
563 - District Attorney Hot Check Fee Fund	\$ 610.64	\$ -	\$ -	\$ -	\$ 610.64
574 - Sheriff Forfeiture Fund	\$ 584,544.90	\$ 7,335.28	\$ 28,098.27	\$ -	\$ 563,781.91
576 - Sheriff Inmate Medical Fund	\$ 77,589.94	\$ 1,296.88	\$ -	\$ -	\$ 78,886.82
577 - DOJ-Equitable Sharing Fund	\$ 716,487.90	\$ 19,812.64	\$ -	\$ -	\$ 736,300.54
578 - Sheriff Commissary Fund	\$ 682,546.06	\$ 51,891.76	\$ 9,765.94	\$ -	\$ 724,671.88
583 - Elections Equipment Fund	\$ 33,841.57	\$ -	\$ -	\$ -	\$ 33,841.57
584 - Tax Assessor Elections Service Contract Fund	\$ 22,360.43	\$ 142.25	\$ 626.80	\$ -	\$ 21,875.88
589 - Tax Assessor Special Inventory Fee Fund	\$ 62,419.73	\$ 3,387.55	\$ -	\$ -	\$ 65,807.28
601 - SPU Civil/Criminal/Juvenile Grant/Allocations	\$ -	\$ 1,194,450.51	\$ 1,228,430.32	\$ -	\$ (33,979.81)
640 - Juvenile Grant Fund (Title IV E)	\$ 86,628.92	\$ 580.89	\$ 110.62	\$ -	\$ 87,099.19
641 - Juvenile Grant State Aid Fund	\$ -	\$ 150,546.79	\$ 80,465.58	\$ -	\$ 70,081.21
615 - Adult Probation-Basic Services Fund	\$ 530,358.37	\$ 350,348.12	\$ 248,122.76	\$ (22,198.07)	\$ 610,385.66
616 - Adult Probation-Court Services Fund	\$ -	\$ 74,302.47	\$ 47,757.16	\$ 20,263.43	\$ 46,808.74
617 - Adult Probation-Substance Abuse Services Fun	\$ -	\$ 49,120.10	\$ 15,697.42	\$ -	\$ 33,422.68
618 - Adult Probation-Pretrial Diversion	\$ -	\$ 17,657.46	\$ 9,054.52	\$ 1,934.64	\$ 10,537.58
701 - Retiree Health Insurance Fund	\$ 2,333,796.63	\$ 16,201.64	\$ -	\$ -	\$ 2,349,998.27
802 - Walker County Public Safety Communications Cente	\$ 1,679,610.53	\$ 365,454.02	\$ 290,514.57	\$ -	\$ 1,754,549.98
	9,089,955.70	3,200,931.21	2,089,798.89	44,741.00	10,245,829.02
	\$ 44,083,653.20	\$ 11,006,459.86	\$ 11,449,023.41	\$ -	\$ 43,641,089.65



Cash and Investments Report
Transactions Posted as of December 22, 2025
For the Fiscal Year Ending September 30, 2026

	Other Bank					
	Cash	Accounts	Texpool	MBIA	Wells Fargo	Total
<u>Operating</u>						
101 - General Fund	\$ 1,830,204.24	\$ 101,553.00	\$ 2,547,055.73	\$ 1,506,846.61	\$ 6,816,350.09	\$ 12,802,009.67
192 - Debt Service Fund	193,342.17	-	398,275.16	-	-	\$ 591,617.33
220 - Road & Bridge	225,149.01	-	2,994,145.93	-	-	\$ 3,219,294.94
301 - Walker County EMS Fund	452,313.50	53,152.92	4,383,735.11	71,334.02	186,102.58	\$ 5,146,638.13
180 - Public Safety Seized Money Fund	-	-	52,224.63	-	-	\$ 52,224.63
185 - General Fund - Healthy County Initiative Fund	-	-	13,271.43	-	-	\$ 13,271.43
	2,701,008.92	154,705.92	10,388,707.99	1,578,180.63	7,002,452.67	21,825,056.13
<u>Projects</u>						
105 - General Projects Fund	256,103.75	-	2,948,742.73	947,727.15	375,504.76	4,528,078.39
115 - General Capital Projects Fund	-	-	3,317,755.72	-	-	3,317,755.72
119- ARP Funds	-	10,538.87	-	-	\$	10,538.87
120 - Long Range Planning Fund	-	-	398,965.67	-	\$	398,965.67
<u>Grants/Other Funds</u>						
186 - State Sheriff Grant	22,082.50	-	-	-	-	22,082.50
221 - RB Grant-CDBG-MIT F003	-	-	-	-	-	-
222 - RB Grant-CDBG-MIT E999	-	-	-	-	-	-
402 - SB22-CDA Grant FY 2026	11,492.39	-	221,377.94	-	-	232,870.33
410 - SB22-Sheriff Grant FY 2025	4,337.24	-	-	-	-	4,337.24
411 - SB22-Sheriff Grant FY 2026	-	-	498,269.94	-	-	498,269.94
473- SO Auto Task Force Grant	(19,985.09)	-	-	-	-	(19,985.09)
474 - CDA Victims Grant	(30,063.71)	-	-	-	-	(30,063.71)
481 - Jag Grants	(6,599.92)	-	-	-	-	(6,599.92)
488 - CDBG Grants	(3,850.00)	-	-	-	-	(3,850.00)
511 - County Records Management and Preservation Fund	9,136.42	-	-	-	-	9,136.42
512 - County Records Preservation II Fund	3,228.90	-	71,791.28	-	-	75,020.18
515 - County Clerk Records Management and Preservation Fur	15,566.98	-	338,166.13	78,123.92	-	431,857.03
516 - County Clerk Records Archive Fund	32,791.17	-	463,136.30	-	-	495,927.47
517 - Court Facilities Fund	8,152.29	-	84,367.66	-	-	92,519.95
518 - District Clerk Records Preservation	33,038.53	-	95,653.20	-	-	128,691.73
519 - District Clerk Rider Fund	24,113.34	-	169,118.89	-	-	193,232.23
520 - District Clerk Archive Fund	1,388.91	-	5,036.86	-	-	6,425.77
523 - County Jury Fee Fund	3,070.38	-	-	-	-	3,070.38
524 - County Jury Fund	7,880.07	-	17,635.42	-	-	25,515.49
525 - Court Reporter Services Fund	21.50	-	21,198.51	-	-	21,220.01
526 - County Law Library Fund	8,207.57	-	105,606.96	-	-	113,814.53
527 - Language Access Fund	4,766.47	-	-	-	-	4,766.47
536 - Courthouse Security Fund	42,092.15	-	-	-	-	42,092.15
537 - Justice Courts Security Fund	18,932.12	-	53,379.22	-	-	72,311.34
538 - JP Truancy Prevention and Diversion	21,223.71	-	63,610.52	-	-	84,834.23
539 - County Specialty Court Revenues Fund	22,095.05	-	11,736.32	-	-	33,831.37
540 - Fire Suppression-US Forest Service Fund	0.00	-	17,354.47	-	-	17,354.47
550 - Justice Courts Technology Fund	4,446.43	-	78,540.06	-	-	82,986.49
551 - County and District Courts Technology Fund	4,562.73	-	961.47	-	-	5,524.20
552- Child Abuse Prevention Fund	3,940.26	-	-	-	-	3,940.26
560 - District Attorney Prosecutors Supplement Fund	1,693.04	-	-	-	-	1,693.04
561 - Pretrial Intervention Program Fund	43,796.28	-	164,441.48	-	-	208,237.76
562 - District Attorney Forfeiture Fund	12,244.69	-	233,473.14	-	-	245,717.83
563 - District Attorney Hot Check Fee Fund	610.64	-	-	-	-	610.64
574 - Sheriff Forfeiture Fund	(15,499.95)	4,993.57	583,729.55	-	-	573,223.17
576 - Sheriff Inmate Medical Fund	15,521.59	-	63,365.23	-	-	78,886.82
577 - DOJ-Equitable Sharing Fund	16,728.20	-	691,346.93	28,225.41	-	736,300.54
578 - Sheriff Commissary Fund	100,199.78	-	625,250.70	-	-	725,450.48
583 - Elections Equipment Fund	33,841.57	-	-	-	-	33,841.57
584 - Tax Assessor Elections Service Contract Fund	837.57	-	21,038.31	-	-	21,875.88
589 - Tax Assessor Special Inventory Fee Fund	0.00	-	65,807.28	-	-	65,807.28
601 - SPU Civil/Criminal/Juvenile Grant/Allocations	(945,938.74)	-	-	-	-	(945,938.74)
640 - Juvenile Grant Fund (Title IVE)	1,186.46	-	85,912.73	-	-	87,099.19
641 - Juvenile Grant State Aid Fund	70,081.21	-	-	-	-	70,081.21
645 - Juvenile Services - HGAC Grant	(3,080.00)	-	-	-	-	(3,080.00)
701 - Retiree Health Insurance Fund	0.00	-	930,322.09	1,419,676.18	-	2,349,998.27
<u>County Treasurer Agency Funds</u>						
615 - Adult Probation-Basic Services Fund	374,854.36	30.00	99,964.05	136,181.50	-	611,029.91
616 - Adult Probation-Court Services Fund	48,642.08	-	-	-	-	48,642.08
617 - Adult Probation-Substance Abuse Services Fund	33,422.68	-	-	-	-	33,422.68
618 - Pretrial Diversion	10,537.58	-	-	-	-	10,537.58
802 - Walker County Public Safety Communications Center	139,140.81	-	1,615,994.84	-	-	1,755,135.65
810 - Agency Fund - LEOSE Training Funds	82,775.90	-	-	-	-	82,775.90
	267,664.14	5,023.57	7,497,587.48	1,662,207.01	0.00	9,432,482.20
	\$ 3,224,776.81	\$ 170,268.36	\$ 24,551,759.59	\$ 4,188,114.79	\$ 7,377,957.43	\$ 39,512,876.98



Cash and Investments Report
As of December 22, 2025
 Transactions Posted as of December 22, 2025

	Cash	ICT	Certificates of Deposit	Total
Agency Funds Maintained by the Department (Balance as of Last Date Reported by the Department)				
850 Agency Fund - County Clerk	\$ 2,551,645.58	\$ 281,582.42	\$ -	\$ 2,833,228.00
851 Agency Fund - District Clerk	\$ 1,086,148.78	\$ -	\$ 553,555.95	\$ 1,639,704.73
852 Agency Fund - Criminal District Attorney	\$ 2,671.87	\$ -	\$ -	\$ 2,671.87
853 Agency Fund - Tax Assessor	\$ 1,025,776.08	\$ -	\$ -	\$ 1,025,776.08
854 Agency Fund - Sheriff	\$ 93,105.36	\$ -	\$ -	\$ 93,105.36
855 Agency Fund - Juvenile	\$ 997.84	\$ -	\$ -	\$ 997.84
856 Agency Fund - County Treasurer Jury	\$ 701.27	\$ -	\$ -	\$ 701.27
857 Agency Fund - Justice of Peace Precinct 4	\$ 452.61	\$ -	\$ -	\$ 452.61
858 Agency Fund - Adult Probation	\$ 6,569.13	\$ -	\$ -	\$ 6,569.13
	<u>\$ 4,768,068.52</u>	<u>\$ 281,582.42</u>	<u>\$ 553,555.95</u>	<u>\$ 5,603,206.89</u>



Sales Tax Revenue Comparison by Fiscal Year

		Fiscal Year 2026	Fiscal Year 2025	Fiscal Year 2024	Fiscal Year 2023	Fiscal Year 2022	Fiscal Year 2021
October	6.18%	\$ 448,014.78	\$ 421,956.11	\$ 430,494.33	\$ 426,935.35	\$ 378,481.65	\$ 341,282.66
November	7.81%	\$ 537,654.96	\$ 498,694.36	\$ 468,234.02	\$ 477,305.48	\$ 470,400.36	\$ 404,860.53
December	6.96%	\$ 466,631.88	\$ 436,267.33	\$ 392,041.05	\$ 402,702.70	\$ 368,467.73	\$ 311,632.44
January			\$ 410,660.38	\$ 409,880.44	\$ 396,438.25	\$ 386,864.04	\$ 345,810.13
February			\$ 566,047.13	\$ 490,724.88	\$ 506,247.91	\$ 488,772.53	\$ 402,950.76
March			\$ 411,610.81	\$ 398,234.30	\$ 405,269.07	\$ 391,919.74	\$ 328,566.37
April			\$ 379,931.13	\$ 365,474.29	\$ 381,310.61	\$ 317,716.26	\$ 270,692.68
May			\$ 502,889.38	\$ 451,281.87	\$ 488,946.95	\$ 458,660.51	\$ 447,063.15
June			\$ 453,069.13	\$ 439,983.80	\$ 396,747.98	\$ 429,635.63	\$ 393,372.95
July			\$ 396,570.26	\$ 386,063.63	\$ 386,095.96	\$ 401,984.02	\$ 349,935.05
August			\$ 471,951.51	\$ 451,374.30	\$ 443,842.79	\$ 480,257.68	\$ 434,731.20
September			\$ 479,181.78	\$ 418,725.70	\$ 398,269.21	\$ 398,673.98	\$ 369,724.46
		\$ 1,452,301.62	\$ 5,428,829.31	\$ 5,102,512.61	\$ 5,110,112.26	\$ 4,971,834.13	\$ 4,400,622.38

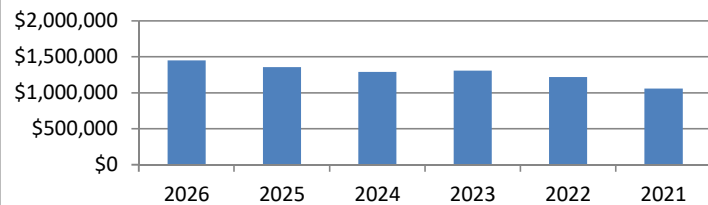
This time last year	\$ 1,356,917.80
% Change	7.03%

Sales Tax Rate for Walker County is	0.5%
State Sales Tax Rate is	6.25%
<u>Municipalities Within Walker County</u>	
City of Huntsville Sales Tax Rate	1.5%
City of New Waverly Sales Tax Rate	1.5%
City of Riverside Sales Tax Rate	1.5%

Fiscal Year to Date	\$ 1,452,301.62	\$ 1,356,917.80	\$ 1,290,769.40	\$ 1,306,943.53	\$ 1,217,349.74	\$ 1,057,775.63
Budgeted this Fiscal Year	\$ 5,350,000.00	24.99%	25.30%	25.58%	24.48%	24.04%
Pct Received This FY	27.2%					

Sales Tax Comparison Fiscal Year to Date As of December

For the Fiscal Calendar Year Ending September 30, 2026





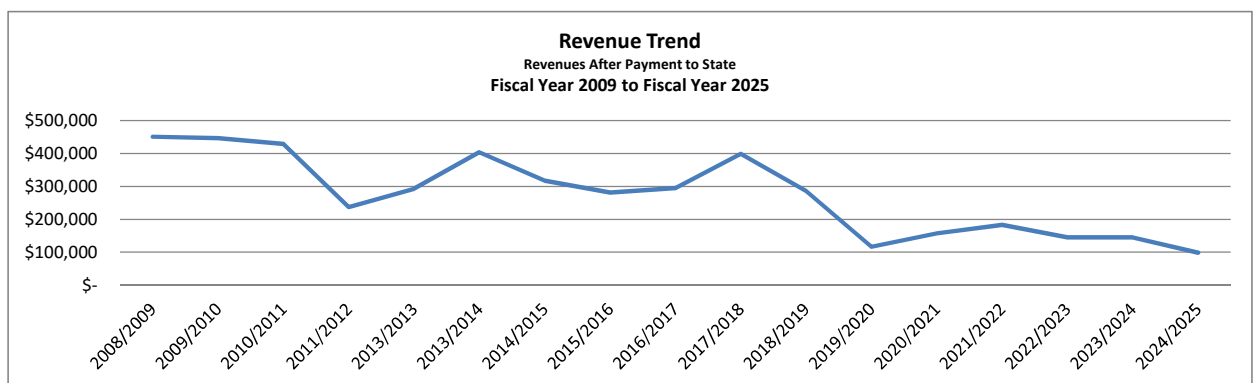
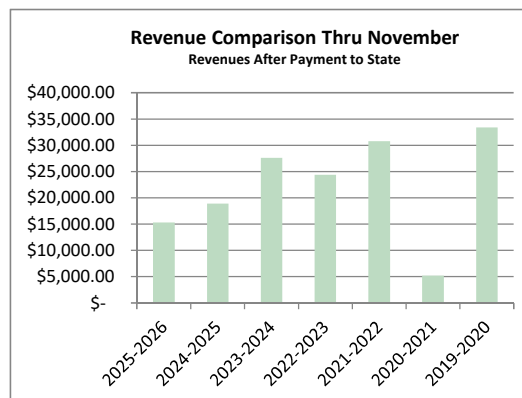
Weigh Station Revenue Comparison by Fiscal Year

Comparison Numbers Based on Revenues Retained by Walker County after submission of fines paid to State

	Total 2025-2026	Pd to State	Fiscal Year 2025-2026	Fiscal Year 2024-2025	Fiscal Year 2023-2024	Fiscal Year 2022-2023	Fiscal Year 2021-2022	Fiscal Year 2020-2021	Fiscal Year 2019-2020
October	\$ 8,099.00	\$ (100.00)	\$ 7,999.00	\$ 13,721.00	\$ 11,833.50	\$ 14,148.00	\$ 18,286.80	\$ 2,840.80	\$ 23,601.60
November	\$ 9,571.50	\$ (2,230.50)	\$ 7,341.00	\$ 5,209.00	\$ 15,777.00	\$ 10,261.00	\$ 12,515.00	\$ 2,354.00	\$ 9,759.50
December				\$ 11,532.50	\$ 13,249.00	\$ 14,158.00	\$ 13,435.50	\$ 2,491.50	\$ 15,248.10
January				\$ 11,210.00	\$ 16,918.90	\$ 11,120.00	\$ 14,960.00	\$ 10,436.50	\$ 14,941.35
February				\$ 9,742.00	\$ 13,102.00	\$ 13,788.50	\$ 15,521.50	\$ 10,863.50	\$ 11,991.00
March				\$ 8,530.50	\$ 9,763.00	\$ 12,517.00	\$ 14,826.00	\$ 18,304.90	\$ 11,431.00
April				\$ 5,151.50	\$ 11,932.50	\$ 5,693.50	\$ 16,970.00	\$ 18,441.15	\$ 6,728.00
May				\$ 10,616.00	\$ 13,054.50	\$ 9,258.00	\$ 14,331.00	\$ 17,318.50	\$ 6,131.70
June				\$ 8,384.00	\$ 11,474.50	\$ 13,738.00	\$ 15,151.50	\$ 22,397.00	\$ 6,101.35
July				\$ 6,044.40	\$ 7,862.00	\$ 10,420.50	\$ 15,425.65	\$ 22,694.00	\$ 3,857.00
August				\$ 3,279.50	\$ 9,168.50	\$ 14,957.50	\$ 17,733.75	\$ 17,414.00	\$ 4,634.00
September				\$ 5,208.00	\$ 11,148.35	\$ 15,360.50	\$ 13,837.50	\$ 12,157.00	\$ 2,610.90
	\$ 17,670.50	\$ (2,330.50)	\$ 15,340.00	\$ 98,628.40	\$ 145,283.75	\$ 145,420.50	\$ 182,994.20	\$ 157,712.85	\$ 117,035.50

Allocated to Weigh Station Improv.	\$ -	This time last year	\$18,930.00
Allocated to Road and Bridge	\$ 15,340.00	% Change	-19.00%

Fiscal Year to Date \$ 17,670.50 \$ (2,330.50) \$ 15,340.00 \$ 18,930.00 \$ 27,610.50 \$ 24,409.00 \$ 30,801.80 \$ 5,194.80 \$ 33,361.10



Budget for FY 2025/2026

	From Tax rate	County Road and Bridge Operations	Weigh Station Support / Personnel
Justice of Peace Pct 4	\$ 68,687.00	\$ -	\$ -
Weigh Station Utilities/Services	\$ 35,187.00	\$ -	\$ 34,289.00
Weigh Station Personnel	\$ -	\$ -	\$ 27,495.00
Road and Bridge Operations	\$ -	\$ 150,000.00	
	\$ 103,874.00	\$ 150,000.00	\$ 61,784.00



*Walker County
Summary of Debt*

Certificates of Obligation Issue Dated June 1, 2012

Capital Projects

	Issued -Amount	Outstanding Amount	Current Debt Service FY 2025-2026		Total
			Principal	Interest	
Series 2012 - \$20,000,000 due in installments of \$685,000 to \$1,335,000 to mature 06/01/2032 at interest rate of 2.0% to 3.7% - callable August 1, 2032	\$20,000,000	\$8,405,000	\$1,085,000	\$289,599	\$1,374,599
Total Debt Service Capital Projects	\$20,000,000	\$8,405,000	\$1,085,000	\$289,599	\$1,374,599



Walker County
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Invoice date	Invoice	Amount	Due Date	PO/PA	Description
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12th Judicial District Court

11811 - Law Office of Joseph W Krippe

12/10/2025	32,372	\$ 1,100.00	12/28/2025		Cause #32,372, #Unfiled
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13289 - Cain Law, PLLC

12/15/2025	32,518	\$ 1,000.00	12/28/2025		Cause #32,518
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13594 - Rockett, PhD, PLLC, Jennifer

12/16/2025	140024014	\$ 2,100.00	12/28/2025		Svc Rendered-Cause #32,382 - 12/03-15/25
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14052 - Valdez Law Firm, PLLC

12/17/2025	31,392	\$ 1,750.00	12/28/2025		Cause #31,392
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12/12/2025	32,100	\$ 1,000.00	12/28/2025		Cause #32,100
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12/12/2025	32,274	\$ 1,750.00	12/28/2025		Cause #32,274
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12th Judicial District Court-30030 - Totals		\$ 8,700.00			
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278th Judicial District Court

11811 - Law Office of Joseph W Krippe

12/11/2025	32,467	\$ 1,000.00	12/28/2025		Cause #32,467
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278th Judicial District Court-30040 - Totals		\$ 1,000.00			
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Adult Basic Supervision

10160 - Pitney Bowes Global Financial Services, LLC

12/11/2025	3321732917	\$ 372.15	12/28/2025		Postage Machine Lease/Huntsville-10/30/25-01/29/26
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12/19/2025	3321806046	\$ 80.82	12/28/2025		Postage Machine Lease/Centerville 11/07/25-02/06/26
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12/19/2025	3321806070	\$ 80.82	12/28/2025		Postage Machine Lease/Madisonville 11/07/25-02/06/26
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10227 - Verizon Wireless

12/10/2025	6130745313	\$ 224.09	12/28/2025		Monthly Service-11/11/25-12/10/25
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10458 - Windstream

12/16/2025	536-2579.121625	\$ 8.81	12/28/2025		Monthly Service - 12/13/25-01/12/26
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10831 - Cross, Shellie M

12/22/2025	K-3149	\$ 39.20	12/28/2025		Miles 56.0, 12/01-22/25
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11015 - Porterfield, Elizabeth

12/17/2025	K-3148	\$ 69.30	12/28/2025		Miles 99.0/Leon, Walker Counties- 12/17/25
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Adult Basic Supervision-50130 - Totals		\$ 875.19			
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Adult Probation Support- General Fund

10052 - Entergy

11/30/2025	137630976.2511	\$ 681.41	12/28/2025		Mo Svc 10/09/25-11/07/25- 705 FM 2821 Rd W
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11009 - City of Huntsville

12/18/2025	26234300.2512	\$ 240.87	12/28/2025		Mo Svc 11/17/25-12/11/25-705 FM 2821
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Adult Probation Support- General Fund-50110 - Totals		\$ 922.28			
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Adult Service Oriented Programs

10232 - Psychological Services Center

12/1/2025	40095	\$ 1,833.34	12/28/2025		Student Hours - 11/01-30/25
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Adult Service Oriented Programs-50150 - Totals		\$ 1,833.34			
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Balance Sheet Accounts

10024 - Colonial Life & Accident Insurance Company

12/27/2025	97970361227538	\$ 160.54	12/28/2025		December 2025 Premium
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10051 - Dearborn National Life Insurance Co

12/16/2025	FD122025	\$ 36.52	12/28/2025		December 2025 Premiums
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10064 - Huntsville Independent School District

12/11/2025	K-3129	\$ 4,243.46	12/28/2025		USDI Forest Funds - Federal Fiscal Year 2025
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10086 - New Waverly Independent School District

12/11/2025	K-3128	\$ 739.63	12/28/2025		USDI Forest Funds - Federal Fiscal Year 2025
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10100 - Richards Independent School District

12/11/2025	K-3131	\$ 339.61	12/28/2025		USDI Forest Funds - Federal Fiscal Year 2025
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10139 - Trinity Independent School District

12/11/2025	K-3130	\$ 375.51	12/28/2025		USDI Forest Funds - Federal Fiscal Year 2025
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10219 - Huntsville-Walker County Crime Stoppers

11/30/2025	K-3133	\$ 23.72	12/28/2025		November 2025 Felony Crime Stopper Fees
11/30/2025	K-3133	\$ 292.81	12/28/2025		November 2025 Misdemeanor Crime Stopper Fees

Invoice Total		\$ 316.53			
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10376 - Texas Parks & Wildlife

12/9/2025	2250804	\$ 133.45	12/28/2025		JP2 Citations/#A8574916/Case#2250804/Perry, D., 12/09/25
12/11/2025	425-033953	\$ 133.45	12/28/2025		JP4 Citations/#A8625316/Case#425-033953/Goddard, A., 12/11/25

10542 - Perdue Brandon Fielder Collins & Mott LLP

12/3/2025	17004	\$ 112.50	12/28/2025		JP3 Fines and Fees - November 2025
9/30/2025	17042	\$ 451.50	12/28/2025		Co Court at Law Fines and Fees - October 2024
9/30/2025	17043	\$ 356.72	12/28/2025		Co Court at Law Fines and Fees - December 2024
9/30/2025	17044	\$ 100.71	12/28/2025		Co Court at Law Fines and Fees - March 2025

10900 - Aflac

12/11/2025	295377	\$ 9,747.80	12/28/2025		December 2025 Monthly Premiums
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Balance Sheet Accounts

13792 - Tenth Court of Appeals

11/30/2025	K-3132	\$ 175.00	12/28/2025		Appellate Judicial Fund Fees-SB41 11/25
11/30/2025	K-3132	\$ 198.34	12/28/2025		Appellate Judicial Fund Fees-SB41 11/25

Invoice Total \$ 373.34

14535 - Shuck, Mark

12/17/2025	K-3150	\$ 60.00	12/28/2025		Refund Overpayment/Case #2029680/Shuck, M. Receipt #DC-52986
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Balance Sheet Accounts-10000 - Totals \$ 17,681.27

Centralized Costs

10024 - Colonial Life & Accident Insurance Company

12/27/2025	97970361227538	(\$ 0.03)	12/28/2025		December 2025 Premium
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10038 - Federal Express Corporation

12/11/2025	9-099-76987	\$ 7.61	12/28/2025		Acct#1199-9882-4/Shipping 12/02/25
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10269 - AT&T

12/9/2025	436-4900.120925	\$ 1,406.74	12/28/2025		Monthly Service - 12/09/25-01/08/26
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10282 - Department of Information Resources

12/19/2025	26110910N	\$ 138.55	12/28/2025		Long Distance 11/01/25- 11/30/25
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10900 - Aflac

12/11/2025	295377	\$ 0.14	12/28/2025		December 2025 Monthly Premiums
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10987 - Olson & Olson LLP

12/8/2025	17063	\$ 975.00	12/28/2025		Svc Rendered - 11/21/25
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11866 - Guthrie, Regina

1/1/2026	G260101	\$ 500.00	1/1/2026		Parking Lot Rental - 01/26
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12203 - Frontier Communications of Texas

12/13/2025	344-2255-121325	\$ 190.52	12/28/2025		Monthly Service - 12/13/25-01/12/26
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12363 - Rollo Insurance Group, Inc.

12/18/2025	13074	\$ 50.00	12/28/2025		Bond Rewrite/Planning & Development 01/01/26-01/01/27 Policy #101724592
12/18/2025	13078	\$ 50.00	12/28/2025		Bond Rewrite/Juvenile Services - 2/13/26-2/13/27 Policy #101724682
12/18/2025	13079	\$ 53.00	12/28/2025		Bond Rewrite/12th & 278th - 1/24/26-1/24/27 Policy #101724687
12/18/2025	13080	\$ 50.00	12/28/2025		Bond Rewrite/Tax Assessor Office 01/01/26-01/01/27 Policy #101724698
12/18/2025	13082	\$ 210.00	12/28/2025		Bond Rewrite/County Clerk Office - 01/01/26-01/01/27 Policy #101724816

Centralized Costs-19010 - Totals \$ 3,631.53



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Constable Precinct 4

13370 - Walker County Transmissions/WC Auto

12/12/2025	25165	\$ 172.22	12/28/2025	PO - 43749	FAS#13945 - Oil Filter, Synthetic Motor Oil Quart x8, Rotate Tires, Shop Supplies, Labor
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Constable Precinct 4-44040 - Totals	\$ 172.22
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County Auditor

13796 - ODP Business Solutions, LLC

11/30/2025	449550795001	\$ 116.85	12/28/2025	PA - 2731	1099-MISC Tax Forms 4-Part Pack of 25 Form Sets, 1099-NEC Tax Forms, 4-Part Pack of 100 x2
11/30/2025	449551813001	\$ 70.80	12/28/2025	PA - 2731	Chairmat Berber 46x60 Utility
11/30/2025	449551813001	\$ 4.85	12/28/2025		Pen Retractable Adv Ink 0.7 Blue x1pk of 12

Invoice Total	\$ 75.65
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County Auditor-20010 - Totals	\$ 192.50
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County Clerk

14533 - Neumo Records, LLC

12/9/2025	INV-11822	\$ 42,336.00	12/28/2025		Cloud-Land Records Management, 2025-2026 Annual Renewal
12/12/2025	INV-11867	\$ 1,940.88	12/28/2025		Monthly Service - November 2025

County Clerk-15050 - Totals	\$ 44,276.88
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County Court at Law

10629 - Bennett Law Office PC

12/19/2025	24-0291	\$ 500.00	12/28/2025		Cause #24-0291
12/19/2025	25-0215	\$ 500.00	12/28/2025		Cause #25-0215
12/19/2025	25-0636	\$ 500.00	12/28/2025		Cause #25-0636

11811 - Law Office of Joseph W Krippel

12/10/2025	25-0447	\$ 500.00	12/28/2025		Cause #25-0447
12/10/2025	25-0773	\$ 500.00	12/28/2025		Cause #25-0773

13655 - Riley, Michael

12/19/2025	12-0642	\$ 500.00	12/28/2025		Cause #12-0642
12/10/2025	22-0345	\$ 500.00	12/28/2025		Cause #22-0345
12/19/2025	25-0290	\$ 500.00	12/28/2025		Cause #25-0290
12/19/2025	25-0372	\$ 500.00	12/28/2025		Cause #25-0372
12/10/2025	25-0378	\$ 500.00	12/28/2025		Cause #25-0378
12/19/2025	25-0596	\$ 500.00	12/28/2025		Cause #25-0596
12/10/2025	25-0640	\$ 600.00	12/28/2025		Cause #25-0640 CT1, CT2
12/19/2025	25-0673	\$ 500.00	12/28/2025		Cause #25-0673

County Court at Law-30020 - Totals	\$ 6,600.00
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County Facilities

10008 - Able Glass & Mirror Company, Inc.

12/18/2025	1-10146	\$ 476.46	12/28/2025	PO - 43471	Justice Center- 3/4" Clear Aluminum and Vinyl Bulb Door Seal Set for 36"x84" Door x3ea, 36" Clear Commercial Door Sweep x3ea, Labor
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10023 - Coburn's Huntsville # 15

12/9/2025	156277483	\$ 44.33	12/28/2025	PO - 43477	Shelter - Sloan Valve 1-1/2 X 15 CP Vacuum Breaker
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10036 - CenterPoint Energy

12/16/2025	26067850.2512	\$ 197.25	12/28/2025		Mo Svc 11/11/25-12/09/25 - 1301 Sam Houston Ave
12/16/2025	73707291.2512	\$ 92.07	12/28/2025		Mo Svc 11/11/25-12/09/25 - 1313 University Ave

10052 - Entergy

11/30/2025	136069754.2511	\$ 403.74	12/28/2025		Mo Svc 10/09/25-11/07/25- 340 SH 75N Ste 100
11/30/2025	136102514.2511	\$ 222.74	12/28/2025		Mo Svc 10/09/25-11/07/25- 344 SH 75N Bldg B
11/30/2025	138475090.2511	\$ 5,198.33	12/28/2025		Mo Svc 10/08/25-11/06/25- 1100 University Ave
11/30/2025	139330252.2511	\$ 188.44	12/28/2025		Mo Svc 10/09/25-11/07/25- 344 SH 75N Bldg A
11/30/2025	140221086.2511	\$ 466.42	12/28/2025		Mo Svc 10/08/25-11/06/25- 1313 University Ave
11/30/2025	141614206.2511	\$ 1,354.19	12/28/2025		Mo Svc 10/09/25-11/07/25- 717 FM 2821 Rd W
11/30/2025	142141662.2511	\$ 1,918.94	12/28/2025		Mo Svc 10/08/25-11/06/25- 1301 Sam Houston Ave
11/30/2025	173375866.2511	\$ 95.15	12/28/2025		Mo Svc 10/09/25-11/07/25- 344 SH 75N Bldg C

10071 - Johnson Supply & Equipment Corp.

12/15/2025	11230764	\$ 123.38	12/28/2025	PO - 43481	Justice Center - Contactor 3P 40A 24V x2, Noark 1NO/1NC 20-90A Auxiliary Interlock AXFC11
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County Facilities

10143 - Walker County Hardware

12/10/2025	171637	\$ 8.99	12/28/2025	PA - 2625	D A - Painter's Tape
12/12/2025	171725	\$ 39.93	12/28/2025	PA - 2625	Annex - Small Snap Trap for Mice 2 pk x4, Small Multiple Catch Animal Trap for Mice, Stick-Em Pro Series Small Glue Trap for Mice 4 pk x2
12/15/2025	171829	\$ 35.99	12/28/2025		Maintenance - (Ref P A #2625 - To Be Credited with Invoice#I21392) Deck Screw 9x2" 1# SS
12/15/2025	171829	\$ 7.99	12/28/2025	PA - 2625	Maintenance - Keeper 1 in. W X 6 ft. L Gray Tie Down 400 lb
	Invoice Total	\$ 43.98			
12/16/2025	171853	\$ 21.99	12/28/2025	PA - 2625	Maintenance - VP Racing Fuels Small Engine Ethanol-Free 2-Cycle 50:1 Pre-Mixed Fuel 1 gal
12/17/2025	171930	\$ 9.59	12/28/2025	PA - 2625	Maintenance - Titebond II Premium Yellow Wood Glue 16 oz
12/18/2025	172009	\$ 7.99	12/28/2025	PA - 2625	Courthouse - 4 in. W Nickel Satin Nickel Silver Kick-Down Door Holder
12/19/2025	172024	\$ 99.99	12/28/2025	PA - 2625	Annex - Tell Aluminum/Steel Hydraulic Door Closer Grade 1
12/15/2025	I21392	(\$ 35.99)	12/28/2025		Maintenance - (Ref P A #2625 - Credit for Invoice#171829) Deck Screw 9x2" 1# SS
12/15/2025	I21392	\$ 33.99	12/28/2025	PA - 2625	Maintenance - Deck Screw 9x2" 1# SS
	Invoice Total	(\$ 2.00)			

10317 - Home Depot

12/15/2025	2512862	\$ 225.12	12/28/2025	PA - 2621	Courthouse - 11/16 in. x 11/16 in. Ash Wood Quarter Round Molding PreStained with Honey Oak Finish x168
12/12/2025	5512610	\$ 19.44	12/28/2025	PA - 2621	RB2 - 121 oz. Concentrated Germicidal Disinfecting Liquid Bleach Cleaner x3
12/11/2025	6621663	\$ 125.97	12/28/2025	PA - 2621	Maintenance - Stubby Ratcheting SAE/MM Combination Wrench Set (10-Piece), 18V Cordless Multi-Size Ratchet Kit with 1.5 Ah Battery and Charger
12/10/2025	7512410	\$ 19.98	12/28/2025	PA - 2621	JP2 - 25 ft. Indoor/Outdoor Extension Cord
12/9/2025	8621487	\$ 6.48	12/28/2025	PA - 2621	Custodial - Germicidal Bleach 121 oz

11009 - City of Huntsville

12/18/2025	18035001.2512	\$ 83.05	12/28/2025		Mo Svc 11/13/25-12/12/25-1313 University
12/18/2025	18036001.2512	\$ 595.43	12/28/2025		Mo Svc 11/13/25-12/12/25-1301 Sam Houston
12/18/2025	18144000.2512	\$ 1,659.11	12/28/2025		Mo Svc 11/13/25-12/12/25-1100 University Ave
12/18/2025	26234500.2512	\$ 434.71	12/28/2025		Mo Svc 11/17/25-12/11/25-717 FM 2821
12/18/2025	26243000.2512	\$ 130.83	12/28/2025		Mo Svc 11/17/25-12/11/25-340 Hwy 75N A
12/18/2025	26247000.2512	\$ 146.18	12/28/2025		Mo Svc 11/17/25-12/11/25-340 Hwy 75N D

13614 - Auto Parts of Huntsville, Inc

12/18/2025	711886	\$ 64.53	12/28/2025	PO - 43475	FAS#10400 - Ignition Lock Cylinder Un-coded
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County Facilities-17010 - Totals

\$ 14,522.73



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County Jail

10023 - Coburn's Huntsville # 15

12/15/2025	156277799	\$ 170.55	12/28/2025	PO - 43443	B-107 LF T&S Pre-Rinse Spray Head Unit, Krowne Royal Series 44in Pre-Rinse Hose with Grip
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10052 - Entergy

11/30/2025	136967221.2511	\$ 8,992.70	12/28/2025		Mo Svc 10/09/25-11/07/25- 655 Fm 2821 Rd Huntsville
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10067 - Huntsville Truck & Tractor, Inc.

11/7/2025	56907	\$ 406.42	12/28/2025	PO - 43447	FAS#12674, #12675 - Kubota Parts Spindle Shaft for Mower Deck, Z Series Zero Turn Mower x3, Kubota Standard Blade Kit
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10143 - Walker County Hardware

12/12/2025	171727	\$ 8.58	12/28/2025	PO - 43460	5/32 in. X 3-1/8 in. L Black Oxide Drill Bit Round Shank, 1/4 in. W X 4 7/8 in. L Cold Chisel
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13258 - Summit Food Service, LLC

12/16/2025	INV2000260874	\$ 8,825.29	12/28/2025		Inmate Meals - 12/06-12/25
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13277 - Buckeye Cleaning Center - Houston

12/9/2025	90722098	\$ 2,472.57	12/28/2025	PO - 43724	Eco Ph Neutral Cleaner x3, Eco Neutral Disinfectant x4, Roll Towel 800' 6/cs x5, Tissue 2-Ply 96/cs x20, Green Cert Foam Hand Wash, Liner HD 24x32 1000/c 20/50 x3cs, Heavy Weight Looped Mop, 24" Merrimack Sweep Broom x6, Receptacle Round 32 Gal x2, 10" Sc
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12/17/2025	90724246	\$ 62.00	12/28/2025	PO - 43724	Lemon Quat 4X1 x1cs
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13614 - Auto Parts of Huntsville, Inc

12/10/2025	710362	(\$ 9.94)	12/28/2025	PO - 43828	(Ref P O #42947 - Credit for Invoice#693610 Dated 9/09/25) Air Hose Coupler Female
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12/10/2025	710362	\$ 23.22	12/28/2025	PO - 43828	Air Hose Couplers Female Inlet x3
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	Invoice Total	\$ 13.28			
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County Jail-50010 - Totals		\$ 20,951.39			
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County Auditor-Financial Systems

12053 - Datacuity, LLC

12/18/2025	1813	\$ 2,652.00	12/28/2025		Annual Licensing and Support - 03/2026-02/2027
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County Auditor-Financial Systems-20005 - Totals		\$ 2,652.00			
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Courts-Central Costs

11872 - Zavala, Irma

12/13/2025	25-1200	\$ 545.00	12/28/2025		Services Rendered - 11/24/25
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12569 - Montgomery County Clerk

12/8/2025	25-22005	\$ 425.00	12/28/2025		Physician Fee, Attorney Fees/Cause #25-22005
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12/8/2025	25-22009	\$ 425.00	12/28/2025		Physician Fee, Attorney Fees/Cause #25-22009
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12/8/2025	25-22021	\$ 425.00	12/28/2025		Physician Fee, Attorney Fees/Cause #25-22021
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Courts-Central Costs-30010 - Totals		\$ 1,820.00			
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Criminal District Attorney

10052 - Entergy

11/30/2025	138751359.2511	\$ 861.41	12/28/2025		Mo Svc 10/08/25-11/06/25- 1036 11th Street
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11009 - City of Huntsville

12/18/2025	18157500.2512	\$ 140.66	12/28/2025		Mo Svc 11/13/25-12/12/25-1036 11th Street
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Criminal District Attorney-32010 - Totals		\$ 1,002.07			
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District Clerk

10079 - Harris County Constable Pct. 5

11/30/2025	K-3153	\$ 85.00	12/28/2025		Service Fee-Tax Suits/T25-10
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10124 - Travis County Constable Pct.5

12/5/2025	K-3137	\$ 85.00	12/28/2025		Service Fee-Tax Suits/T25-66
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10286 - Harris County Constable Pct. 3

12/5/2025	K-3138	\$ 85.00	12/28/2025		Service Fee-Tax Suits/T25-66
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10308 - Harris County Constable Pct. 6

12/5/2025	K-3136	\$ 85.00	12/28/2025		Service Fee-Tax Suits/T25-66
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10542 - Perdue Brandon Fielder Collins & Mott LLP

12/5/2025	K-3135	\$ 200.00	12/28/2025		Abstract/Research Fee-Tax Suits/T25-66
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11/30/2025	K-3152	\$ 200.00	12/28/2025		Abstract/Research Fee-Tax Suits/T25-90
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12/4/2025	K-3155	\$ 200.00	12/28/2025		Abstract/Research Fee-Tax Suits/T25-97
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11105 - Bexar County Constable Pct. 2

11/30/2025	K-3151	\$ 92.00	12/28/2025		Service Fee-Tax Suits/T25-90
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12072 - Taylor County Constable, Pct 1

12/4/2025	K-3154	\$ 80.00	12/28/2025		Service Fee-Tax Suits/T25-97
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13796 - ODP Business Solutions, LLC

12/5/2025	450280635001	\$ 393.90	12/28/2025	PO - 43859	Paper 8.5x11 20lb x10cs
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District Clerk-31010 - Totals		\$ 1,505.90			
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District Clerk Records Preservation

10172 - Scott Merriman, Inc.

12/17/2025	076152	\$ 380.00	12/28/2025	PO - 43796	Civil Strip Labels for Civil Folders Starting at #32205
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12/17/2025	076152	\$ 190.00	12/28/2025	PO - 43796	Criminal File Folder Strip Labels starting at #33093
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12/17/2025	076152	\$ 60.00	12/28/2025	PO - 43796	Shipping
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Invoice Total		\$ 630.00			
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District Clerk Records Preservation-31020 - Totals		\$ 630.00			
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Elections

12417 - Standlee, David

12/13/2025	A2573	\$ 120.00	12/28/2025		EVBB 12/13/25
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13441 - Harrison, Donnie

12/13/2025	A2575	\$ 110.00	12/28/2025		EVBB 12/13/25
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13603 - Baker, Jerrine

12/13/2025	A2574	\$ 110.00	12/28/2025		EVBB 12/13/25
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14077 - Kovalcik, Leigh Ann

12/13/2025	A2576	\$ 140.25	12/28/2025		Annex 12/13/25
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Elections-16020 - Totals		\$ 480.25			
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Emergency Operations

10052 - Entergy

11/30/2025	137532164.2511	\$ 2,224.26	12/28/2025		Mo Svc 10/09/25-11/07/25- 445 SH 75N
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10098 - Reliable Parts Co.

12/16/2025	734	\$ 98.27	12/28/2025	PA - 2609	FAS#13335 - Mobil 10W30 Synthetic Oil x8, Oil Filter
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12/17/2025	806	\$ 29.95	12/28/2025	PA - 2609	FAS#13335 - Air Filter
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11009 - City of Huntsville

12/18/2025	26830000.2512	\$ 421.71	12/28/2025		Mo Svc 11/17/25-12/11/25-455 Hwy 75N
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13423 - American Glass & Mirror

12/10/2025	5815	\$ 394.00	12/28/2025	PO - 43875	Replace Window - Replace rear window on 2019 Chevrolet Tahoe. FAS# 12721 VIN# 1GNLCDEC2KR244558
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13676 - DirecTV LLC

12/11/2025	039643069.25121 1	\$ 149.99	12/28/2025		Monthly Service - 12/10/25-01/09/26
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12/11/2025	075669314.25121 1	\$ 129.99	12/28/2025		Monthly Service - 12/10/25-01/09/26
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Emergency Operations-46010 - Totals		\$ 3,448.17			
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Facilities-Justice Center Municipal Allocation

10052 - Entergy

11/30/2025	141614206.2511	\$ 329.40	12/28/2025		Mo Svc 10/09/25-11/07/25- 717 FM 2821 Rd W
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11009 - City of Huntsville

12/18/2025	26234500.2512	\$ 105.74	12/28/2025		Mo Svc 11/17/25-12/11/25-717 FM 2821
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Facilities-Justice Center Municipal Allocation- 17020 - Totals		\$ 435.14			
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General Government Projects

12281 - Blevl Engineering

11/30/2025	61594	\$ 1,250.00	12/28/2025	PO - 43821	Professional Services, 11/02/25-11/29/25 Engineering fees for parking lot rehab at 340 SH 75 North
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General Government Projects-19990 - Totals	\$ 1,250.00
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Governmental/Services Contracts

10145 - Walker County Appraisal District

1/1/2026	AC260101	\$ 51,095.75	1/1/2026		Collections - 01/2026-03/2026
1/1/2026	AD260101	\$ 174,697.50	1/1/2026		Appraisals - 01/2026-03/2026

Governmental/Services Contracts-29940 - Totals	\$ 225,793.25
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Health and Human Services -
Governmental/Services Contracts

10225 - Senior Center of Walker County

1/1/2026	SC260101	\$ 1,250.00	1/1/2026		Service Contract - 01/26
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Health and Human Services - Governmental/Services Contracts-69940 - Totals	\$ 1,250.00
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IT Hardware/Software

10243 - SHI Government Solutions

12/9/2025	GB00577749	\$ 1,227.24	12/28/2025		Windows - Multiple Windows Platform - 12/01/25 - 11/30/26 33660843 T2N-00001 ESD - O365GOVE5 x3 Per Quote #24714288
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IT Hardware/Software-15030 - Totals	\$ 1,227.24
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Justice of Peace Precinct 3

10036 - CenterPoint Energy

12/16/2025	138711346.2512	\$ 28.54	12/28/2025		Mo Svc 11/11/25-12/09/25 - 2986 SH 19 UNT
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10052 - Entergy

11/30/2025	137396024.2511	\$ 112.78	12/28/2025		Mo Svc 10/29/25-11/28/25- 2968 Hwy 19
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Justice of Peace Precinct 3-33030 - Totals	\$ 141.32
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Justice of Peace Precinct 4

10052 - Entergy

11/30/2025	142756261.2511	\$ 231.06	12/28/2025		Mo Svc 10/24/25-11/24/25- 9134 SH 75S
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Justice of Peace Precinct 4-33040 - Totals	\$ 231.06
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Juvenile Probation Support - General Fund

10052 - Entergy

11/30/2025	138483110.2511	\$ 306.96	12/28/2025		Mo Svc 10/08/25-11/06/25- 1021 University Ave
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Juvenile Probation Support - General Fund

10232 - Psychological Services Center

12/19/2025	21375	\$ 250.00	12/28/2025		Juvenile Evaluation, PID#3420
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11009 - City of Huntsville

12/18/2025	18154000.2512	\$ 82.48	12/28/2025		Mo Svc 11/13/25-12/12/25-1021 University Ave
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11029 - Payne, April

12/10/2025	K-3127	\$ 107.80	12/28/2025		Mileage-154.0/Sugarland, TX - 12/10/25
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12699 - Cleveland, Mervin

12/10/2025	095	\$ 210.00	12/28/2025		Svc Rnd- 11/12-18/25, PID#3374, 3351
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Juvenile Probation Support - General Fund-36010 - Totals	\$ 957.24				
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Litter Control - General Fund

10143 - Walker County Hardware

11/4/2025	170257	\$ 75.99	12/28/2025	PO - 43464	.095 Stihl X-Line 5# Green Line 1640', 9/16 in. D X 3/8 in. D #8 Rubber O-Ring
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11009 - City of Huntsville

12/18/2025	24411100.2512	\$ 281.58	12/28/2025		Mo Svc 11/15/25-12/15/25-Litter Control
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Litter Control - General Fund-61050 - Totals	\$ 357.57				
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Public Safety Governmental/Services Contracts

10020 - City of Huntsville

1/1/2026	CH260101	\$ 20,541.00	1/1/2026		Fire Protection - 01/26
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Public Safety Governmental/Services Contracts-49940 - Totals	\$ 20,541.00				
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Purchasing

10065 - The Huntsville Item

12/5/2025	10181.26	\$ 298.87	12/28/2025		Subscription Renewal/Acct#10181- 01/09/26-01/08/27
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13796 - ODP Business Solutions, LLC

12/5/2025	447954527001	\$ 18.39	12/28/2025	PO - 43831	Planner Calendar 5x8 Mimosa RY26
12/5/2025	447957300001	\$ 55.06	12/28/2025	PO - 43831	Address Labels White 3000ct x1bx, Pressboard 2 Div 2" Legal x2bx
12/9/2025	447957308001	\$ 14.99	12/28/2025	PO - 43831	Wall Sign 2x10

Purchasing-20040 - Totals	\$ 387.31				
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Road and Bridge General

10052 - Entergy

11/30/2025	142697036.2511	\$ 352.15	12/28/2025		Mo Svc 10/29/25-11/28/25- 2986 Hwy 19 Emulsion Tank
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10092 - Powers Auto Supply

12/16/2025	169963	\$ 39.96	12/28/2025	PO - 43568	FAS#10320 - WD40 12 oz Spray x4
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Road and Bridge General

10594 - P2 Emulsions

12/12/2025	25568	\$ 12,213.20	12/28/2025	PA - 2702	3,580 Gals P2 CWP Pothole Patch Asphalt Emulsion, Freight Differential, Pump & Hose Charge
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11389 - Huntsville A-1 Tire Repair, LLC

12/15/2025	142053	\$ 34.46	12/28/2025	PO - 43573	FAS#10388 - OTR Hub Cap Window Kit x4, 6-Hole Hub Cap
12/11/2025	142054	\$ 31.62	12/28/2025	PO - 43573	FAS#10388 - Hubcap x3

11886 - Mustang Rental Services of Texas, Ltd.

12/11/2025	B5644601	\$ 3,038.49	12/28/2025	PO - 43844	336 Excavator - Day Rental - Model# 340-AK Serial# OEFH10894 Rental - \$1483.88 Heavy Equipment Tax - \$2.67 Environment Charge - \$29.68 Equipment Surcharge - \$22.26 Delivery Out - \$750.00 Return - \$750.00
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Road and Bridge General-82200 - Totals	\$ 15,709.88
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Road and Bridge Precinct 1

10052 - Entergy

11/30/2025	136102902.2511	\$ 321.83	12/28/2025		Mo Svc 10/09/25-11/07/25- 350A SH75N Road Dept
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10073 - Linde Gas & Equipment, Inc.

12/12/2025	53757586	\$ 9.39	12/28/2025	PO - 43597	Paint Marker - White
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10098 - Reliable Parts Co.

12/9/2025	397	\$ 120.88	12/28/2025		(Ref P O #43674 - To Be Credited with Invoice#461) FAS#10357 - Multi-Use Hose 7', Multi-Use Hose 6", Hydraulic Coupling - MegaCrimp x2, Sales Tax
12/9/2025	401	\$ 108.94	12/28/2025		(Ref P O #43674 - To Be Credited with Invoice#460) FAS#10367 - Multi-Use Hose 72", Hydraulic Coupling - MegaCrimp x2, Sales Tax
12/10/2025	460	(\$ 108.94)	12/28/2025		(Ref P O #43674 - Credit for Invoice#401 FAS#10367 - Multi- Use Hose 72", Hydraulic Coupling - MegaCrimp x2, Sales Tax
12/10/2025	461	(\$ 120.88)	12/28/2025		(Ref P O #43674 - Credit for Invoice#397) FAS#10357 - Multi-Use Hose 7', Multi-Use Hose 6", Hydraulic Coupling - MegaCrimp x2, Sales Tax
12/10/2025	462	\$ 100.64	12/28/2025	PO - 43674	FAS#10367 - Multi-Use Hose 72", Hydraulic Coupling - MegaCrimp x2
12/19/2025	953	\$ 111.66	12/28/2025	PO - 43674	FAS#13857 - Multi-Use Hose x96", Female JIC 37 Flare Swivel x2
12/19/2025	953	\$ 3.86	12/28/2025	PO - 43674	Ref PO43674/FAS#13857 Vendor Price Reduction given on Credit Inv#967
Invoice Total		\$ 115.52			
12/19/2025	967	(\$ 3.86)	12/28/2025		Ref PO43674/FAS#13857 Vendor Price Reduction for Org Inv#953



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Road and Bridge Precinct 1

10143 - Walker County Hardware

12/11/2025	171672	\$ 57.57	12/28/2025	PO - 43676	58 in. Steel Round Digging Shovel Wood Handle x2, White Valve Tip Paint Marker 1 pc
12/16/2025	171849	\$ 10.99	12/28/2025	PO - 43676	AAA Alkaline Batteries 8 pk
12/17/2025	171920	\$ 13.99	12/28/2025	PO - 43676	Feit A19 E26 (Medium) LED Bulb Daylight 100-Watt Equivalence 4 pk

10216 - Performance Truck

12/10/2025	S0052716331	\$ 2,091.77	12/28/2025	PO - 43673	FAS#14097 - Bellows-Exhaust 4/5 X 17.7" Tors, NOx (Nitrogen Oxide) Sensor, Injector Core Charge, Shipping & Handling
12/17/2025	S0052729951	\$ 94.98	12/28/2025	PO - 43673	FAS#10344 - O-Ring Kit x2
12/17/2025	S0052730151	(\$ 112.50)	12/28/2025		(Ref P O #43673 - Credit for Invoice#S0052716331) Sensor Core Charge Reimbursement
12/18/2025	S0052730531	\$ 508.49	12/28/2025	PO - 43673	FAS#13857 - NOX Nitrogen Oxide Sensor, Core Charge
12/18/2025	S0052730611	\$ 492.99	12/28/2025	PO - 43673	FAS#10344 - Unit Pump - Mack E7, Core Provided
12/18/2025	S0052730891	\$ 2,355.99	12/28/2025	PO - 43673	FAS#13857 - EGR Valve Kit, EGR Valve Kit Core Charge

11009 - City of Huntsville

12/18/2025	26241000.2512	\$ 427.91	12/28/2025		Mo Svc 11/17/25-12/11/25-340 Hwy 75N
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11390 - Ellis D. Walker Trucking, LLC

12/9/2025	13429	\$ 699.72	12/28/2025	PO - 43596	41.16 Yards Concrete Rubble
12/10/2025	13433	\$ 699.72	12/28/2025	PO - 43596	41.16 Yards Concrete Rubble
12/3/2025	13434	\$ 473.85	12/28/2025	PO - 43596	14.58 Tons Limestone Road Base
12/9/2025	13435	\$ 441.35	12/28/2025	PO - 43596	13.58 Tons Limestone Road Base
12/10/2025	13436	\$ 2,289.95	12/28/2025	PO - 43596	70.46 Tons Limestone Road Base
12/11/2025	13443	\$ 1,526.85	12/28/2025	PO - 43596	46.98 Tons Limestone Road Base

13614 - Auto Parts of Huntsville, Inc

12/15/2025	711142	\$ 39.55	12/28/2025	PO - 43591	FAS#11701 - Gold Hydraulic Filter
12/16/2025	711515	\$ 175.99	12/28/2025	PO - 43591	FAS#10367 -TranSynd 668 Synthetic Transmission Fluid - 5 gal
12/18/2025	711824	\$ 12.99	12/28/2025	PO - 43591	FAS#12290 - Diesel Exhaust Fluid (DEF) - 2.5 gal

Road and Bridge Precinct 1-82210 - Totals	\$ 12,845.67
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Road and Bridge Precinct 2

10098 - Reliable Parts Co.

12/22/2025	1034	\$ 89.50	12/28/2025	PO - 43637	FAS#10201 - Heavy-Duty Hydraulic Transmission Fluid 5-gallon
12/13/2025	622	\$ 4.84	12/28/2025	PO - 43637	FAS#12726 - Fittings x2



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Road and Bridge Precinct 2

10143 - Walker County Hardware

12/13/2025	171778	\$ 0.50	12/28/2025	PO - 43641	FAS#12726 - Hillman Fasteners x2
12/15/2025	171792	\$ 68.98	12/28/2025	PO - 43641	Work Boot Olive Green, Men's Work Winter Work Gloves Palomino L 1 pair

10547 - Mustang Cat

12/17/2025	WORK1360370	\$ 26,075.69	12/28/2025	PO - 43852	Internal Repairs to FAS# 10201.. Repair Articulation Cylinder, Centershift Cylinder, Hydraulic Cylinders, Parking Brake, Implement Control Valve, etc, Parts & Labor as per attached.
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10614 - Doggett Machinery Services

12/22/2025	X13595	\$ 940.12	12/28/2025	PO - 43666	FAS#14064 - Blade Kit x2, Freight
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11389 - Huntsville A-1 Tire Repair, LLC

12/8/2025	142043	\$ 46.12	12/28/2025	PO - 43652	FAS#11936 - 24 x 36 Mud Flap, Glad Hand Seal x4
12/8/2025	142043	\$ 4.00	12/28/2025	PO - 43652	FAS#11937 - Glad Hand Seal x4
	Invoice Total	\$ 50.12			
12/9/2025	142045	\$ 100.00	12/28/2025	PO - 43652	FAS#10311 - Pressure Test Coolant System, Tighten Hose Clamp, Shop Supply
12/10/2025	142051	\$ 85.00	12/28/2025	PO - 43652	FAS#11937 - Tire Repair x2, Shop Supply
12/15/2025	142064	\$ 202.74	12/28/2025	PO - 43652	FAS#11937 - Air Spring, 3/8" Air Brake x2
12/16/2025	142067	\$ 45.00	12/28/2025	PO - 43652	FAS#10311 - Tire Mount, Shop Supply
12/17/2025	142077	\$ 45.00	12/28/2025	PO - 43652	FAS#11936 - Tire Repair, Shop Supplies

11390 - Ellis D. Walker Trucking, LLC

12/9/2025	13439	\$ 5,871.78	12/28/2025	PO - 43667	180.67 Tons Limestone Road Base
12/10/2025	13441	\$ 10,224.18	12/28/2025	PO - 43667	314.59 Tons Limestone Road Base
12/11/2025	13442	\$ 11,183.58	12/28/2025	PO - 43667	344.11 Tons Limestone Road Base
12/15/2025	13464	\$ 8,814.00	12/28/2025	PO - 43667	271.2 Tons Limestone Road Base
12/16/2025	13465	\$ 8,560.50	12/28/2025	PO - 43667	263.4 Tons Limestone Road Base
12/17/2025	13466	\$ 4,462.25	12/28/2025	PO - 43667	137.3 Tons Limestone Road Base
12/18/2025	13467	\$ 8,979.75	12/28/2025	PO - 43667	276.3 Tons Limestone Road Base

13156 - Ernst, Rhonda

1/1/2026	E260101	\$ 10.00	1/1/2026		Parking Area Lease - 01/26
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13614 - Auto Parts of Huntsville, Inc

12/9/2025	710142	\$ 32.98	12/28/2025	PO - 43659	FAS#12896 - Diesel Exhaust Fluid, 2.5 Gallons x2
12/11/2025	710534	\$ 43.48	12/28/2025	PO - 43659	FAS#10418 - Permatex Rs Gasket Maker - 7.5 oz, NAPA OE Quality Headlight Bulb
12/17/2025	711585	\$ 4.52	12/28/2025	PO - 43659	Grease Hose Coupler

14404 - King Ranch Ag & Turf

12/12/2025	702309	\$ 131,632.96	12/28/2025	PO - 43865	FAS#14107 - John Deere 6M 105 Cab Tractor PIN-1L06105MLSG513364
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Road and Bridge Precinct 2-82220 - Totals		\$ 217,527.47			
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Road and Bridge Precinct 3

10036 - CenterPoint Energy

12/16/2025	138711346.2512	\$ 28.54	12/28/2025		Mo Svc 11/11/25-12/09/25 - 2986 SH 19 UNT
12/16/2025	31986573.2512	\$ 210.11	12/28/2025		Mo Svc 11/11/25-12/09/25 - 2986 SH 19 B

10052 - Entergy

11/30/2025	137430310.2511	\$ 268.22	12/28/2025		Mo Svc 10/29/25-11/28/25- 2986 B Hwy 19
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10098 - Reliable Parts Co.

12/10/2025	414	\$ 305.00	12/28/2025	PO - 43559	FAS#12694 - 12V Battery x2, Battery Fee x2
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10105 - Riverside SUD

12/17/2025	550.2512	\$ 78.50	12/28/2025		Monthly Service - 11/18/25-12/17/25
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10547 - Mustang Cat

12/4/2025	PART7135830	\$ 348.59	12/28/2025	PO - 43556	FAS#10179, #10182 - 5/8"-11 Hex Nut x40, 5/8-11 Thread 57.15mm Long Plow Bolt x40, Freight
12/4/2025	PART7135831	\$ 1,243.30	12/28/2025	PO - 43556	FAS#10179, #10182 - Grader Blades-7 FT x10

11698 - Custom Products Corporation

12/9/2025	INV40742	\$ 505.80	12/28/2025	PO - 43854	"Burn Ban In Effect" sign x10
12/9/2025	INV40742	\$ 169.90	12/28/2025	PO - 43854	Hinges x10
12/9/2025	INV40742	\$ 37.54	12/28/2025	PO - 43854	Shipping

Invoice Total	\$ 713.24
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12490 - Cintas Corporation #2

12/10/2025	4252650374	\$ 132.91	12/28/2025	PA - 2684	Uniform Services
12/17/2025	4253354117	\$ 5.85	12/28/2025	PA - 2684	Mat Rentals
12/17/2025	4253354117	\$ 132.91	12/28/2025	PA - 2684	Uniform Services

Invoice Total	\$ 138.76
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13614 - Auto Parts of Huntsville, Inc

12/10/2025	710446	\$ 14.69	12/28/2025	PO - 43603	Battery for pump on oil barrel
12/11/2025	710600	\$ 13.98	12/28/2025	PO - 43603	FAS#12508 - Mobil 1 Advanced Fuel Economy Motor Oil 0W20 Full Synthetic 1 qt x2
12/15/2025	711109	\$ 96.13	12/28/2025	PO - 43603	Brake Parts Cleaner 15 fl oz x12, Transmission Fluid 1 qt x12, Tool Socket x2, Windshield De-Icer 11.5 Oz Spray
12/15/2025	711109	\$ 213.40	12/28/2025	PO - 43603	FAS#12754 - 12VDC Motor

Invoice Total	\$ 309.53
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12/15/2025	711147	\$ 25.74	12/28/2025	PO - 43603	Battery Cable Repair Terminals Post Type Terminal x6
12/16/2025	711444	\$ 220.51	12/28/2025	PO - 43603	FAS#10310 - 16MXTX Reel x8.5, Hydraulic Hose Fittings x2
12/16/2025	711444	\$ 35.02	12/28/2025	PO - 43603	Pliers- strip/crimp/cut

Invoice Total	\$ 255.53
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12/16/2025	711467	\$ 92.94	12/28/2025	PO - 43603	Howes Diesel Additive x6
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Road and Bridge Precinct 3

12/17/2025	711556	\$ 167.35	12/28/2025	PO - 43603	(Ref P O #43603 - To Be Credited with Invoice#711593) 2 Yr Warranty Battery, Core Deposit, Environmental Fee
12/17/2025	711556	\$ 61.96	12/28/2025	PO - 43603	FAS#13404 - Fuel Additive Diesel Conditioner & Anti-Gel 0.5 Gal x4

Invoice Total \$ 229.31

12/17/2025	711593	(\$ 167.35)	12/28/2025	PO - 43603	FAS#13404 - (Ref P O #43603 - Credit for Inv#711556) - 2 Yr Warranty Battery, Core Deposit, Environmental Fee
12/17/2025	711593	\$ 167.35	12/28/2025	PO - 43603	FAS#13404 - 2 Yr Warranty Battery, Core Deposit, Environmental Fee

Invoice Total \$ 0.00

12/17/2025	711595	(\$ 18.00)	12/28/2025		FAS#13404 - (Ref P O #43603 - Credit for Invoice#711593) Core Deposit Refund
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12/17/2025	711603	(\$ 6.53)	12/28/2025	PO - 43603	(Ref P O #43603 - Credit for Invoice#711109 – Tool Socket Returned)
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12/17/2025	711603	\$ 6.53	12/28/2025	PO - 43603	(Ref P O #43603 - Tool Socket Replaced)
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12/17/2025	711603	\$ 22.58	12/28/2025	PO - 43603	Shop Towels In A Box, Hand Cleaner Permatex Fast Orange 15 oz
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Invoice Total \$ 22.58

14215 - T & W Tire LLC

12/10/2025	2200002628	\$ 130.59	12/28/2025	PO - 43846	FAS#10193 - ST225/75R15
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12/10/2025	2200002628	\$ 730.00	12/28/2025	PO - 43846	FAS#10349 - 10R225 (G) x2
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12/10/2025	2200002628	\$ 1,540.00	12/28/2025	PO - 43846	Stock - 11R245(H) x4
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Invoice Total \$ 2,400.59

14472 - American Materials, Inc.

12/9/2025	92419	\$ 3,276.00	12/28/2025	PA - 2705	36.40 Tons Hot Mix Type C
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Road and Bridge Precinct 3-82230 - Totals \$ 10,090.06

Road and Bridge Precinct 4

10021 - City of New Waverly

12/1/2025	K-3139	\$ 4,000.00	12/28/2025	PO - 43871	FAS#14109 - John Deere Jet Machine Model Trailer 3541D S/N 1T9P31513YP394460
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10022 - Cleveland Asphalt

12/10/2025	29765	\$ 558.57	12/28/2025	PO - 43616	219.048 Gals CRS-2 Asphalt Emulsion
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10052 - Entergy

11/30/2025	141308965.2511	\$ 296.72	12/28/2025		Mo Svc 10/24/25-11/24/25- 9368 SH 75S
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10067 - Huntsville Truck & Tractor, Inc.

12/11/2025	4968	\$ 3,840.00	12/28/2025	PO - 43502	FAS#13583 - 2025 LAN AP-TH35 Hitch
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Road and Bridge Precinct 4

10092 - Powers Auto Supply

12/11/2025	169807	\$ 13.98	12/28/2025	PA - 2646	FAS#12629 - Glass Wipes, Armor All, 30 Count x2
12/16/2025	169968	\$ 1.98	12/28/2025	PA - 2646	O-Rings x3
12/16/2025	169969	\$ 7.99	12/28/2025	PA - 2646	Kit-O-Rings

10143 - Walker County Hardware

12/10/2025	171660	\$ 8.48	12/28/2025	PA - 2643	FAS#14109 - Black Pipe 1/2" x 1', Pipe Cut 1/2-3/4"-1", Pipe Thread 1/2x1/2", Coupling
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10216 - Performance Truck

12/8/2025	S0011410871	\$ 116.78	12/28/2025	PO - 43510	FAS#10338 - Hood Roller Bushing x2, Freight
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10218 - ASCO Equipment

12/5/2025	PSO650853-1	\$ 516.93	12/28/2025	PO - 43815	FAS#12215 - Coil x2, Freight
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10323 - Mason Davis Hardware, LLC

11/30/2025	2115	\$ 68.99	12/28/2025	PA - 2636	FAS#10381 - MT455 Magfire Propane Torch K
11/30/2025	2115	\$ 101.89	12/28/2025		Pink Stake Flag 100/pk, Strap, 10x1 Self Drill Screw, 8x1 1/4" Hex SDSM Screw, Bent Handle Brush W/Scr, 14" Wire Brush/Scraper x2, Armor All LTH W x2, Commercial Pro Sprayer x3,

Invoice Total \$ 170.88

10454 - Southern Tire Mart, LLC

12/12/2025	4560177435	\$ 761.95	12/28/2025	PA - 2644	FAS#13816 - Service Call, Fuel Surcharge, Mount/Dismount x2, Metal Valve Stem x3, Valve Stem Cap x3, Air Up Tires, Flat Repair, Taxable Tire Related Materials, Parts & Labor
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10547 - Mustang Cat

12/4/2025	PART7135438	\$ 364.74	12/28/2025	PO - 43508	FAS#13816 - SAE50 5 Gallon Transmission Drivetrain Oil x3
12/4/2025	PART7135439	\$ 220.78	12/28/2025	PO - 43508	FAS#13816 - Scarifier Tip x7

10663 - Montgomery County

12/17/2025	DP112025	\$ 2,500.00	12/28/2025	PO - 43883	Durapatcher
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11389 - Huntsville A-1 Tire Repair, LLC

12/22/2025	142091	\$ 85.00	12/28/2025	PA - 2639	FAS#10431 - Tire Repair x2, Shop Supply
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13574 - Nueces Power Equipment

12/22/2025	417019H	\$ 6,565.60	12/28/2025	PA - 2634	FAS#13036 - Performed 500 Hour PM - Wiper Blades x5, AC Vent, Broken Left Mirror, Various Filters x15, Wiper Fluid, Blower, Motor Pump, Engine Oil, Environmental Fee, Parts & Labor
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13614 - Auto Parts of Huntsville, Inc

12/4/2025	709465	\$ 64.18	12/28/2025	PA - 2632	FAS#13892 - Battery Disconnect Switch x2
12/16/2025	711405	\$ 29.42	12/28/2025	PA - 2632	FAS#11530 - Fuel Filter
12/16/2025	711406	\$ 200.61	12/28/2025	PA - 2632	FAS#13036 - Carlyle Air Hammer - Variable
12/18/2025	711780	\$ 60.90	12/28/2025	PA - 2632	FAS#13816 - Gold Fuel Filter

14330 - Navasota Oil Co., Inc.



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Road and Bridge Precinct 4

12/10/2025	482225	\$ 3,662.50	12/28/2025	PO - 43576	476.00 Gals Unleaded/1,200.00 Gals Diesel Ultra Low
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Road and Bridge Precinct 4-82240 - Totals		\$ 24,047.99			
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Sheriff

10008 - Able Glass & Mirror Company, Inc.

12/12/2025	1-10048	\$ 399.44	12/28/2025	PO - 43536	FAS#13489 - DW02663GTY- Windshield Green Tint, Adhesive x2, RSK 1845 - Rain Sensor Pad Kit
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10143 - Walker County Hardware

12/10/2025	171649	\$ 12.99	12/28/2025	PO - 43530	Glue Board Trap for Rodents and Snakes 2 pk
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13614 - Auto Parts of Huntsville, Inc

12/8/2025	710045	\$ 719.99	12/28/2025	PO - 43537	Oil Filter x24 Motor Oil 0W20 Full Synthetic 55 gal
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12/8/2025	710045	\$ 95.76	12/28/2025	PO - 43537	Oil Filter x24 Motor Oil 0W20 Full Synthetic 55 gal
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Invoice Total		\$ 815.75			
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12/9/2025	710159	\$ 18.00	12/28/2025	PO - 43537	(Ref P O #43537 - To Be Credited with Invoice#710214) FAS#13140 – Core Deposit
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12/9/2025	710159	\$ 149.35	12/28/2025	PO - 43537	FAS#13140 - 2YR Warranty Battery, Environmental Fee
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Invoice Total		\$ 167.35			
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12/9/2025	710161	\$ 102.96	12/28/2025	PO - 43537	Brake Cleaner x24ea
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12/9/2025	710176	\$ 91.00	12/28/2025	PO - 43537	(Ref P O #43537 - To Be Credited with Invoice#710209) FAS#13136 – Core Deposit
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12/9/2025	710176	\$ 304.20	12/28/2025	PO - 43537	FAS#13136 - Remanufactured Alternator, Serpentine Belt
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Invoice Total		\$ 395.20			
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12/9/2025	710177	\$ 40.97	12/28/2025	PO - 43537	FAS#13136 - Belt Idler Pulley
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12/9/2025	710209	(\$ 91.00)	12/28/2025		(Ref P O #43537 - Credit for Invoice#710176) FAS#13136 – Core Deposit
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12/9/2025	710214	(\$ 18.00)	12/28/2025		(Ref P O #43537 - Credit for Invoice#710159) FAS#13140 – Core Deposit
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14215 - T & W Tire LLC

12/12/2025	2200002707	\$ 2,440.80	12/28/2025	PO - 43860	275/55R20 Gen G-Max Justice Patrol Vehicles Stock x16
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12/12/2025	2200002707	\$ 1,828.80	12/28/2025	PO - 43860	FAS#10443 - Tires 245/70R195 x6
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Invoice Total		\$ 4,269.60			
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Sheriff-41010 - Totals		\$ 6,095.26			
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Sheriff Commissary Operations

10069 - ICS Jail Supplies, Inc.

12/8/2025	INV812838	\$ 778.60	12/28/2025	PO - 43448	Notebook Paper 150 Sheets/Pk x6, Short Handle Toothbrush 144/bx, Freshscent Toothpaste, 1.5oz 144/bx x2, Wrapped Bar Soap 500/bx x2, All-In-One Bath Gel 2 oz 96/cs x4, Single Blade Razor 100/bx x2, Maxi Pads 576/cs x2
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Sheriff Commissary Operations-50040 - Totals		\$ 778.60			
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Sheriff Forfeiture

12206 - Cellebrite, Inc.

11/30/2025	INVUS291048	\$ 4,465.00	12/28/2025		Cellebrite Training Certified Operator/Physical Analyst For Det. Sean Smith
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Sheriff Forfeiture-41020 - Totals		\$ 4,465.00			
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SPU - State General Allocation

10052 - Entergy

11/30/2025	135944809.2511	\$ 193.92	12/28/2025		Mo Svc 10/09/25-11/07/25- 119 Sh 75N SPC 300
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11009 - City of Huntsville

12/18/2025	26245000.2512	\$ 88.71	12/28/2025		Mo Svc 11/17/25-12/11/25-340 Hwy 75N
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11732 - Dictson, Deborah

12/16/2025	K-3141	\$ 100.00	12/28/2025		Per Diem/Austin, TX 12/15-16/25
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11779 - Knight, Robert

12/11/2025	K-3146	\$ 204.00	12/28/2025		Per Diem/Bowie, Fort Bend & Brazoria Counties, TX 12/09- 11/25
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12183 - Choate, Jack

12/5/2025	K-3140	\$ 384.00	12/28/2025		Per Diem/Abilene & San Antonio, TX - 11/30/25-12/05/25
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SPU - State General Allocation-35030 - Totals		\$ 970.63			
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SPU Civil Division

12644 - Waller, Sarah

12/10/2025	K-3147	\$ 176.00	12/28/2025		Per Diem/Bonham, Fannin County, TX 12/07-10/25
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14490 - Gant, Ethan

12/3/2025	K-3142	\$ 224.00	12/28/2025		Per Diem/Denton, TX 11/30/25-12/03/25
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12/10/2025	K-3143	\$ 176.00	12/28/2025		Per Diem/Bonham, TX 12/07-10/25
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SPU Civil Division-35040 - Totals		\$ 576.00			
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SPU Juvenile Division

10052 - Entergy

11/30/2025	136069523.2511	\$ 46.24	12/28/2025		Mo Svc 10/09/25-11/07/25- 119 SH 75N Spc 800
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10799 - Gault, Marc F

12/8/2025	K-3144	\$ 88.00	12/28/2025		Per Diem/Cooke County, TX 12/07-08/25
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11009 - City of Huntsville

12/18/2025	26244000.2512	\$ 80.61	12/28/2025		Mo Svc 11/17/25-12/11/25-340 Hwy 75N C
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13287 - Greer, Angie

12/8/2025	K-3145	\$ 492.60	12/28/2025		Per Diem/Miles 578.0 - Cooke County, Gainesville, TX - 12/07-08/25
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SPU Juvenile Division-35050 - Totals		\$ 707.45			
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Texas AgriLife Extension Service

11009 - City of Huntsville

12/18/2025	24180000.2512	\$ 110.53	12/28/2025		Mo Svc 11/15/25-12/15/25-102 Tam Road
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14402 - Smith, Samantha

12/4/2025	K-3126	\$ 147.00	12/28/2025		Miles- 210.0/Galveston, TX - 12/04/25
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Texas AgriLife Extension Service-70020 - Totals		\$ 257.53			
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Walker County Central Dispatch Services

10052 - Entergy

11/30/2025	141614206.2511	\$ 146.40	12/28/2025		Mo Svc 10/09/25-11/07/25- 717 FM 2821 Rd W
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10054 - Tryon, Anthony

11/30/2025	K-3134	\$ 410.27	12/28/2025		Per Diem/Miles 486.1/Boerne, TX 11/18-21/25
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10269 - AT&T

12/9/2025	436-4900.120925	\$ 54.57	12/28/2025		Monthly Service - 12/09/25-01/08/26
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11009 - City of Huntsville

12/18/2025	26234500.2512	\$ 47.00	12/28/2025		Mo Svc 11/17/25-12/11/25-717 FM 2821
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Walker County Central Dispatch Services-46500 - Totals		\$ 658.24			
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Walker County EMS - Emergency Services

10052 - Entergy

11/30/2025	137702163.2511	\$ 410.45	12/28/2025		Mo Svc 10/16/25-11/14/25- 230 SH 19
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10073 - Linde Gas & Equipment, Inc.

12/17/2025	53811879	\$ 145.65	12/28/2025	PO - 43620	Oxygen USP AD x3, Oxygen USP K x1, Energy and Fuel Charge, Haz Material Charge, Delivery Charge
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12/17/2025	53811884	\$ 236.09	12/28/2025	PO - 43620	Oxygen USP AD x17, Oxygen USP K x1, Energy and Fuel Charge, Haz Material Charge, Delivery Charge
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12/17/2025	53811890	\$ 185.21	12/28/2025	PO - 43620	Oxygen USP AD x7, Oxygen USP K x1, Energy and Fuel Charge, Haz Material Charge, Delivery Charge
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12/18/2025	53828080	\$ 354.88	12/28/2025	PO - 43620	Oxygen USP AD x18, Oxygen USP K x4, Energy and Fuel Charge, Haz Material Charge, Delivery Charge
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10269 - AT&T

12/9/2025	436-4900.120925	\$ 48.57	12/28/2025		Monthly Service - 12/09/25-01/08/26
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10287 - Henson Ford, Inc.

11/30/2025	6024774/1	\$ 264.95	12/28/2025	PO - 43886	FAS#13840 - Replace Fuel Filter x2, Labor
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11/30/2025	6024926/1	\$ 180.03	12/28/2025	PO - 43886	FAS#13840 - FL 2124 Kit Element & Gasket Oil Filter, 10W30 Motorcraft Oil x15qt, Labor, Shop Supplies Invoice Short Paid due to Taxes charged - Per Harold with Henson Ford.
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Walker County EMS - Emergency Services

10324 - Huntsville Discount Tires

12/12/2025	2035	\$ 2,991.00	12/28/2025	PO - 43719	FAS#12520 - Synthetic Blend Oil Change, Tire Rotation, Struts x2, Outer Tie Rods x2, Inner Tie Rods x2, Lower Control Arm x2, Front Brake Pads, Rear Brake Pads, Wheel Alignment, Camber Kit, Labor
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10361 - Bound Tree Medical LLC

12/10/2025	66700051	\$ 7,601.30	12/28/2025	PO - 43621	Ferno Model 5116 Professional IV Mini-Bags x2, BiTrac ED Masks with Standard Headgear 10/cs x2, Monoject Blunt Fill Needle 100/bx x3, BD Intraosseous Needle Set Kits 6/cs x6, Sensi-Wrap Bandage Roll 4" x 5 yds 18/cs x3, Pre-filled Normal Saline, IV Flush
12/10/2025	66700051.	\$ 9,063.46	12/28/2025	PA - 2699	Aspirin 81mg 36/bt x12, Atropine, 0.1mg/mL, 10mL Prefilled Syringe 10/pk x2, HyFin Vent Chest Seal, Twin Pack x10, EtCO2/O2 Oral-Nasal Cannula 15pk/cs x6, Diphenhydramine 50mg/mL 25/bx, BlueSensor Electrodes 25pk 40pk/cs x4, Endotracheal Tube Holders 25/cs
12/10/2025	70373676	(\$ 16,681.72)	12/28/2025		(Ref P O #43621/P A #2699 - Credit for Invoice#86004008) Medical Supplies
11/24/2025	86004008	\$ 16,681.72	12/28/2025		(Ref P O #43621/P A #2699 - To Be Credited with Invoice#70373676) Medical Supplies
12/9/2025	86020931	\$ 1,196.96	12/28/2025	PO - 43621	Ketorolac 30mg/mL, 1mL Vial 25/cs x3, Select Multi-Function Defibrillator Pads 10pr/cs x2, Needle-Pro w/ Safety Needles 100/bx, Select Nasopharyngeal Airway 10/bx, Thiamine, 100mg/mL, 2mL Vial 25/bx
12/9/2025	86020931.	\$ 3,630.69	12/28/2025	PA - 2699	ECG Chart Paper Thermal 75rl/ct, Epinephrine 0.1mg/mL 10mL Luer-Jet Prefilled Syringe 10/pk x5, Blood Glucose Multi Test Strips 50/bt 12/cs x2, IV Administration Sets 50/cs, Safety IV Catheters 20 ga 50/bx 4bx/cs x2, Safety IV Catheters 18 ga 50/bx 4bx/cs
12/10/2025	86022630	\$ 2,475.00	12/28/2025	PO - 43621	Intraosseous Needle Set Kit with Stabilizer and Extension Set, 15mm 6/cs, Intraosseous Needle Set Kit with Stabilizer and Extension Set, 45mm 6/cs x2
12/11/2025	86024212	\$ 387.50	12/28/2025	PO - 43874	OneScope Pro - Neonatal Size 1 Blade x25
12/11/2025	86024212	\$ 387.50	12/28/2025	PO - 43874	OneScope Pro - Pediatric Size 2 Blade x25
12/11/2025	86024212	\$ 25,449.84	12/28/2025	PO - 43874	OneScope Pro Video Laryngoscope x12
12/11/2025	86024212	\$ 775.00	12/28/2025	PO - 43874	OneScope Pro-Angulated Adult Sz 4 Blade x50
12/11/2025	86024212	\$ 775.00	12/28/2025	PO - 43874	OneScope Pro-Direct Adult Mac 3 Blade x50
Invoice Total		\$ 27,774.84			

10412 - Frazer, LTD

12/11/2025	103834	\$ 318.00	12/28/2025	PO - 43624	FAS#13840 - SVC Service Labor
12/11/2025	103835	\$ 206.70	12/28/2025	PO - 43624	FAS#13771 - Kit-Relay Board, AC, Q/SMX, w/Hardware, Control Board-Unity, Network CW/DX V4, Service Labor

11009 - City of Huntsville

12/18/2025	20404000.2512	\$ 81.67	12/28/2025		Mo Svc 11/13/25-12/12/25-230 Hwy 19
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13571 - Impact Promotional Services, LLC



Walker County
Claims and Invoices Submitted for Payment

Page 22 of 22

Invoice date	Invoice	Amount	Due Date	PO/PA	Description
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Walker County EMS - Emergency Services

12/15/2025	INV155685	\$ 1,794.37	12/28/2025	PO - 43631	Covert Tactical Pants x8, SS Supershirt x8, EMT-LP x2, Namestrip x16, 1/4 Zip Job Shirt x3, Embroider Logo x3, EMT-P x2, EMT-B x3
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14238 - Slaughter's Diesel Repair LLC

12/17/2025	RO#3742	\$ 1,205.33	12/28/2025	PO - 43733	FAS#13756 - Remove & Replace Fuel Injector #5 Fuel Line and Fuel Filter, Remove & Replace Front & Rear Brakes, Job Supplies, Parts & Labor
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14485 - Kramer Chevrolet GMC of Madisonville

11/30/2025	6025263	\$ 377.77	12/28/2025	PO - 43759	FAS#13854 - Diesel Vehicle Oil Change, 10W30 Oil x14 Quarts, Oil Filter, Dually Tire Rotation, Cabin Filter, Air Filter, Wiper Blades x2 Parts & Labor
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Walker County EMS - Emergency Services-46100 - Totals	\$ 60,542.92
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Weigh Station Utilites and Services

10052 - Entergy

11/30/2025	134544790.2511	\$ 454.12	12/28/2025		Mo Svc 10/24/25-11/24/25- 1425 IH 45
11/30/2025	142253384.2511	\$ 322.70	12/28/2025		Mo Svc 10/24/25-11/24/25- 1425 IH 45 Scales

10718 - DISH Network Services, LLC

12/16/2025	84961429.121625	\$ 73.43	12/28/2025		Monthly Service-12/31/25-01/30/26
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13654 - Honey Bucket

12/11/2025	0555276167	\$ 100.00	12/28/2025		Monthly Service -12/11/25 - 01/07/26 3179 I45
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Weigh Station Utilites and Services-45020 - Totals	\$ 950.25
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Report Totals	\$ 741,691.80
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Walker County
TAX LEVY 2024-2025 - CURRENT TAX LEVY 2025-2026

Month	Prior Adj. Tax Levy 24-25 Yr	Total Collected to Date (Prior Year) 24-25 Yr	Percentage	Current Adj. Tax Levy 25-26 Yr	Total Collected to Date (Current Year 25-26)	Percentage Adj. Levy	Percentage Original Levy
October	30,795,490.42	256,028.02	0.0083	33,093,459.09	501,169.25	0.0151	0.0151
November	30,726,290.11	2,214,602.21	0.0721	33,084,393.29	2,410,936.52	0.0729	0.0727
December							
January							
February							
March							
April							
May							
June							
July							
August							
September							

MEMORANDUM

TO: Scott Swigert, Huntsville City Manager
Colt Christian, Walker County Commissioner's Court

FROM: Greg Mathis, Fire Chief 

DATE: 12/1/2025

SUBJECT: Report of Fires and Calls Answered - November 2025

	This Month	FY 24/25 YTD	FY 23/24 YTD	FY 22/23 YTD
Total number of calls answered:	193	397	286	265
Number inside city limits	161	342	258	233
Number outside city limits	32	55	28	32
Number in West District	15	10	3	7
Main alarms answered:	5	37	26	40
Number inside city limits	3	26	19	25
Number outside city limits	2	11	7	15
Number in West District	0	0	1	3
Burning Permits Issued	38	104	200	106
Inspections Made	9	19	18	39
Presentations Made	5	8	21	20
People Present (Presentations)	126	4500	2590	5390
Training Hours Completed	71.25	124	665	745

County Clerk

Summary of Receipts and Remittances to County Treasurer

Nov-25

Receipts for the Month										Totals
	Receipt (Odyssey System)									\$16,093.16
	Receipts (Kofile System)									\$31,964.16
	Subtotal revenues for the month									\$48,057.32
Summary of	Collections Department									\$2,122.00
Deposits/Remittances	Paid by Credit Card									\$7,814.32
	Collected via E-File									\$8,891.00
	Collected via E-Recording									\$11,287.00
	Payments from State									\$0.00
	Remitted to County Treasurer									\$17,943.00
	Short/Over									\$0.00
	Total Revenues for the Month									\$48,057.32
Receipt	Transaction	Deposit	Deposit	E-File	E-Recording	(IRS)	Deposited	Bond	Cash	Total
Date	Date	County	Credit			State	Collection	Forfeitures	Short	Deposits/
		Treasurer	Card			Payments	Department		& Over	Remittances
CC	11/3/2025	\$ 1,378.00	\$ 239.57	\$ 1,256.00			\$ 107.00			\$ 2,980.57
CC	11/4/2025	\$ 872.50	\$ 210.11	\$ 21.00	\$ 2,042.00					\$ 3,145.61
CC	11/5/2025	\$ 793.00	\$ 554.74	\$ 540.00	\$ 2,058.00		\$ 170.00			\$ 4,115.74
CC	11/6/2025	\$ 1,139.00	\$ 284.96	\$ 485.00			\$ 505.00			\$ 2,413.96
CC	11/7/2025	\$ 1,055.00	\$ 167.03	\$ 917.00			\$ 70.00			\$ 2,209.03
CC	11/10/2025	\$ 814.00	\$ 613.02	\$ 1,111.00			\$ 56.00			\$ 2,594.02
CC	11/11/2025									\$ -
CC	11/12/2025	\$ 1,179.00	\$ 519.81	\$ 1,470.00						\$ 3,168.81
CC	11/13/2025	\$ 2,537.00	\$ 1,722.12	\$ 34.00	\$ 1,029.50		\$ 108.00			\$ 5,430.62
CC	11/14/2025	\$ 1,171.00	\$ 522.82	\$ 291.00			\$ 300.00			\$ 2,284.82
CC	11/17/2025	\$ 753.50	\$ 171.76	\$ 2.00	\$ 2,293.00					\$ 3,220.26
CC	11/18/2025	\$ 1,001.00	\$ 706.04	\$ 948.00	\$ 757.00		\$ 60.00			\$ 3,472.04
CC	11/19/2025	\$ 851.00	\$ 341.15	\$ 18.00	\$ 1,084.00					\$ 2,294.15
CC	11/20/2025	\$ 974.00	\$ 228.61	\$ 149.00	\$ 2,023.50		\$ 478.00			\$ 3,853.11
CC	11/21/2025	\$ 923.00	\$ 606.66	\$ 313.00			\$ 205.00			\$ 2,047.66
CC	11/24/2025	\$ 933.00	\$ 496.97	\$ 778.00			\$ 63.00			\$ 2,270.97
CC	11/25/2025	\$ 1,095.00	\$ 352.09	\$ 4.00						\$ 1,451.09
CC	11/26/2025	\$ 474.00	\$ 76.86	\$ 554.00						\$ 1,104.86
Holiday	11/27/2025									\$ -
Holiday	11/28/2025									\$ -
										\$ -
										\$ -
										\$ -
Total Deposits		\$17,943.00	\$7,814.32	\$8,891.00	\$11,287.00		\$2,122.00		\$0.00	\$48,057.32
	Pending Treasurer					\$0.00				

Outdoor Aerobics
683 FM 247
Huntsville, TX 77320

Phone: (936) 661-7340

outdooraerobics@gmail.com

To: Walker County Justice of the Peace Pct. 2
102 Tam Road Suite A
Huntsville, TX 77320

Permit: 0200778

Printed on: 11/24/2025

Phone: (936) 436-4937

Site: 102 Tam Road Suite A, Huntsville, TX 77320

County: Walker

Installer:

Agency: City of Huntsville

Mfg/Brand: --

Contract Period

Start Date: 1/14/2026

End Date: 1/14/2027

Outdoor Aerobics

3 visits per year - one every 4 months

ID: 1012

This is to Certify that the above RESIDENTIAL sewage system has a RENEWED inspections agreement per Texas Commission on Environmental Quality standards for on site sewage facilities as required.

Inspection reports by the above service company will be filed with the authorized agency as required by the Texas Commission on Environmental Quality regulations. A weather proof tag will be attached to the controller showing the month that each inspection was made.

Items included on the Inspection Report generally include aerators, filters, irrigation pump, chlorinator, chlorine supply, electrical circuits, distribution system, lid secure and alarm.

Outdoor Aerobics is certified by the manufacturer of your system.

This agreement does not include the cost of repairs.

Outdoor Aerobics shall respond to any complaints by property owner within 48 hours of contact.

Property Owner shall be responsible for adding chlorine to disinfection unit as needed.

Home Owner: _____ Date: _____

Phone: _____

Certified Inspector: _____ Date: _____

License # (MP0001485) Phone Number: (936)661-7340

Nolan Nichols

Owner Signature: _____

Outdoor Aerobics
683 FM 247
Huntsville, TX 77320

Phone: (936) 661-7340

outdooraerobics@gmail.com

To: Walker County Commissioner Pct. 2
123 Booker Road
Huntsville, TX 77320

Permit: 1997-5492

Printed on: 11/24/2025

Phone: (936) 436-4937

Site: 123 Booker Road, Huntsville, TX 77320

County: Walker

Installer:

Agency: Walker County Planning and Development

Mfg/Brand: --

Contract Period

Start Date: 1/14/2026

End Date: 1/14/2027

Outdoor Aerobics

3 visits per year - one every 4 months

ID: 1013

This is to Certify that the above RESIDENTIAL sewage system has a RENEWED inspections agreement per Texas Commission on Environmental Quality standards for on site sewage facilities as required.

Inspection reports by the above service company will be filed with the authorized agency as required by the Texas Commission on Environmental Quality regulations. A weather proof tag will be attached to the controller showing the month that each inspection was made.

Items included on the Inspection Report generally include aerators, filters, irrigation pump, chlorinator, chlorine supply, electrical circuits, distribution system, lid secure and alarm.

Outdoor Aerobics is certified by the manufacturer of your system.

This agreement does not include the cost of repairs.

Outdoor Aerobics shall respond to any complaints by property owner within 48 hours of contact.

Property Owner shall be responsible for adding chlorine to disinfection unit as needed.

Home Owner: _____ Date: _____

Phone: _____

Certified Inspector: _____ Date: _____

License # (MP0001485) Phone Number: (936)661-7340

Nolan Nichols

Owner Signature: _____

Outdoor Aerobics
683 FM 247
Huntsville, TX 77320

Phone: (936) 661-7340

outdooraerobics@gmail.com

To: Walker County Commissioner Pct. 3
2986 B State Hwy 19
Huntsville, TX 77320

Permit: 1998-5641

Printed on: 11/24/2025

Phone: (936) 436-4937

Site: 2986B State Hwy 19, Huntsville, TX 77320

County: Walker

Installer:

Agency: Walker County Planning and Development

Mfg/Brand: --

Contract Period

Start Date: 1/14/2026

End Date: 1/14/2027

Outdoor Aerobics

3 visits per year - one every 4 months

ID: 1014

This is to Certify that the above RESIDENTIAL sewage system has a RENEWED inspections agreement per Texas Commision on Environmental Quality standards for on site sewage facilities as required.

Inspection reports by the above service company will be filed with the authorized agency as required by the Texas Commision on Environmental Quality regulations. A weather proof tag will be attached to the controller showing the month that each inspection was made.

Items included on the Inspection Report generally include aerators, filters, irrigation pump, chlorinator, chlorine supply, electrical circuits, distribution system, lid secure and alarm.

Outdoor Aerobics is certified by the manufacturer of your system.

This agreement does not include the cost of repairs.

Outdoor Aerobics shall respond to any complaints by property owner within 48 hours of contact.

Property Owner shall be responsible for adding chlorine to disinfection unit as needed.

Home Owner: _____ Date: _____

Phone: _____

Certified Inspector: _____ Date: _____

License # (MP0001485) Phone Number: (936)661-7340

Nolan Nichols

Owner Signature: _____

Outdoor Aerobics
683 FM 247
Huntsville, TX 77320

Phone: (936) 661-7340

outdooraerobics@gmail.com

To: Walker County DPS Weigh Station
3179 Hwy 45 South
New Waverly, TX 77358

Permit: 2000-7507

Contract Period

Start Date: 1/14/2026

End Date: 1/14/2027

Printed on: 11/24/2025

Phone: (936) 436-4937

Site: 3179 Hwy 45 South, New Waverly, TX 77358

County: Walker

Installer:

Agency: Walker County Planning and Development

Mfg/Brand: --

Outdoor Aerobics

3 visits per year - one every 4 months

ID: 1011

This is to Certify that the above RESIDENTIAL sewage system has a RENEWED inspections agreement per Texas Commision on Environmental Quality standards for on site sewage facilities as required.

Inspection reports by the above service company will be filed with the authorized agency as required by the Texas Commision on Environmental Quality regulations. A weather proof tag will be attached to the controller showing the month that each inspection was made.

Items included on the Inspection Report generally include aerators, filters, irrigation pump, chlorinator, chlorine supply, electrical circuits, distribution system, lid secure and alarm.

Outdoor Aerobics is certified by the manufacturer of your system.

This agreement does not include the cost of repairs.

Outdoor Aerobics shall respond to any complaints by property owner within 48 hours of contact.

Property Owner shall be responsible for adding chlorine to disinfection unit as needed.

Home Owner: _____ Date: _____

Phone: _____

Certified Inspector: _____ Date: _____

License # (MP0001485) Phone Number: (936)661-7340

Nolan Nichols

Owner Signature: _____

Outdoor Aerobics
683 FM 247
Huntsville, TX 77320

Phone: (936) 661-7340

outdooraerobics@gmail.com

To: Walker County DPS Weigh Station
3179 Hwy 45 South
New Waverly, TX 77358

Permit: 2000-6399

Contract Period

Start Date: 1/14/2026

End Date: 1/14/2027

Printed on: 11/24/2025

Phone: (936) 436-4937

Site: 3179 Hwy 45 South, New Waverly, TX 77358

County: Walker

Installer:

Agency: Walker County Planning and Development

Mfg/Brand: --

Outdoor Aerobics

3 visits per year - one every 4 months

ID: 1010

This is to Certify that the above RESIDENTIAL sewage system has a RENEWED inspections agreement per Texas Commision on Environmental Quality standards for on site sewage facilities as required.

Inspection reports by the above service company will be filed with the authorized agency as required by the Texas Commision on Environmental Quality regulations. A weather proof tag will be attached to the controller showing the month that each inspection was made.

Items included on the Inspection Report generally include aerators, filters, irrigation pump, chlorinator, chlorine supply, electrical circuits, distribution system, lid secure and alarm.

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This agreement does not include the cost of repairs.

Outdoor Aerobics shall respond to any complaints by property owner within 48 hours of contact.

Property Owner shall be responsible for adding chlorine to disinfection unit as needed.

Home Owner: _____ Date: _____

Phone: _____

Certified Inspector: _____ Date: _____

License # (MP0001485) Phone Number: (936)661-7340

Nolan Nichols

Owner Signature: _____

Outdoor Aerobics
683 FM 247
Huntsville, TX 77320

Email: outdooreraerobics@gmail.com

Phone: (936) 661-7340

Invoice

Date: 12/8/2025

Invoice No: 1302

Date Due: 1/7/2026

Net: 30

Customer ID No: 1012

To: Walker County Justice of the Peace Pct. 2
102 Tam Road Suite A
Huntsville, TX 77320

Customer Phone: (936) 436-4937

Invoice Type: Service

Entered By: Nolan Nichols

Site: Varius Walker County Locations

Invoiced Line Items	Qty	Unit Prices	Subtotals	Taxed Y/N	Taxed Amt	Line Totals
1 Year Service Agreement (Permit # 2020-0778)	1	\$185.000	\$185.000	<input type="checkbox"/>	\$0.00	\$185.00
102 Tam Road Suite A	0	\$0.000	\$0.000	<input type="checkbox"/>	\$0.00	\$0.00
1 Year Service Agreement (Permit # 2000-6399)	1	\$185.000	\$185.000	<input type="checkbox"/>	\$0.00	\$185.00
3179 Hwy 45 South	0	\$0.000	\$0.000	<input type="checkbox"/>	\$0.00	\$0.00
1 Year Service Agreement (Permit # 2000-7507)	1	\$185.000	\$185.000	<input type="checkbox"/>	\$0.00	\$185.00
3179 Hwy 45 South	0	\$0.000	\$0.000	<input type="checkbox"/>	\$0.00	\$0.00
1 Year Service Agreement (Permit # 1998-5641)	1	\$185.000	\$185.000	<input type="checkbox"/>	\$0.00	\$185.00
2986 B State Hwy 19	0	\$0.000	\$0.000	<input type="checkbox"/>	\$0.00	\$0.00
1 Year Service Agreement (Permit # 1997-5492)	1	\$185.000	\$185.000	<input type="checkbox"/>	\$0.00	\$185.00
123 Booker Road	0	\$0.000	\$0.000	<input type="checkbox"/>	\$0.00	\$0.00
Please pay balance due upon receipt of invoice. Thank You!			Qty Total	Subtotal	Taxed Total	Line Totals
CASH OR CHECKS ONLY PLEASE!!!			5	\$925.00	\$0.00	\$925.00

- For Site: Varius Walker County Locations

Total Tax:	\$0.00
Taxable Amount:	\$0.00
Non-Taxable Amount:	\$925.00
Invoice Total:	\$925.00

- Amount Received: \$0.00

Remaining Balance: \$925.00

Please return this portion with payment

☐ CHECK IF ADDRESS IS INCORRECT. SHOW
CORRECT ON REVERSE SIDE OF THIS PORTION

Pay to: Outdoor Aerobics

683 FM 247

Huntsville, TX 77320

Phone: (936) 661-7340

Email: outdooreraerobics@gmail.com

Customer/ID: Walker County Justice of the Peace Pct. 2 (1012)

Method of Payment: ☐ CHECK

Check #: _____

ID No: 1012

Invoice#: 1302

Created: 12/8/2025

Due Date: 1/7/2026

Current Amount Due: \$925.00

Amount Paid: _____

Planning and Development Dept.
Summary of Receipts and Remittances to County Treasurer
For the Period of 11/1/2025 to 11/30/2025

Receipts for the Month:		Totals:
Receipts for Commercial/Multi Structure Permits (w/ OSSF)		\$ 2,040.00
Receipts for Development Permit		\$ 5,300.00
Receipts for Per Square Foot of Development Fees		\$ 2,820.00
Receipts for Res. Permits (w/ OSSF)		\$ 6,090.00
Receipts for Per Gallon over 500 gallons per day		\$ 75.00
Receipts for OSSF Maintenance Inspection Reports		\$ 5,325.00
Receipts for Overdue OSSF Maint. Insp. Reports		\$ 96.00
Receipts for Overdue OSSF Maint. Contracts		\$ 1,350.00
Receipts for Res. Re-Insp. Fee		\$ 500.00
Receipts for OSSF Review Fee		\$ 600.00
Receipts for Re-Plat Fees		\$ 250.00
Receipts for Subdv. Variance Request Fee		\$ 400.00
Receipts for 2.5% Credit Card Use Fee		\$ 347.20
Subtotal of Revenues for the Month of November 2025:		\$ 25,193.20
Less Paid by Credit Card:		\$ 14,556.95
Total to be Remitted to County Treasurer:		\$ 10,636.25

Summary of
Deposits/Remittances:

Receipt Date:	For the Period Date:	Deposit with County Treasurer	Deposit Credit Card Account	Total Deposits / Remittances
11/7/2025	11/01/2025 to 11/04/2025	\$ 1,665.00	\$ 1,793.73	\$ 3,458.73
11/17/2025	11/05/2025 to 11/09/2025	\$ 1,010.00	\$ 2,058.39	\$ 3,068.39
11/18/2025	11/10/2025 to 11/17/2025	\$ 4,150.00	\$ 2,725.43	\$ 6,875.43
11/24/2025	11/18/2025 to 11/20/2025	\$ 1,200.00	\$ 4,822.41	\$ 6,022.41
11/25/2025	11/21/2025 to 11/24/2025	\$ 1,579.00	\$ 861.00	\$ 2,440.00
12/1/2025	11/25/2025 to 11/30/2025	\$ 1,040.00	\$ 2,295.99	\$ 3,335.99
				\$ -
Total Deposits for the Period - November 2025		\$ 10,644.00	\$ 14,556.95	\$ 25,200.95
Funds Pending Remittance to Treasurer:		\$ -		

**Difference of \$ 7.75 due to VOID of Receipt # 2025-2287
New Receipt # 2025-2308 is on December 2025 report**

WALKER COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT

Commissioner's Court Report Calculation Sheet

November

10/01/2025 through
11/30/2025

Permit Type	Fee	# Issued	Monthly Balance	New Fiscal Year Totals
***Comm/Multi Family OSSF	\$510.00	4	\$2,040.00	\$3,060.00
***Single Family Res. OSSF	\$210.00	29	\$6,090.00	\$13,230.00
Development Permit Fee	\$100.00	53	\$5,300.00	\$10,800.00
Per Sq. Ft. Development Fee	.05 / .015	5	\$2,820.00	\$3,395.69
OSSF Spray Mod. Half Permit Fee		0	\$0.00	\$255.00
OSSF Per Gal. over 500	\$0.25	300	\$75.00	\$140.00
Upgrade to Comm. OSSF	\$300.00	0	\$0.00	\$900.00
Re-Insp. / Addn'l. Insp. Fee	\$125.00	4	\$500.00	\$875.00
Misc. Map Fee(s)	\$ 5.00/\$ 15.00	0	\$0.00	\$0.00
Solid Waste	\$50.00	0	\$0.00	\$0.00
Open Records Requests	.10 per page	0	\$0.00	\$0.00
Minor Plat Fee	\$250.00	0	\$0.00	\$500.00
Major Plat Fee	\$600.00	0	\$0.00	\$0.00
Addn'l. Lots No Roads	\$50.00	0	\$0.00	\$0.00
Addn'l. Lots W/ Roads	\$50.00	0	\$0.00	\$0.00
Per L.F. Fee	\$1.00	0	\$0.00	\$0.00
25% Addn'l. Sub. Fee	25% of	0	\$0.00	\$1,573.76
1.5% Cost of Constr.		0	\$0.00	\$0.00
Re-Plat Fee	\$250.00	1	\$250.00	\$1,000.00
Variance Request Fee	\$200.00	2	\$400.00	\$1,800.00
OSSF Subdv. Review Fee	\$150.00	4	\$600.00	\$1,800.00
OSSF Review Per Lot Fee	\$10.00	0	\$0.00	\$0.00
TCEQ Fees for N/C Permit	\$10.00	0	\$0.00	\$0.00
Upgrade Misc.		0	\$0.00	\$0.00
OSSF Process. Fee (Inspect. Rpts.)	\$5.00	1065	\$5,325.00	\$9,835.00
Overdue Report Fee	\$2.00	48	\$96.00	\$736.00
Overdue OSSF Contract Fee	\$25.00	54	\$1,350.00	\$2,875.00
Misc. Rtn Chk Fees	\$30.00	0	\$0.00	\$0.00
2.50% Credit Card Fees	# of Trans.	87	\$347.20	\$728.33
Month End Final Calculations:			\$25,193.20	\$53,503.77

Additional Information:

Permits Refunded	0
Addresses Issued	10
Minor Plats	1

payment be made to the state for OSSF reasons.

Fiscal Year Comparison

Total Income for Month - November 2025	FY Comparison(s)	FY 2024/2025	FY 2023/2024	FY 2022/2023	FY 2021/2022	FY 2020/2021	FY 2019/2020
Total FY 2025/2026 Income YTD (as of November)	\$ 25,193.20	\$ 20,289.98	\$ 29,078.55	\$ 24,144.31	\$ 36,700.25	\$ 81,561.35	\$ 22,611.87
	\$ 53,503.77	\$ 48,273.91	\$ 93,509.06	\$ 95,165.25	\$ 131,061.93	\$ 107,383.97	\$ 54,723.57



PRODUCT PRICING SUMMARY

TIPS USA 240901 AUTOMOBILES

VENDOR- Silsbee Toyota, 1396 Hwy 327 E., Silsbee TX 77656

End User: WALKER COUNTY

Prepared by: RICK BROWN

Contact: Tia Monjaras 936.291.2369 ext 221

Phone: 409.659.1555

Email: TDOOLAN@sputexas.org

Email: RBROWN.SILSBEEFLEET@GMAIL.COM

Product Description: 2026 TOYOTA RAV4

Date: November 2, 2025

A. Bid Item: 4430

A. Base Price: \$ 33,265.00

B. Factory Options

Code	Description	Bid Price	Code	Description	Bid Price
	2026 TOYOTA HYBRID AWD	\$ 997.95		EXTERIOR - WHITE	
	HYBRID ENGINE	\$ -			
	POWER WINDOWS / LOCKS	\$ -			
	REAR VIEW CAMERA	\$ -			
	AM / FM / BLEUTOOTH	\$ -			
	REAR PRIVACY GLASS				

Total of B. Published Options: \$ 997.95

Published Option Discount (5%) \$ (49.90)

C. Unpublished Options

Description	Bid Price	Options	Bid Price

Total of C. Unpublished Options: \$ -

D. Floor Plan Interest (for in-stock and/or equipped vehicles):

\$ -

E. Lot Insurance (for in-stock and/or equipped vehicles):

\$ -

F. Contract Price Adjustment:

G. Additional Delivery Charge: 84 MILES

\$ 168.00

H. Subtotal:

\$ 34,381.05

I. Quantity Ordered 1 x H =

\$ 34,381.05

J. Trade in:

\$ -

K. Total Purchase Price

\$ 34,381.05

ORDER NO. 2026-20

WALKER COUNTY ORDER APPROVING AND ADOPTING THE RECONFIGURATION OF COUNTY ELECTION PRECINCTS; PROVIDING FOR AN EFFECTIVE DATE; AND DIRECTING THAT REQUIRED NOTICES BE GIVEN DUE TO THE 2025 CONGRESSIONAL REDISTRICTING BY THE STATE OF TEXAS

WHEREAS, Walker County, Texas (“County”) is a duly organized and operating County of the State of Texas pursuant to the constitution and laws of Texas, and further, the Walker County Commissioners Court (“Commissioners Court”) is its governing body; and

WHEREAS, on December 15, 2025, the County adopted its redistricting plan establishing reconfigured commissioner precincts and county election precincts in order to accommodate and comply with the 89th Legislature, 2nd Called Session, enacted H.B. 4, a congressional redistricting plan (PLANC2333) that applies to elections beginning with the primary and general elections for the United State Congress in 2026; and

WHEREAS, Chapter 42 of the Texas Election Code provides that county election precincts may not contain territory from more than one of each of the following types of territorial units; a commissioners precinct, a justice precinct, a congressional district, a state representative district, a state senatorial district, or a State Board of Education district; and

WHEREAS, Chapter 42 of the Texas Election Code provides that in a county with a population of fewer than 100,000, which includes the County, a county election precinct must contain at least 50 but not more than 5,000 registered voters; and

WHEREAS, the Commissioners Court of Walker County has determined that, as a result of the State of Texas congressional redistricting plan, the County’s election precincts require reconfiguration under Chapter 42 of the Texas Election Code; and

WHEREAS, Chapter 42 of the Texas Election Code provides that the effective date for changes to county election precincts shall be the first day of the first even numbered voting year following the voting year in which the change is ordered; and

WHEREAS, Commissioners Court finds that approval and adoption of the reconfigured election precinct plan establishing new election precinct boundaries as shown on the exhibits attached hereto and incorporated herein is in the best interest of the citizens of the County and is believed to comply with all state and federal requirements;

NOW, THEREFORE, BE IT RESOLVED AND ORDERED BY THE COMMISSIONERS COURT OF WALKER COUNTY, TEXAS:

Section 1. That the preambles stated above are found to be true and correct and are incorporated herein and made a part of this Order.

Section 2. That, from and after the Effective Date, under the authority of Chapter 42 of the Texas Election Code, the configurations and boundaries for the County’s election precincts are hereby amended according to the redistricting plan depicted on the attached Commissioner precinct maps, with and without detail, along with attached hereto as Exhibit A, defining new election precincts, with the same new election precincts further described on the map attached hereto as Exhibit B (boundaries previously approved and adopted by Commissioners Court on December 15, 2025), all four maps incorporated by reference herein and made a part of this Order.

Section 3. That the new County election precinct boundaries as described in Exhibits A and B are hereby approved, adopted, and designated to define the County's election precincts from and after January 1, 2026 (the "Effective Date") and shall be filed and maintained in the office of the County Clerk.

Section 4. That the County Clerk is hereby directed to make and provide the notices concerning the adoption of the reconfigured election precincts required to be made or provided by Commissioners Court under Chapter 42 of the Texas Election Code, specifically Section 42.035(a).

Section 5. That the County Clerk is hereby directed to deliver to the Secretary of State a copy of the notice concerning election precinct changes required by Texas Election Code Sections 42.037 and 42.035(d).

Section 6. That this Order was approved at a public meeting held in compliance with Chapter 551 of the Texas Government Code, the Texas Open Meetings Act.

ORDERED, APPROVED, AND ADOPTED on the 29th day of December, 2025.

THE COMMISSIONERS COURT OF
WALKER COUNTY, TEXAS

Colt Christian, County Judge

Danny Kuykendall, Commissioner, Precinct 1

Ronnie White, Commissioner, Precinct 2

Bill Daugette, Commissioner, Precinct 3

Brandon Decker, Commissioner, Precinct 4

ATTEST:

Kari A. French, County Clerk
Walker County, Texas

Walker County Commissioner Precincts December 2025

Legend

WC Roads

CoH Roads

Precinct Boundary 2025

1

2

3

4

Colt Christian, County Judge

Danny Kuykendall, Commissioner, Precinct 1

Ronnie White, Commissioner, Precinct 2

Bill Daugette, Commissioner, Precinct 3

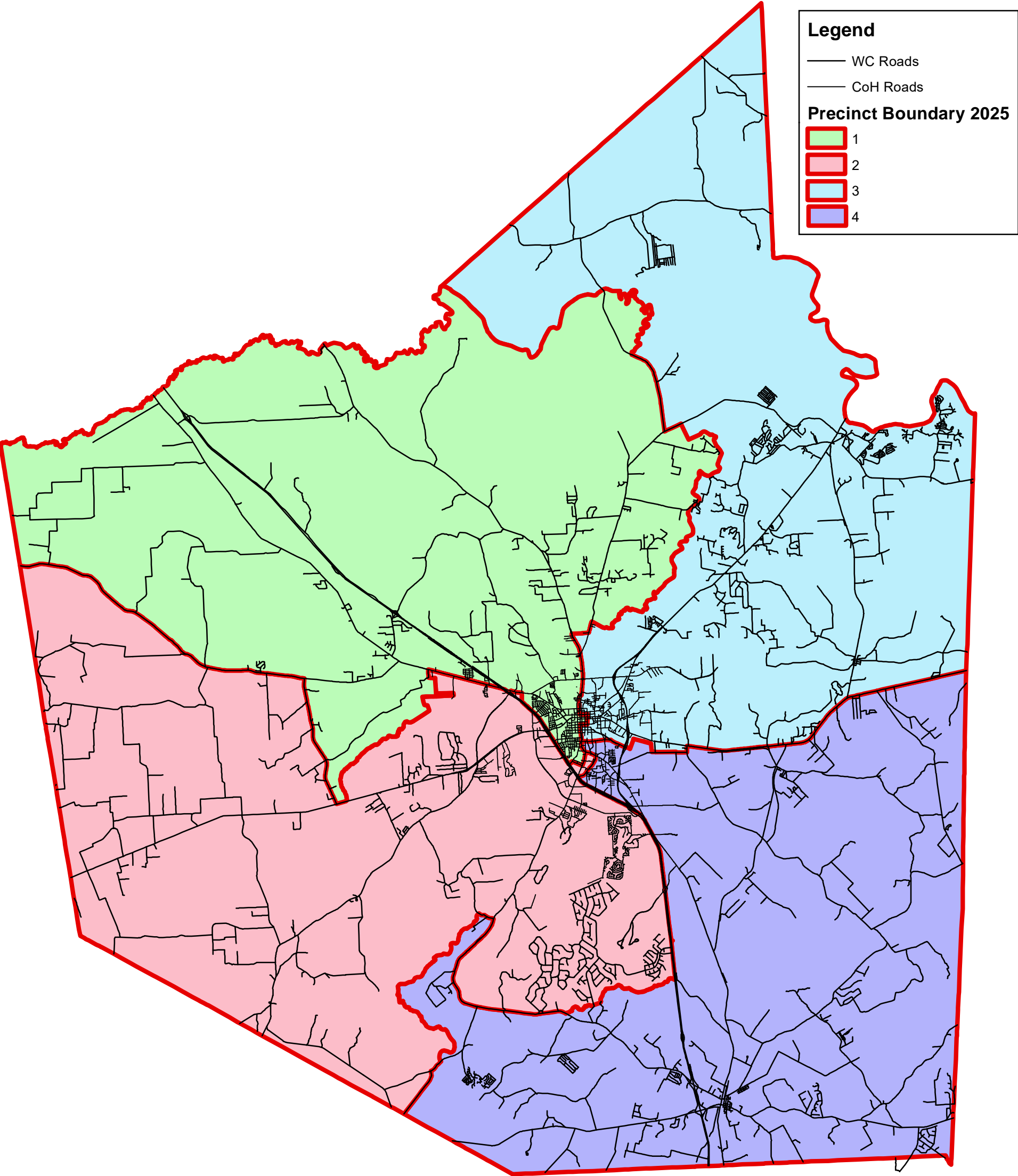
Brandon Decker, Commissioner, Precinct 4

DISCLAIMER

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29 December 2025

Walker County Commissioner Precincts December 2025



Colt Christian, County Judge

Danny Kuykendall, Commissioner, Precinct 1

Bill Daugette, Commissioner, Precinct 3

Ronnie White, Commissioner, Precinct 2

Brandon Decker, Commissioner, Precinct 4

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Walker County Election Precincts December 2025

Exhibit "B"

Legend

WC Roads

CoH Roads

PREC

	0101
	0102
	0103
	0104
	0105
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	0204
	0205
	0206
	0301
	0302
	0303
	0304
	0401
	0403
	0404
	0406

Colt Christian, County Judge

Danny Kuykendall, Commissioner, Precinct 1

Bill Daugette, Commissioner, Precinct 3

Ronnie White, Commissioner, Precinct 2

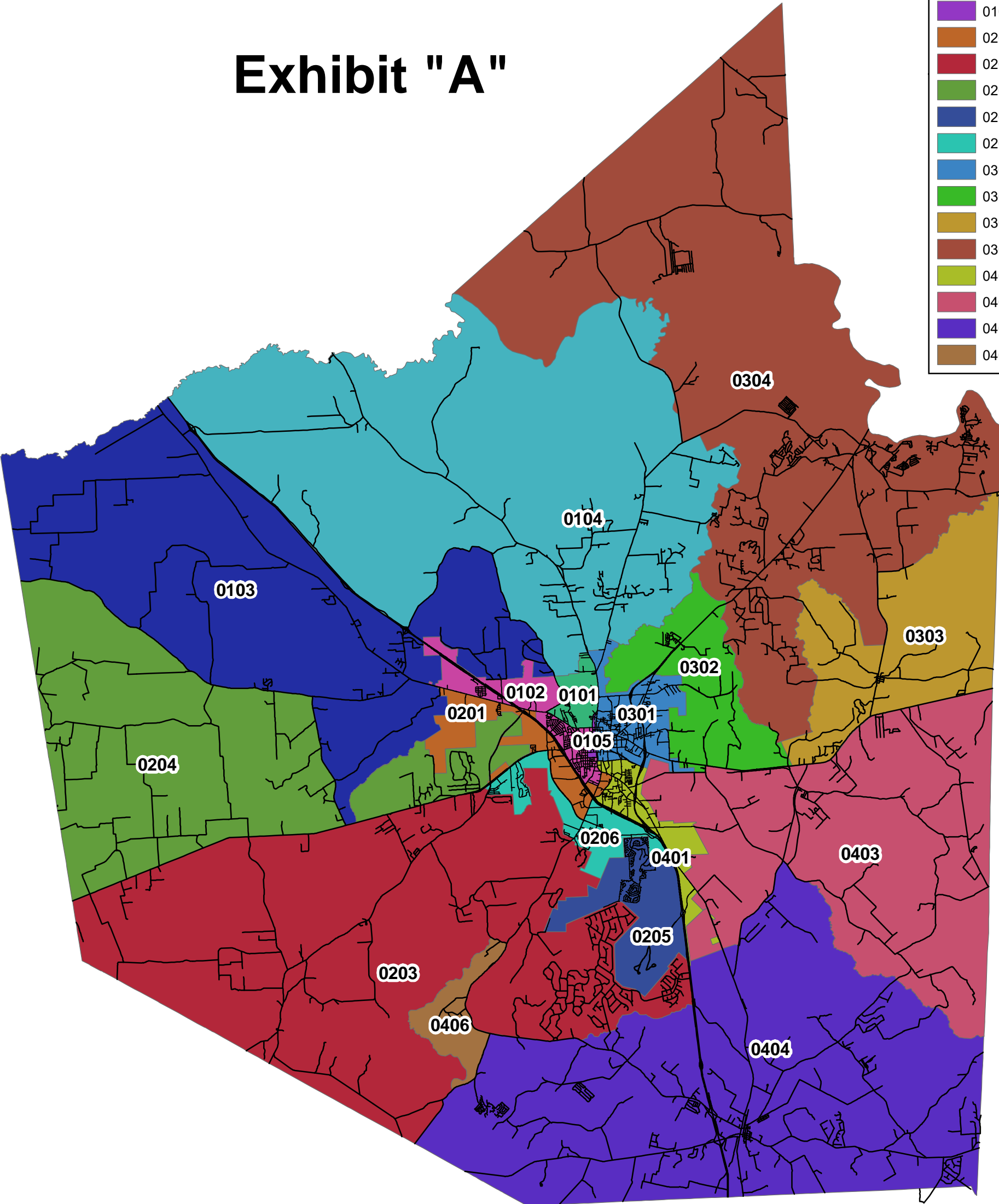
Brandon Decker, Commissioner, Precinct 4

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Walker County Election Precincts December 2025

Exhibit "A"



Legend

WC Roads

CoH Roads

PREC

0101

0102

0103

0104

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0201

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0404

0406

Colt Christian, County Judge

Danny Kuykendall, Commissioner, Precinct 1

Bill Daugette, Commissioner, Precinct 3

Ronnie White, Commissioner, Precinct 2

Brandon Decker, Commissioner, Precinct 4

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IFB# C2360-26-013
Installation and Transfer of Diesel Generator
Bid Tab

				Recommended for Award	
Name Of Contractor: Ready Power, LLC		Name Of Contractor: McCaffety Electric			
City, State: New Orleans, LA		City, State: Huntsville, TX			
Job Site Location #1: Walker County Annex		Job Site Location #1: Walker County Annex			
Job Site Location #2: Justice of Peace-JP2		Job Site Location #2: Justice of Peace-JP2			
Transfer of Existing Diesel Generator from Annex		\$8,800.00	Transfer of Existing Diesel Generator from Annex	N/A	
Transfer of Automatic Transfer Switch from Annex		\$3,950.00	Transfer of Automatic Transfer Switch from Annex	N/A	
Transfer of Annunciator Panel from Annex		\$800.00	Transfer of Annunciator Panel from Annex	N/A	
Installation of Kohler Generator at JP2		\$17,000.00	Installation of Kohler Generator at JP2	N/A	
Steel or Aluminum Platform for Generator at JP2		\$8,500.00	Steel or Aluminum Platform for Generator at JP2	\$6,117.00	
Automatic Transfer Switch at JP2		\$8,500.00	Automatic Transfer Switch at JP2	N/A	
Annunciator Panel at JP2		\$1,800.00	Annunciator Panel at JP2	N/A	
Electrical		\$11,000.00	Electrical	\$9,892.00	
Plumbing		N/A	Plumbing	N/A	
Fencing at JP2		\$14,000.00	Fencing at JP2	\$9,265.00	
Cost of Labor at Annex		\$8,000.00	Cost of Labor at Annex	\$2,500.00	
Cost of Labor at JP2		\$4,000.00	Cost of Labor at JP2	\$5,968.00	
Crane & Rigging Services at Annex (if Applicable)		\$4,500.00	Crane & Rigging Services at Annex (if Applicable)	\$1,695.00	
Crane & Rigging Services at JP2 (if Applicable)		\$4,500.00	Crane & Rigging Services at JP2 (if Applicable)	\$1,695.00	
Temporary Power Supply at Annex (if Applicable)		\$8,000.00	Temporary Power Supply at Annex (if Applicable)	\$3,728.00	
Temporary Power Supply at JP2 (if Applicable)		\$9,000.00	Temporary Power Supply at JP2 (if Applicable)	\$3,728.00	
Total Of Bid Price including all if Applicable Costs:		\$112,350.00	Total Of Bid Price including all if Applicable Costs:	\$44,588.00	
Additional Fees/Charges:		None included	Additional Fees/Charges:	None Included	
Comments:		See included drawings	Comments:	None	

Laura Buccafurni, CTCO, CTCM

Assistant Purchaser III

Date

Cheryl Cowart, CTCO, CTCM

Purchasing Agent

Date

AGREEMENT TO AMEND THE MEMORANDUM OF AGREEMENT

New Waverly 4-H Community Club
Post Office Box 657
New Waverly, Texas 77358

Please refer to the Memorandum of Agreement by and between **Walker County** ("County") and **New Waverly 4-H Community Club** (4-H Club), dated April 8, 2024, relating to the lease of land from County to the 4-H Club ("Existing Agreement"). The parties desire to amend the Existing Agreement. When signed by you, this Agreement to Amend constitutes an amendment to the Existing Agreement. The Existing Agreement, as amended, will be referred to as the "Resulting Agreement."

The amendments are italicized below, and will read as follows:

1. **Insurance.** *County shall be responsible for maintaining insurance only on the 4-H Pavilion, a structure constructed on the Premises for use as an arena to host 4-H Club events. If the 4-H Pavilion is damaged, 4-H Club shall be responsible for any and all repairs, which shall be completed in a timely manner and to a standard suitable for the use and enjoyment of the 4-H Pavilion and the Premises. If County determines that damage to the 4-H Pavilion requires an insurance claim to be filed, 4-H Club shall be responsible for payment of any deductible. Any costs incurred in repairing the 4-H Pavilion will first be paid with any monies paid to County pursuant to an approved insurance claim. 4-H Club shall be responsible for all costs that exceed the amount approved by County's insurance claim.*

4-H Club shall be responsible for maintaining appropriate insurance to protect *all other* respective interests of both parties in the Premises and property located on the Premises, *including, but not limited to, general liability insurance and insurance on contents located within the 4-H Pavilion and property on the Premises for use at the 4-H Pavilion.* County shall be named and carried on all insurance policies of 4-H Club as an additional insured party. Proof of insurance shall be submitted on execution of the MOA and on an annual basis. All participants using property and facility who are not members of 4-H Club shall possess primary and non-participatory insurance coverage that indemnifies County.

2. **Entire Agreement/ Amendment.** This MOA agreement contains the entire agreement of the parties and there are no other promises or conditions in any other agreement whether oral or written. This MOA may be modified or amended only in writing, if the writing is signed by the party obligated under the amendment. Nothing in this agreement shall commit County to any financial obligation, *other than County's responsibility for maintaining insurance only on the 4-H Pavilion constructed on the Premises.*

To indicate your agreement to these amendments, please sign this Agreement to Amend and return the signed original to:

Walker County Judge
1100 University Avenue, Rm. 204
Huntsville, Texas 77340

The Resulting Agreement is attached hereto, is incorporated for all purposes, and becomes effective on the date that this Agreement to Amend is executed by County.

Walker County, Texas

By: _____
Colt Christian, County Judge

Agreed to on the ____ day of _____, 202__.

By: _____
County Extension Agent, 4-H Coordinator
New Waverly 4-H Community Club

EXECUTED BY WALKER COUNTY, TEXAS ON THE ____ DAY OF _____, 202__.

County Judge

Commissioner Precinct 1

Commissioner Precinct 2

Commissioner Precinct 3

Commissioner Precinct 4

ATTEST:

County Clerk

MEMORANDUM OF AGREEMENT

This Memorandum of Agreement ("MOA") is made as of the Effective Date contained herein by and between Walker County ("County") and New Waverly 4-H Community Club (4-H Club). The parties agree as follows:

Premises. County and 4-H Club provided in this MOA, agree to the use of the following Property:

Approximately 4.435 acres adjacent to the Weight Station, 842 Old Houston Rd, New Waverly, Walker County, Texas.

Term. The initial term will be for five (5) years beginning on April 8th 2024 and will automatically renew for successive five-year terms unless written notice is received by either party ninety (90) days prior to the end of the current term.

Use of Premises. New Waverly 4-H Community Club will construct an arena and supporting facilities and will carry out its mission to prepare youth to meet the challenges of childhood, adolescence and adulthood, through a coordinated, long-term, progressive series of educational experiences that enhance life skills and develop social, emotional, physical and cognitive competencies.

Possession. 4-H Club shall be entitled to possession on the first day of the term of this MOA and shall yield possession to County on the last day of the term of this MOA, or if the 4-H Club fails to continue with its Mission to serve the Community of Walker County, unless otherwise agreed by both parties in writing. At the expiration of the term, 4-H Club shall remove its equipment, structures, and effects and peaceably yield up the Premises to County in as good condition as when delivered to 4-H Club. Any equipment, structures, and effects remaining on Premises sixty (60) days after expiration of the term shall become the property of County, unless otherwise agreed by both parties in writing.

Insurance. County shall be responsible for maintaining insurance only on the 4-H Pavilion, a structure constructed on the Premises for use as an arena to host 4-H Club events. If the 4-H Pavilion is damaged, 4-H Club shall be responsible for any and all repairs, which shall be completed in a timely manner and to a standard suitable for the use and enjoyment of the 4-H Pavilion and the Premises. If County determines that damage to the 4-H Pavilion requires an insurance claim to be filed, 4-H Club shall be responsible for payment of any deductible. Any costs incurred in repairing the 4-H Pavilion will first be paid with any monies paid to County pursuant to an approved insurance claim. 4-H Club shall be responsible for all costs that exceed the amount approved by County's insurance claim.

4-H Club shall be responsible for maintaining appropriate insurance to protect all other respective interests of both parties in the Premises and property located on the Premises, including, but not limited to, general liability insurance and insurance on contents located within the 4-H Pavilion and property on the Premises for use at the 4-H Pavilion. County shall be named and carried on all insurance policies of 4-H Club as an additional insured party. Proof of insurance shall be submitted on execution of the MOA and on an annual basis. All participants using property and facility who are not members of 4-H Club shall possess primary and non-participatory insurance coverage that indemnifies County.

Construction. Any and all construction must comply with all rules, statutes and regulations as promulgated by the State and County where applicable.

Maintenance. 4-H Club shall be responsible for all maintenance to the Premises, including but not limited to grounds, facilities, equipment and fencing. Property shall be maintained to a level for the desired purpose at all times. Maintenance provided by County including but not limited to grounds, facilities, equipment and fencing shall be on a case by case basis and approved by the Commissioner of Precinct 4 of Walker County.

Security. Security of the property and facility shall be the sole responsibility of 4-H Club.

Utilities and Services. 4-H Club shall be responsible for all utilities and services in connection with the Premises for the term of the MOA.

Defaults. 4-H Club shall be in default of this MOA if 4-H Club fails to fulfill any obligation or term by which 4-H Club is bound. Subject to any governing provisions of law to the contrary, if 4-H Club fails to cure any financial obligation within thirty (30) days (or any other obligation within thirty (30) days) after written notice of such default is provided by County to 4-H Club, County may take possession of the Premises without further notice (to the extent provided by law), and without prejudicing County's right to recover for any damages. 4-H Club shall pay all costs, damages, and expenses (including reasonable attorney fees and expenses) suffered by County by reason of 4-H Club's defaults.

Dangerous Materials. 4-H Club shall not keep or have on the Premises any article or thing of a dangerous, flammable, or explosive character that might substantially increase the danger of fire on the Premises, or that might be considered hazardous by a responsible insurance company, unless the prior written consent of County is obtained and proof of adequate insurance protection is provided by 4-H Club to County.

Assignability / Subletting. 4-H Club may not assign or sublease any interest in the Premises nor assign, mortgage or pledge the premises or any rights contained within the MOA, without the prior written consent of County.

Notice. Notices under this MOA shall not be deemed valid unless given or served in writing and forwarded by email, or in front of USPO mail, postage prepaid, and addressed as follows:

COUNTY

Walker County Judge
1100 University Avenue, Rm. 204
Huntsville, Texas 77340

4-H CLUB

New Waverly 4-H Community Club
Post Office Box 657
New Waverly, Texas 77358

Such addresses may be changed from time to time by either party by providing notice as set forth above.

Entire Agreement/ Amendment. This MOA agreement contains the entire agreement of the parties and there are no other promises or conditions in any other agreement whether oral or written. This MOA may be modified or amended only in writing, if the writing is signed by the party obligated under the amendment. Nothing in this agreement shall commit County to any financial obligation, other than County's responsibility for maintaining insurance only on the 4-H Pavilion constructed on the Premises.

Severability. If any portion of this MOA shall be held to be invalid or un-enforceable for any reason, the remaining provisions shall continue to be valid and enforceable. If a court finds that any provision of this MOA is invalid or un-enforceable, but that by limiting such provisions it would become valid and enforceable, then such provisions shall be deemed to be written, construed, and enforced as so limited.

Waiver. The failure of either party to enforce any provision of the MOA shall not be construed as a waiver or limitation of that party's right to subsequently enforce and compel strict compliance with every provision of this MOA.

Cumulative Rights. The rights of the parties under this MOA are cumulative and shall not be construed as exclusive unless otherwise required by law. This agreement may be executed in separate parts, each of which are considered an original. The Effective Date of the agreement is the latest date on which a party signs.



LONESTAR TRUCK GROUP | BRYAN

7575 N HWY 6
BRYAN, TX 77807
(979)778-3640

Sales Quote

DE-51737

12/17/2025

Contact: Shane Winkler | Phone: 979-778-3640 | Mobile: 936-661-3829 | Email: Shane.Winkler@tntxtruck.com

Bill To:

PROS-0022722

WALKER COUNTY PRECINCT 4

9368 TX-75

NEW WAVERLY TX 77358

Phone:(936)435-8777

Sold To:

WALKER COUNTY PRECINCT 4

9368 TX-75

NEW WAVERLY TX 77358

3ALACXDT3EDFY8023

Used - 2014 Freightliner M2 106

\$19,500.00

Paint

\$1,850.00

Unit Total:

\$21,350.00

Total Sales Price

\$21,350.00

Net Sales Price

\$21,350.00

AMOUNT DUE

\$21,350.00

Cash / Down Payment

-\$0.00

Amount Financed/Cash Due

\$21,350.00

This contract is subject to additional provisions set forth on page two of this document, which is incorporated here in by inference, AND WHICH TERMS INCLUDE A COMPLETE DISCLAIMER OF ALL WARRANTIES. The purchaser agrees that this order includes all the terms and conditions on both pages of this order and that this order cancels and supersedes any prior agreement and as of the date hereof comprises the complete and exclusive statement of the terms of this agreement, relating to the subject matters covered hereby, and that THIS ORDER SHALL NOT BECOME BINDING UNTIL ACCEPTED BY THE DEALER PRINCIPAL OR HIS/HER AUTHORIZED REPRESENTATIVE. Purchaser by his/her execution of this order acknowledges the he/she has read its terms and conditions and has received a copy of the order. A DOCUMENTARY FEE IS NOT AN OFFICIAL FEE. A DOCUMENTARY FEE IS NOT REQUIRED BY LAW, BUT MAY BE CHARGED TO BUYERS FOR HANDLING DOCUMENTS RELATING TO THE SALE. A DOCUMENTARY FEE MAY NOT EXCEED A REASONABLE AMOUNT AGREED TO BY THE PARTIES. THIS NOTICE IS REQUIRED BY LAW. IF THE PURCHASED VEHICLE(S) SOLD TO PURCHASER BY DEALER UNDER THIS ORDER IS SOLD AS A USED VEHICLE, THE VEHICLE IS SOLD "AS IS" AND "WITH ALL FAULTS." DEALER MAKES NO GUARANTEE OR WARRANTY OF ANY NATURE WHATSOEVER IN CONNECTION WITH THE PURCHASED VEHICLE(S), EXPRESS OR IMPLIED, (INCLUDING NO WARRANTY THAT THE ODOMETER READING ON THE PURCHASED VEHICLE(S) REPRESENTS THE ACTUAL MILEAGE TRAVELED) OR ANY IMPLIED WARRANTY OR MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OF ANY NATURE WHATSOEVER. PURCHASER AGREES TO USE THE PURCHASED VEHICLE(S) AND/OR CHASSIS AT PURCHASER'S OWN RISK AND HEREBY RELEASES SELLER, ITS AGENTS, EMPLOYEES, SUCCESSORS AND ASSIGNS, FROM ANY AND ALL CLAIMS FOR ANY DAMAGES OR INJURIES OR ANY NATURE WHATSOEVER TO THE FULL EXTENT PERMITTED BY LAW.

Purchase By

Name (Printed)

Signature

Date

Dealer

Sales Rep (Signature)

General Manager's Approval (Signature)

Date

ADDITIONAL TERMS AND CONDITIONS

1. As used in this Order the terms (a) "Dealer" shall mean **Lonestar Freightliner Group, LLC dba LONESTAR TRUCK GROUP | BRYAN** and (b) "Purchaser" shall mean the party executing this Order as such on the face hereof. Dealer and Purchaser are the sole parties to this Order.
2. If a used motor vehicle(s) ("Trade In(s)"), which has been traded in as part of the consideration for the motor vehicle(s) ("Purchased Vehicle(s)") ordered hereunder, is not to be delivered to Dealer until delivery to Purchaser of the Purchased Vehicle(s), Dealer may reappraise the Trade In(s) at that time and such reappraised value shall determine the allowance made for the Trade In(s). If such reappraised value is lower than the original Trade Equity shown on the front of this Order, Purchaser may, if dissatisfied therewith, cancel this Order, provided, however, that such right to cancel is exercised prior to the delivery of the Purchased Vehicle(s) to Purchaser and surrender of the Trade In(s) to Dealer.
3. Purchaser agrees to deliver to Dealer satisfactory evidence of good title to any Trade In(s) to at the time of delivery of the Trade In(s) to Dealer, Purchaser warrants that Purchaser of the sole owner of the Trade In(s) and that the Trade In(s) are being transferred to Dealer free and clear of all liens and encumbrances of any nature whatsoever except as otherwise noted herein.
4. Unless this Order is cancelled by Purchaser in accordance with the provisions of paragraph 2 above, Dealer shall have the right, upon failure or refusal of Purchaser to accept delivery of the Purchaser Vehicle(s) pursuant to the terms of this Order, to retain as liquidated damages any cash deposit made by Purchaser, and, in the event a Trade In(s) has been delivered to Dealer as a part of the part of the consideration for the Purchased Vehicle(s), to sell the trade In(s) and reimburse itself out of the proceeds of such sale for any and all expenses or losses which Dealer may incur or suffer as a result of such failure or refusal by Purchaser.
5. Dealer shall not be liable for failure to deliver or any delay in delivering the Purchased Vehicle(s) where such failure or delay is due, in whole or in part, to any cause beyond the control or without the fault or negligence of Dealer.
6. The price for the Purchased Vehicle(s) does not include Federal Excise taxes, sales taxes, use taxes or occupational taxes based on sales volume, (Federal, State or Local) unless expressly so stated. Purchaser assumes and agrees to pay, unless prohibited by law, any such excise, sales, use or occupational taxes imposed on or applicable to the transaction covered by this Order, regardless of which party may have primary tax liability therefore.
7. Purchaser grants Dealer a purchase money security interest in the Purchased Vehicle(s) as security for Purchaser's obligation to pay the purchase price, and Purchaser agrees to execute and financing statement or other instrument required to perfect such security interest. In the event that Purchaser fails or refuses to execute and required document. Purchaser hereby appoints Dealer as it's attorney-in-fact, coupled with an interest to execute the same on Purchaser's behalf and in Purchaser's stead.
8. Purchaser before or at any time of delivery of the Purchased Vehicle(s) will execute such other forms of agreement or documents as may be required by the terms and conditions of payment indicated on the front of this Order. In the event that Purchaser fails or refuses to execute any required document, Purchaser hereby appoints Dealer as its attorney-in-fact, coupled with an interest to execute same on Purchaser's behalf and in Purchaser's stead.
9. In the event Purchaser seeks to obtain financing to acquire vehicle named on this Purchase Order. Purchaser represents that all material Statements made in the Purchaser's Credit Application, Finance Contracts and all information provided to Dealer or to the Finance Company are True and correct. Any material misrepresentation by Purchaser in any of the aforementioned documents entitles Dealer to cancel this Agreement. Should the purchaser or the Finance Company they contract with fail to tender the full contract price to Dealer, Dealer may cancel this Agreement. Purchaser agrees to promptly return the vehicle if there has been material misrepresentation or full contract price has not been tendered in a prompt manner.
10. PURCHASER AGREES THAT IN NO EVENT SHALL DEALER BE LIABLE FOR DAMAGES FOR: LOSS OF USE OF THE PURCHASED VEHICLE(S), LOSS OF TIME, REPLACEMENT OR RENTAL VEHICLES, LODGING, OR ANY OTHER SPECIAL, INCIDENTAL, OR CONSEQUENTIAL DAMAGES ARISING OUT OF PURCHASER'S PURCHASE OR USE OF THE PURCHASED VEHICLE(S), WHETHER IN CONTRACT, TORT, STRICT LIABILITY, OR ANY OTHER LEGAL THEORY, AND REGARDLESS OF WETHER DEALER HAS BEEN ADVISED OF SUCH DAMAGES. IN NO EVENT SHALL DEALER'S LIABILITY TO PURCHASER EXCEED THE PURCHASE PRICE OF THE PURCHASED VEHICLE(S).
11. PURCHASER'S ACKNOWLEDGES AND AGREES THAT ANY REPAIR SERVICE PROVIDED BY DEALER ON THE PURCHASED VEHICLE(S) SHALL NOT CREATE ANY WARRANTY OF ANY NATURE WHATSOEVER, EXPRESS OR IMPLIED, WITH RESPECT TO THE PURCHASED VEHICLE(S).
12. This agreement shall be governed by the laws of the State of TEXAS
The prevailing party shall be entitled to recover reasonable attorney's fees and expenses on any action.
13. This agreement constitutes the entire agreement between the parties with respect to the Purchased Vehicle(s). Any Representations, Promises, Warranties, or Statements that differ in any way from the terms of this agreement shall be given no force nor effect. This agreement may not be modified except in writing signed by both parties.
14. The undersigned parties RECOGNIZED AND ACKNOWLEDGE THAT THEIR RELATIONSHIP AND BUSINESS DEALINGS AND CONTRACTS INVOLVE INTERSTATE COMMERCE AND hereby submit all controversies, claims and matters of difference to non-binding mediation and binding arbitration in **BRYAN, BRAZOS COUNTY, TEXAS** in accordance with the Federal Arbitration Act (9 USC §§ 1-16) and pursuant to the Commercial/Business rules and procedures for mediation and arbitration of the American Arbitration Association. This submission and agreement to meditate and arbitrate shall be specifically enforceable. WITHOUT LIMITING THE GENERALITY OF THE FOREGOING, THE FOLLOWING SHALL BE CONSIDERED CONTROVERSIES FOR THIS PURPOSE: (I) ALL QUESTIONS RELATING TO THE BREACH OF ANY OBLIGATION, WARANTY, OR CONDITION HEREUNDER: (II) FAILURE OF ANY PARTY TO DENY OR REJECT A CLAIM OR DEMAND OF ANY OTHER PARTY; AND (III) ALL QUESTIONS AS TO WETHER THE RIGHT TO MEDIATE OR ARBITRATE ANY QUESTIONS EXISTS. The parties hereto agree to submit all controversies to a one day mediation as a condition precedent to any arbitration proceeding. Arbitration may, thereafter, proceed in the absence of any party if written notice (pursuant to the American Arbitration Association's rules and regulations) of the proceedings has been given to such party. The parties agree to abide by all awards rendered in such arbitration proceedings. Such awards shall be final and binding on all parties to the extent and in the manor provided by the Federal Arbitration Act. All awards may be filed with the Clerk of the District Court in **BRAZOS COUNTY, TEXAS**, as a basis for judgment and the issuance of execution for collection and, at the election of the party making such filing, with the clerk of one or more other courts, state or federal.

By Signature hereunder the purchaser acknowledges he has read and agrees to the above terms and conditions.

Purchaser Signature: _____

Date: _____



Walker County Subdivision Regulations

EFFECTIVE: 6/16/2025

Resolution & Order # 2025-77

THE STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF WALKER §

THAT ON THIS, **16th Day of June 2025**, the Commissioners Court of Walker County, Texas, met in duly called and convened lawful Session at the County Courthouse in Huntsville, Texas, with the following members present:

Colt Christian	County Judge
Danny Kuykendall	Commissioner, Precinct One
Ronnie White	Commissioner, Precinct Two
Bill Daugette	Commissioner, Precinct Three
Brandon Decker	Commissioner, Precinct Four

And at said meeting, among other business, came up for consideration and adoption the following Resolution and Order:

WHEREAS, the Commissioners Court of Walker County, Texas, has, after proper notice, held a public hearing concerning a proposed revision of the Walker County Subdivision Regulation; and

WHEREAS, after soliciting the public's comments, the Commissioners Court finds that the adoption of revised Regulations will be in the public interest;

NOW THEREFORE BE IT RESOLVED, that the Walker County Commissioners Court hereby adopts the attached document as the revised Walker County Subdivision Regulations and *orders* that they be in full force and effect on **June 16, 2025**; and


FURTHER RESOLVED, that County Judge Colt Christian be, and is hereby authorized to sign this Resolution and Order as the act and deed of the Walker County Commissioners Court.

The foregoing Resolution and order was lawfully moved by Commissioner White, duly seconded by Commissioner Daugette, and duly adopted by the Commissioners Court on a vote of four (4) members for the motion and one (1) member(s) opposed, with no commissioner(s) being absent from the dais.


Colt Christian
County Judge, Walker County, Texas

DATE: June 16, 2025


Danny Kuykendall
Commissioner, Precinct One, Walker County, Texas


Ronnie White
Commissioner, Precinct Two, Walker County, Texas


Bill Daugette
Commissioner, Precinct Three, Walker County, Texas


Brandon Decker
Commissioner, Precinct Four, Walker County, Texas

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Walker County Subdivision Regulations

On July 21, 1986, acting pursuant to the Texas Local Government Code, Walker County adopted regulations governing platting and the subdivision of land. They were further revised on March 18, 1991, February 7, 1994, December 11, 1995, October 15, 1996, November 23, 1998, July 24, 2000, April 25, 2005, February 26, 2018, April 23, 2018, September 23, 2019, June 1, 2022, March 27, 2023, April 24, 2023, September 1, 2023, November 18, 2024, May 5, 2025, and are hereby further revised as follows. These Regulations shall be known as the Walker County Subdivision Regulations.

These revised Regulations, as well as required review fees, shall apply to all new Applications received on or after the date that these revised Regulations were adopted by the Walker County Commissioners Court. Any subdivision applications that were originally submitted prior to that date shall be subject to the Regulations and any applicable fees that were in effect at the time of the original submission, unless, at the applicant's option, the applicant elects to proceed under the new regulations or requirements. Compliance with these Regulations shall be a prerequisite to the approval of any subdivision by Walker County, except insofar as they may conflict with any applicable State statute.

Section 1 - Purpose

1.1 These Regulations have been prepared in general to aid in the orderly development of Walker County, Texas, and provide guidelines, which will lead to a desirable environment. Specifically, they have been prepared for the following purposes:

- To furnish the Owner with guidance and assistance in the expedient preparation and approval of his or her plat.
- To protect the citizens of Walker County by providing subdivision and development guidelines for residential, commercial, and industrial subdivisions.
- To provide for the welfare of the public by providing guidelines for the location, design, and construction of roadways, roadway intersections, drainage improvements, and other features that provide for the safety of the general public.
- To provide for the proper arrangement and construction of roads, and to ensure the proper relationship of roads to existing or planned roads.
- To ensure adequate access for emergency response vehicles.
- To ensure that Walker County will not be burdened with substandard roads in the future.

Section 2 - Definition of Terms

2.1 **100-year Floodplain**

Any land that would be inundated by a flood having a one percent chance of occurring in any given year, including but not limited to any land shown on the current version of the FEMA National Flood Insurance Program Flood Maps.

2.2 **100-year Storm**

A storm having a one percent probability of occurrence in any given year

2.3 **Application**

A submittal that includes a completed Application form along with all required attachments which may be required as part of that submittal and the appropriate review fee. These attachments may include but are not limited to forms, agency approvals, specifications, drawings, drainage or geotechnical reports, and electronic data files. (See Appendix D). The DPD is authorized to make additions or changes to the Application forms without any additional approval by Commissioners Court.

2.4 **Base Flood Elevation (BFE)**

The water surface elevation resulting from the flood that has a one percent chance of equaling or exceeding that level in any given year (also called the Base Flood).

2.5 **Block**

A tract of land bounded by actual or platted roads, waterways, or other definite boundaries, or a combination thereof.

2.6 **Commissioners Court**

All references in these Regulations to the Commissioners Court shall mean the Commissioners Court of Walker County or the person(s) designated by the Commissioners Court of Walker County.

2.7 **Condominium Development**

A form of real property with portions of the real property designated for separate Ownership or occupancy, and the remainder of the real property designated for common Ownership or occupancy solely by the Owners of those portions. For the purposes of these Regulations, Condominiums shall include, but not be limited to, all developments created under Chapter 82 of the Texas Property Code, also known as the Uniform Condominium Act.

2.8 **County**

All references in these Regulations to the "County" shall mean Walker County

2.9 **County Engineer**

All references in these Regulations to the "County Engineer" shall be construed to refer to the Professional Engineer employed by or contracted by Walker County for the review of plat applications, plans, permits, or general engineering review related to any application, or his/her authorized representative.

2.10 **Cul-de-sac**

A road having one terminus open for vehicular and the other terminated by a vehicular turnaround.

2.11 **Daughter Tract/Daughter Parcel**

Any of the tracts created by the division of a parent tract, including the remainder of the parent tract itself.

2.12 **DPD**

All references in these regulations to the "DPD" shall be construed to refer to the current Director of Planning and Development for Walker County, Texas, or his/her authorized representative.

2.13 **Dwelling Unit**

A dwelling unit is defined as a single unit of residence for a family of one or more persons.

2.14 **Easement**

A grant by the property Owner for the use of a strip or parcel of land by the public or utilities, or for any private purpose.

2.15 **ETJ (Extraterritorial Jurisdiction)**

The unincorporated area that is contiguous to the corporate boundaries of a city, as defined by that city, and within various distances of the municipality depending on the number of inhabitants of a municipality. Within an ETJ, cities have statutory authority to adopt rules governing plats and subdivisions.

2.16 **FEMA**

The Federal Emergency Management Agency, a federal agency of the Department of Homeland Security.

2.17 **Frontage**

Frontage is the measurement of distance along the right of way adjacent to and abutting a lot boundary as measured at the edge of the right of way of:

- 1) an existing city, county, or state-maintained road; or
- 2) a public road that has been platted in accordance with these regulations and either submitted an approved surety or accepted as substantially complete-

2.18 **Guidelines**

The Engineering Guidelines contained in Appendix B as part of the Walker County Subdivision Regulations, as amended.

2.19 **Improvements**

Any or all road pavements, curbs and gutters, sidewalks, utilities, drainage facilities, topsoil, trees, grading, signs, and crosswalks, and may also include walkways, streetlights, or any other manmade changes to improved or unimproved real estate.

2.20 **LOG**

Lip of Gutter; the front edge of the curb. The point where the curb meets the roadway pavement. (Also referred to as the "face of curb").

2.21 **Loop Street**

A type of local street where each end terminates at an intersection with the same street.

2.22 **Lot**

For the purpose of these Regulations, a parcel or part of a tract of land created by a division of a parent tract regardless of whether it is made using a metes and bounds description in a deed of conveyance or a contract for deed, by using a contract of sale or executory contract to convey, or by using any other method, exclusive of any adjoining road or road right-of-way. Lots shall meet the minimum dimensions, area, and setback requirements of these Regulations.

2.23 **Major Thoroughfare**

Major thoroughfare shall mean an arterial road as defined herein.

2.24 **Minimum Requirements**

Requirements when defined as a minimum shall be the least restrictive standards as allowed by applicable local, state, and federal regulations.

2.25 **Minor Subdivision / Minor Plat**

Minor Subdivision/ Minor Plat shall mean an application for plat that meets the following:

- a) does not include or require the construction of any road or drainage improvements under this policy, excluding detention;
- b) subdivides an existing compliant tract into 4 or fewer parts, tracts, or lots;
- c) and is not located within a platted subdivision.

2.26 **Owner**

The person(s) possessing title and/or applicable lienholders to the property to be subdivided. This can also refer to the Owner's surveyor, engineer, lawyer, planner, or other agent(s) who has been given authority to represent the Owner.

2.27 **Parent Tract/Parent Parcel**

The original tract/parcel owned by the Owner prior to any division

2.28 **Plans**

Construction drawings, specifications, reports, calculations, detailed quantity take-offs, bidding forms, or other documents required for construction, construction review, or construction-related approvals.

2.29 **Plat**

The Plat is the plat required for filing in the records of the County Clerk and is a map or drawing of a proposed subdivision (1) prepared in conformance with the approved engineering plans application and (2) meeting the requirements of these regulations.

2.30 **Precinct Commissioner**

The Walker County Commissioner in whose precinct the subdivision is located.

2.31 **RV Park:**

Also known as a Recreational Vehicle Park, is a planned facility or location created for the temporary lodging of individuals in Recreational Vehicles, Motor Homes, 5th wheel trailers, and similar vehicles, but not including mobile homes, manufactured homes, or structures not certified and licensed for roadway operation by a state. RV Parks offer short-term lodging not to exceed five months per year. For the purposes of this policy, an RV Park would include any property that offers two or more recreational vehicles or recreational vehicle spaces or sites for rent, lease, or financial gain on a single property.

2.32 **Registered Professional Engineer**

A person licensed, as of the date of the plan being presented, to practice engineering in Texas.

2.33 **Registered Professional Land Surveyor**

A person licensed, as of the date of the plan being presented, to practice land surveying in Texas.

2.34 **Regulations**

The Walker County Subdivision Regulations (this document), as amended, including all appendices.

2.35 **Residential Rental Community**

A Residential Rental Community is a property subdivided by short-term leases, not to exceed 36 months, into two (2) or more separate dwelling units or spaces. A Residential Rental Community does not include Condominiums, Manufactured Home Rental Communities, or Recreational Vehicle Parks.

2.36 **Road/Street**

The terms "street" or "road" are interchangeable and mean a vehicular way, including culverts and bridges, and are used to describe all vehicular ways regardless of any other designation they may carry. All roads shall be categorized into one of the following functional classifications:

2.36.1 **Arterial Road**

Arterial roads are those that are principally regional in nature, which will serve vehicular traffic beyond the limits of a subdivision; or connect one collector or arterial with one or more collectors or arterials. Arterial roads include any road used for through or high-volume traffic ($\geq 12,000$ average daily trips), or any road included as an arterial on a county or city transportation plan.

2.36.2 **Collector Road**

Collector roads are those that connect one local road with one or more local roads; or any road with $\geq 2,000$ average daily trips that is not an arterial road.

2.36.3 **Local Road**

Local roads are those that principally provide direct access to lots within a subdivision and have less than 2,000 average daily trips.

All roads Arterial, Collector, and Local roads shall also be classified as follows:

2.36.4 **Urban Road**

For the purposes of this order, an urban road is any road situated such that any of the lot frontages are less than 125 feet. Any road with a curb and gutter design will be considered an urban road.

2.36.5 **Rural Road**

For the purposes of this order, a rural road is any road situated such that any of the lot frontages are 125 feet or more.

2.36.6 **Major Thoroughfare**

Major thoroughfare includes arterial roads, as defined herein, and all roads included either now or in the future in the Walker County Long Range Transportation Plan.

2.37 **Subdivision**

The division of a tract of land into two or more parts to layout (1) a subdivision of the tract, including an addition; (2) lots; or (3) streets, alleys, squares, parks, or (4) other parts of the tract intended by the owner of the tract to be dedicated to public use (Sec 232.001, Texas Local Government Code, as

amended. The Walker County Commissioners Court has adopted guidelines, incorporated in these Regulations as Appendix A, stating when Owners are required to file a plat for a subdivision). A division of a tract includes a division regardless of whether it is made using a metes and bounds description in a deed of conveyance or a contract for deed, by using a contract of sale or executory contract to convey, or by using any other method.

For the purpose of these Regulations, subdivisions shall be classified as either urban or rural, as follows:

2.37.1 Urban Subdivision

Urban subdivisions are any subdivision such that any of the lot frontages are less than 125 feet or are less than 1 acre in size.

2.37.2 Rural Subdivision

Rural subdivisions are any subdivision such that all of the lot frontages are 125 feet or more, and all lots are greater or equal to 1 acre in size.

2.38 Travel Way

The portion of a road or roadway intended for vehicular travel. Where concrete curb is installed, the travel way shall be measured LOG to LOG. In cases where a rollover curb (i.e., 4"x12" curb) is installed, the travel way shall be measured from the inside edge to the inside edge of the rollover curb (i.e., the rollover curb is not included as part of the travel way). The travel way also does not include gravel or paved shoulders.

2.39 TxMUTCD

The latest edition of the Texas Manual on Uniform Traffic Control Devices.

2.40 Utility

All persons, firms, corporations, partnerships, municipality, or other private authorities providing gas, electric, water, sewer, drainage facilities, telecommunications, cable television, or other services of a similar nature.

Section 3 - Application Review and Approval Procedures

General Requirements

- 3.1 Every Owner of any tract of land situated outside the corporate limits of any city in Walker County, Texas, must apply for approval and have a plat of the subdivision prepared in compliance with these regulations as authorized by Chapter 232 of the Texas Local Government Code and under the platting and applicability guidelines included in Appendix A. No plat shall be approved for filing in the unincorporated areas of Walker County, Texas, without meeting the requirements of these regulations unless specifically exempted (See Platting Guidelines included as Appendix A). Any tract that has not had its boundary changed since February 1, 2000, may be sold in its entirety without being platted unless otherwise required by State law; this would include but is not limited to the replatting and amending plat requirements.
- 3.2 If the property to be platted lies entirely within the limits of a city, the Owner shall consult directly with that city pertaining to all platting procedures and requirements.
- 3.3 If the property to be platted lies entirely outside of the limits of a city and all ETJs, platting procedures and requirements shall be in accordance with these Regulations.
- 3.4 If the property to be platted lies fully or partially within the ETJ of a city, the platting procedure shall be accomplished in accordance with the most current applicable agreement between the County and that city.
- 3.5 In those ETJ's where the agreement provides for a joint review by both the city and the County (reference is made to Appendix E), an Application shall be filed with the entity or office required by the agreement.
- 3.6 It is the obligation of the Owner to submit all information necessary to permit proper review by the County. If this is not done, the submission will be rejected and a new application must be filed.
- 3.7 All subdivisions of land must either be approved for an exception under State or Local exceptions (See Appendix A), or complete all required applications and approvals required herein. All applications for an exception must be approved by the DPD and/or the County Engineer and have an affidavit of exception on the current form filed in the records of the County Clerk.
- 3.8 All applications shall be marked as to the category of application: Exception, Variance, Plat, or Replat / Amending Plat. Additionally, applications shall include any request for consideration as a plat seeking consideration under the requirements of a Minor Subdivision. A separate application governed by independent timelines and processes will need to be submitted for each category of application requested and/or necessary for the completion of a project.
- 3.9 All applications must include all submittals as required herein or shown on the "Walker County Subdivision Regulations Application Checklist" attached as Appendix D. Appendix D is provided as a guide to assist the applicant in the application process and does not provide complete details of each individual requirement, the detailed requirements are provided in the text and appendices of these regulations.
- 3.10 Once an application and application fee are submitted, no refund of any fees will be given unless required by statute or approved by Commissioners Court. There will be no refund due to an application being submitted incomplete or the withdrawal or cancellation of an application or project. It is the Owner's responsibility to review these regulations and associated guidance and submit the

application only after due diligence has been given to the completeness and suitability of the application.

- 3.11 All subdivisions of land not otherwise excepted by these regulations must submit a plat application for approval prior to filing a plat or subdividing any property within the unincorporated areas of Walker County. For certain platting such as amending plats, lot combination in existing subdivisions, and minor subdivisions with prior approval from the DPD and/or County Engineer a minor plat complying with the County's standards may be submitted. The names of the proposed subdivision and any of the physical features (such as streets, parks, etc.) must not be so similar in spelling or pronunciation to the names of similar features in Walker County, as to cause confusion. All streets and roads must be named on the plat, a list of road names must be submitted by the Owner to the Department of Planning and Development, and approval of the names received, prior to the submittal of the plat application for review and approval.
- 3.12 The Owner must submit five fully signed and executed copies of the plat on 18"x24" media (three paper copies and two mylar copies). In addition to the plat, the Owner must submit 3 paper copies of all submittals along with the following digital files of any plans, plats, exhibits, studies, or other documents required by these regulations for all applications:
- a) A copy of all items in an Adobe .pdf format;
 - b) A copy of all plans, plats, maps, or spatially displayed or related documents and data in .dwg format or pre-approved alternate format.
 - c) A copy of all features shown on the plat must be provided in ESRI shapefile format, including but not limited to roads, rights of way, easements, lot lines, property lines, section and block outlines, etc.

All entities or objects within the AutoCAD drawing file shall be at zero elevation. The coordinate system of the electronic drawing and shapefile shall be the Texas State Plane Coordinate System, Central Zone, U.S. Survey feet, grid coordinates. Right-of-way centerlines, real property boundary lines (lots, blocks, external subdivision boundary, rights-of-way, etc.), and text shall each reside on independent or separate layers. All documents required to be submitted by a registered professional land surveyor or professional engineer must be sealed and signed. *An exemption from the requirement to submit a digital map may be granted if the Owner of the tract submits with the plat application an acknowledged statement indicating that the digital mapping technology necessary to submit a map that complies with this subsection was not reasonably accessible, including justification as to why the technology is not reasonably accessible.*

- 3.13 To protect the public interest, the Commissioners Court of Walker County hereby decrees under the provisions of Chapter 232, Texas Local Government Code, that the Owner of any tract of land that desires to obtain the approval necessary for recording a subdivision plat in the County Clerk's Records of Walker County shall construct all roads and drainage facilities, including stormwater detention, along with any items required by other governmental agencies in said subdivision to the standards and specifications set forth in the Engineering Guidelines incorporated as Appendix B of these Regulations before offering said plat for approval unless financial surety is approved and provided in accordance with Section 6, construction plans are approved by the Commissioners Court, and all necessary permits have been issued.
- 3.14 If an Owner wishes to construct improvements prior to filing a plat, then the owner must submit a variance request, requesting a revised process for submittal and approval of infrastructure.
- 3.15 All road and drainage improvements shall be designed and certified by a Professional Engineer

licensed to practice in Texas. All plans and specifications shall conform to the requirements of these regulations.

- 3.16 The Owner shall submit construction plans, sealed by a Professional Engineer, for roads, drainage, traffic signage, and/or utility improvements within the proposed subdivision or within any existing County right of way to the Planning and Development Department and obtain plan approval from the Commissioners Court prior to beginning construction. These plans shall show the location of water, sanitary sewer, and storm sewer utilities, and shall show proposed easements for privately owned utilities (electric, cable television, gas, telephone, etc.). Utilities will be reviewed based on their impact on the right of way, public infrastructure, and the floodplain. These plans shall be sealed by a professional engineer and include the design requirements as described in Appendix B, Engineering Guidelines.

Pre-Application Meeting

- 3.17 It is strongly recommended that the Owner request and attend a pre-application meeting with the Walker County Department of Planning and Development prior to all Plat Applications.
- 3.18 The Owner must submit a request for this meeting and is encouraged to bring to the meeting any of the application documents listed in Appendix D.
- 3.19 A Pre-Application Meeting will generally be scheduled within 10 business days of the receipt of a completed request and the Owner will be notified of the time and date of the meeting. The time, date, duration, and location of the meeting will be at the complete discretion of the County.
- 3.20 The Pre-Application Meeting will allow the Staff to provide some information on the plat application processes and allow Owner to ask questions related to policy in relation to a potential application.
- 3.21 A Pre-Application meeting does not constitute a Plat Application.

Plat Application

- 3.22 A Plat Application must be submitted and approved prior to any plat being filed for all subdivisions of land subject to these regulations. (See Appendix A for additional guidance on applicability)
- 3.23 Applications and any revised applications or responses to conditional approvals or disapprovals must be submitted during a scheduled submittal meeting with DPD or assigned staff. The Owner or the Owner's designated representative must attend the meeting. This meeting may be scheduled in conjunction with a pre-development meeting if so desired by the applicant.
- 3.24 The Application must include the documents and other information required by these regulations.
- 3.25 All Plat Applications shall include the fee as required by the currently adopted Schedule of fees.
- 3.26 All Plat Applications must include a completed and executed Application Form in its most current version. The application form will be available from the Department of Planning and Development, and the DPD has the authority to update or change this form without the need for any additional action by Commissioners Court.
- 3.27 All Plat Applications shall include copies of the current filed deed for the parent tract.
- 3.28 All Plat Applications shall include a copy of a valid Title Abstract or Title Report completed to current

ownership for the parent tract from a title company or attorney. The surveyor's certification shall state the plat was completed with the benefit of a current Title Abstract or Title Report and includes all encumbrances noted on the current Title Abstract or Title Report.

- 3.29 All Plat Applications shall include a copy of a Final Plat in compliance with these Regulations and including all final signatures and certifications.
- 3.30 All Plat Applications shall include such documents as necessary to identify the Owner or Owner's agent authorized to sign documents in relation to the plat. This may include but is not limited to powers of attorney, articles of incorporation, and title documents.
- 3.31 All Plat Applications not specifically exempted from the requirement to submit a detention/drainage study or flood study under these regulations, and all Subdivision Applications that include the construction of any improvements required or regulated under these regulations must include completed plans, sealed by a Registered Professional Engineer authorized to practice in Texas, for all improvements. The plans must comply with these regulations including but not limited to Appendix B. In addition, all plans must be satisfactory to the Commissioners Court.
- 3.32 All Plat Applications proposing new streets and roads must include copies of written approval from the governmental authority having jurisdiction over 911 addressing that all road names and spellings included in the plat have been authorized for use.
- 3.33 All Plat Applications that do not indicate plans for the connection to or installation of a TCEQ approved municipal wastewater system must include an approved OSSF Subdivision Planning Materials Submittal for Subdivision Development from the TCEQ Authorized Agent unless exempted in writing. No lot or tract shall be included within any application for subdivision in violation of state law or local order, including, but not limited to the Texas Administrative Code, Title 30, Chapter 285, and the Walker County Regulations for on-site sewage facilities.
- 3.34 All Plat Applications planning to utilize a TCEQ approved municipal wastewater system must include a letter from the wastewater provider including a reference to the provider's valid Certificate of Convenience and Necessity (CCN) or documentation of an application, indicating that the provider is prepared to provide sewer services to the proposed subdivision.
- 3.35 All Plat Applications shall include letters of serviceability from all water and electric providers, including the name, phone number, and e-mail address of the utility company contact. The letter must include a reference to the subdivision and the number of lots to be served.
- 3.36 If a person submits a plat for the subdivision of a tract of land for which the source of the water supply intended for the subdivision is groundwater under that land, the plat application must include a written statement that:
- (1) is prepared by an engineer licensed to practice in this state or a geoscientist licensed to practice in this state; and
 - (2) certifies that adequate groundwater is available for the subdivision.
 - (3) The certificate shall be submitted with a TCEQ-approved form.
 - (4) The report shall include a satisfactory letter of receipt and comment from the Bluebonnet Groundwater Conservation District.

A variance for this item cannot be granted unless credible evidence of groundwater availability in the vicinity of the proposed subdivision is provided, and it complies with Local Government Code §232.0032.

- 3.37 All Plat Applications that require or include the construction of improvements must include an approved permit issued under the Walker County Regulations for Flood Plain Management. All plats and plans shall conform to the Walker County Floodplain Regulations regardless of the permitting requirements.
- 3.38 All Plat Applications that require a variance to be granted must submit a copy of all approved variances with the application.
- 3.39 All Plat Applications requiring the construction of improvements must include a detailed and itemized report including a list of improvements, in a bid schedule format, with associated unit quantities that are necessary to complete the road and drainage improvements per the required construction plans and is sufficient for the Commissioners Court to set the bond amount, sealed by a registered professional engineer authorized to practice in Texas. The report must be acceptable to the County Engineer and the Commissioners Court in format and content. Lump sum units shall not be used for quantifiable items such as pavement, stabilization, earthwork, etc.
- 3.40 All Plat Applications requiring the construction of improvements must include a maintenance plan in the form of a document signed by the Owner specifying the mechanism and/or entity that will be responsible for maintenance of the public improvements within the subdivision until such time, if any, the roads, drainage, and associated appurtenances are adopted for public maintenance by Walker County. The plat must include a note identifying the entity referenced in the maintenance plan that shall be responsible for the on-going maintenance of the roads, rights-of-way, signage, drainage, and other improvements within the subdivision, until such time, if any, said infrastructure is adopted into public maintenance.
- 3.41 All Plat Application shall include any necessary approvals from other governmental agencies such as Texas Department of Transportation, Groundwater Districts, Army Corps of Engineers, etc. Any plat proposed within 2000 feet of the Trinity River or Lake Livingston shall include a letter of "no objection" from the Trinity River Authority. Any plat proposed within 2000 feet of Lake Conroe shall include a letter of "no objection" from the San Jacinto River Authority. Any plat proposing to connect to or provide access from a road under the maintenance or control of the Texas Department of Transportation shall provide written approval of said access or connection. It is the sole responsibility of the Owner and/or the Owner's Representative to properly research any approvals that are required from other agencies. Acceptance of an application by Walker County does not waive any responsibility or requirement for compliance with any outside agency.

Review Process

- 3.42 All plat applications shall be submitted complete and made as a single submittal. It is the Owner's responsibility to review these regulations and associated guidance and submit the application only after due diligence has been given to the completeness and suitability of the application. An application checklist is attached as Appendix D, as an aid to compliance. Acceptance of the application for review is not an indication of the completeness of an application. No review for completeness will take place prior to submittal of an application by the Owner and payment of the associated fee. It should be recognized by the Owner that the submittal of a complete application is a requirement of the Owner and that the submittal of incomplete applications affects program costs and expenses and may result in increases in the application fee.
- 3.43 Once an application and application submittal fee are submitted no refund of any fees will be given

unless required by statute or approved by the direct action of Commissioners Court. There will be no refund due to an application being submitted incomplete or the withdrawal or cancellation of an application or project.

- 3.44 An application is considered submitted for review on the date application, revised application, or resubmittal is received by the Walker County Department of Planning and Development at:

**1313 University Avenue, Suite A
Huntsville, TX 77320**

- 3.45 Delivery of the application must take place in accordance with the administrative criteria set by the Walker County Department of Planning and Development. The Walker County Department of Planning and Development does not receive any applications on non-business days. Unless an alternative submittal process has been agreed to in advance and in writing by the DPD, all submittals must take place at a submittal meeting scheduled in advance by the Owner.
- 3.46 The DPD is authorized to set any necessary administrative criteria related to the submittal of applications under this policy, including but not limited to, setting the times and/or dates at which applications will be received, requiring appointments for submittal of the applications, making changes as necessary to the administrative forms related to applications, specifying the method and type of payment, and specifying the form of submittal.
- 3.47 The County shall have 10 business days from the date the application is received to notify the Applicant of any documents or other required information missing from the application. The application will not be considered complete until all documents or other required information are submitted. This initial review of the submittal is an administrative review to determine if required documents or other information are missing from the application and should not be construed as a qualitative review to determine approval, completeness, appropriateness, or compliance of the documentation or other submittals with these regulations.
- 3.48 In such cases where the application is missing any document or other required information, the County will notify the Owner of the missing documents or other required information. The missing documents or other required information must be submitted to the County as a single submittal along with payment for any increase in the fee, and a receipt will be provided to Owner for the revised submittal. Each time a submittal is made of missing documents or other required information the 10-business day administrative review period described in Sections 3.42 - 3.48 will begin again. This process will continue until all documents and other required information are submitted, or until the Application expires (See Section 3.68).
- 3.49 If an incomplete application is submitted for review, but the application fee and completed application form are submitted, the Owner may request a "Guidance Review" from the County on the incomplete application prior to submitting the missing documents or other required information in the revised application. The guidance review is a voluntary process designed to improve the Owner's Application without being subject to the strict timelines, revision processes, and rejection processes surrounding completed applications. The DPD and County Engineer are not required to conduct a guidance review of any incomplete applications unless the DPD agrees that the review would have significant benefit to the application and not create a significant negative impact on County resources. The acceptance of an application for "Guidance Review" is at the total discretion of the DPD. A "Guidance Review" may only be requested or granted on withdrawn or incomplete applications. As the Guidance Review is not a required process, it is outside of the application process timeline, and there is no maximum response time for this process to complete; however, the Owner may proceed to re-

application at any point without waiting for the Guidance Review to be completed if the Owner so desires.

- 3.50 Once an application is considered complete and regulatory review has begun no additional documents or other information may be submitted for review, with the exception of a response to a conditional approval or disapproval by the Commissioners Court or its authorized representative. If an application is withdrawn then a revised application may be submitted under the conditions allowed of this policy.
- 3.51 Following the receipt of a complete Application, the DPD and/or the County Engineer will review the Application for compliance with these regulations and forward the application and the review comments to the Commissioners Court for action.
- 3.52 The DPD and/or County Engineer will submit a copy of the application review(s) to the Commissioners Court, the person authorized by the Commissioners Court, or, in the case of a joint review where the county is not acting as the authorized office, to the specified authorized office.
- 3.53 Unless an Owner successfully withdraws an application, the DPD and/or County Engineer will refer the original application along with comments and recommendations to the Commissioners Court or person designated by the Commissioners Court for action.
- 3.54 The Commissioners Court or its designee will consider the plat application for approval within 30 days of the date of the receipt of a complete application, unless a valid extension is allowed for under law or has been applied for and granted by the Owner.
- 3.55 If an application is approved without conditions, the application will be considered complete and the plat may then be approved for filing by the Commissioners Court. Approval for the plat for filing is a separate action from the approval of the plat application and is not included in the 30-day or 15-day timelines for the approval of the application.
- 3.56 If an application is disapproved or approved with conditions, the Commissioners Court or its authorized representative shall provide a written list of conditions for approval to the Owner. The Owner may withdraw the application or submit a written response that satisfies each reason for disapproval provided or satisfies each condition. If the Owner wishes to submit a response, the response should be submitted as a single submittal addressing each condition or reason.
- 3.57 If the applicant chooses to submit a written response that satisfies each reason for disapproval provided, or satisfies each condition for conditional approval, the applicant must submit the written response in the same format(s) and quantities as required under the original application. The response shall be accompanied by all required forms, and any increases in the application fee or outstanding fee balances shall be paid when submitting the response.
- 3.58 Following the submittal of a response to a conditional approval or disapproval, the Commissioners Court and/or its designee shall review the response and take additional action to approve, approve with conditions, or disapprove the application within 15 calendar days.
- 3.59 The process described in Sections 3.56 through 3.58 shall continue until the application is approved by the Commissioners Court, is approved by the Commissioners Court's designee, expires, or is withdrawn.
- 3.60 At any time following the submittal and acceptance of a completed application, the DPD or County Engineer may recommend the application for action by the Commissioners Court or a person herein designated by the Commissioners Court.

- 3.61 At any time following the submittal and acceptance of a completed application, the Commissioners Court may take action on an application without allowing for a withdrawal, revision, or extension.
- 3.62 Following approval of a plat for filing by the Walker County Commissioners Court, the Owner shall submit the final plat to the County Clerk for recording in accordance with the requirements of the County Clerk's Office.
- 3.63 If a final plat is not recorded within five years of the approval of the plat for filing by the Commissioners Court, the approval of the final plat expires. A single six-month extension may be granted by the Commissioners Court. The extension must be requested in writing by the Owner at least 30 days prior to the expiration.

Withdrawal of an Application

- 3.64 If the Owner wishes to withdraw the application, the Owner must submit a request for an administrative withdrawal of the original application on the current County form. Withdrawal of an application is voluntary and must be requested by the Owner on an approved form. An application that has been withdrawn can only be submitted as a new application. However, it may be submitted within 90 days of the withdrawal under the same application number and pay only the increase in fee that would be charged for a revised application under the schedule of fees. If an application is withdrawn and not resubmitted within 90 days, then the application must be submitted as a new application in accordance with these regulations, and a new application fee must be paid.
- 3.65 An application submitted following a withdrawal will be processed under a new timeline starting with a review for completeness under these regulations. No replacement applications will be accepted once an application has been accepted as complete without the original application being withdrawn.
- 3.66 The Owner may voluntarily submit a withdrawal of application and replacement application only if approved by an authorized representative of the Commissioners Court.
- 3.67 The DPD and/or the County Engineer are hereby authorized to approve or deny any requests for extension or application withdrawal and/or replacement.

Expiration of an Application

- 3.68 Applications shall automatically expire in 120 days under the conditions laid out in 245.002(e) of the Texas Local Government Code. All applications shall expire as a dormant application under 245.005 5 years from the original date of submittal.

Minor Subdivisions

- 3.69 Minor subdivisions are subdivisions with four or fewer total lots, that are not located within an existing platted subdivision, and that do not require the construction of any road or drainage improvement under these regulations aside from detention. (See definitions section)
- 3.70 Minor Subdivision Applications (while not exempt from meeting the detention requirements of these regulations, State, or Federal law) are not required by these regulations to submit engineering plans or a drainage study for review by the County as long as the plat includes the Minor Plat drainage

certifications under C10. Minor Subdivisions are also not required to submit a Title Report but shall include all encumbrances noted on the current Title Report.

- 3.71 Minor Subdivisions are not required to submit 911 name approvals, engineer's itemized list of improvements, bonding, maintenance plans, letters of serviceability, or engineering drawings required for Plats because, by definition, these plats do not include or require the construction of said improvements.
- 3.72 Instead of the submittal requirements listed in Section 3.12, Minor Subdivision Applications may submit the plat on 8.5" by 14"/11" paper, three original copies of the plat must be submitted. The plat must include all of the requirements described in Section 4 of these regulations, with the exception of the applicable plat notes and signature blocks from Appendix C. The applicable Appendix C notes and signature blocks will be included on the Minor Plat document created by Walker County. The submitted plat will be attached to the Minor Plat document as an exhibit. Once fully executed and approved the plat will be filed in the Official Public Records of Walker County, Texas.
- 3.73 If any portion of the original parent tract being subdivided as a Minor Subdivision is further subdivided so that the total number of daughter tracts created from the original parent tract exceeds 4, then all new lots created must be addressed by the re-plat application's engineering plans, including detention for all new lots created by the replat. A note to this effect shall be placed on the face of the plat.
- 3.74 The DPD and/or the County Engineer are hereby authorized to approve, disapprove, or approve with conditions all plat applications involving Minor Subdivisions.
- 3.75 If any portion of the original parent tract was subdivided within the previous five years utilizing an exception other than those exceptions listed under Section A2 or A3.3 of Appendix A, then all daughter tracts from the parent tract subject to the exception shall also be included in the total lot count to determine eligibility for Minor Subdivision plats.

Amending Plats and Re-plats Process

- 3.76 Re-plat and Amending Plat applications shall not be subject to the same review timelines and procedures that relate to the approval of plat applications.
- 3.77 Re-plats or Amending Plats otherwise meeting the requirements of a Minor Subdivision will be allowed to utilize the submittal requirements for Minor Subdivision Applications; all other Amending Plats or Re-plats shall meet the same submittal requirements as listed for Plat Applications within these regulations.
- 3.78 As re-plats and amending plats are subject to different procedures and timelines as outlined in Chapter 232 of the Texas Local government code, these applications will be processed in accordance with those requirements (see Section 5).

Section 4 - Plat Requirements

Every plat shall include all of the following:

- 4.1 Date, north arrow, scale, and a title block with the name of the proposed subdivision, legal description, number of blocks/lots/reserves, and acreage. The scale of the plat, excluding the vicinity map and key map overall, shall not be greater than 200 feet per inch and shall be to a standard engineering scale.
- 4.2 All portions of the plat must be legible without magnification. The minimum text size shall be 0.06 inches.
- 4.3 The plat shall be prepared by a Registered Professional Land Surveyor.
- 4.4 A vicinity map drawn at a scale appropriate to show all nearby major roadways and sufficient in detail to identify the location of the proposed plat. A graphic or stated scale is not required on a vicinity map.
- 4.5 The plat shall be certified as to accuracy by the surveyor preparing the plat and show in reasonable detail the location of and width of existing and proposed streets, roads, alleys, lots, parks, easements, and other related features within the subdivision.
- 4.6 The plat shall be drawn on tracing cloth or other permanent type of material consisting of one or more sheets measuring eighteen inches wide and twenty-four inches long. If separate sheets are used a key map showing the entire tract with match lines shall be drawn on the first sheet.
- 4.7 Bearings and distances, calling for the lines of established surveys, landmarks, and other data furnished, sufficient to locate the property on the ground, must be shown on the plat.
- 4.8 Lots and block numbers are to be arranged in a systematic order as shown on the plat in distinct and legible figures.
- 4.9 The plat (including the entire parent tract if only a portion of that tract is to be subdivided) shall be shown on a single sheet, regardless of its acreage. The plat may also be separately shown on multiple sheets if necessary to show all details and information as required by this section. Multiple sheet plats shall have the subdivision name and sheet number located in the lower right-hand corner of each sheet.
- 4.10 Name, address, and telephone number of the professional individual(s) or firm(s) responsible for the preparation or certification of the plat.
- 4.11 Name of the property Owner(s) of record.
- 4.12 All adjacent property Owner's names, deed record, or subdivision name, block, and lot number.
- 4.13 County boundaries, city limits, ETJ boundaries, and subdivision section and/or phase boundaries.
- 4.14 Size, in acres, of all daughter tracts, including the remaining portion of the original tract.
- 4.15 Centerline tangent lengths and curve data for all proposed roads.
- 4.16 Road names and road designation (whether the road will be public or private), and right-of-way width for all proposed roads within and all existing roads abutting the plat. All rights-of-way and easements shall comply with Appendix B and Appendix F.

- 4.17 Survey ties across all existing right-of-way located adjacent to the boundary of the subdivision. Each tie shall show the bearing and distance from a proposed property pin to an existing property pin or fence if a pin cannot be found. Based upon this tie, a right-of-way width shall be shown. The intent of this requirement is to assist in determining if an additional right-of-way is needed.
- 4.18 Any existing County-maintained road right-of-way that joins the tract being subdivided shall have the same right-of-way widths and setbacks required herein. The additional right-of-way, as might be required, shall be furnished by the Owner and measured from an acceptable centerline alignment. The dedication of additional rights-of-way and setbacks along existing County-maintained roads is not required to exceed the boundaries of the parent tract(s). For rights-of-way and easements within amending plats and replats, see Section 5.
- 4.19 A dimension from the centerline of any existing roadway's pavement or causeway to the edge of the existing or proposed right-of-way.
- 4.20 Any area dedicated for road right of way shall be shown with bearings and distances, and be included on the plat drawing or in the plat notes the acreage of the dedicated road right of way.
- 4.21 All existing property lines and proposed lot lines with bearings and dimensions. For required lot frontages and other lot requirements, refer to Appendix B.
- 4.22 Building setback lines for each proposed lot. For building setback requirements, refer to Appendix B. Building setback lines can be included by a note on the plat at the owner's discretion.
- 4.23 All lot lines shall stop at the right-of-way lines; under no circumstances shall they extend past or into the right-of-way.
- 4.24 Proposed easements for detention basins, if needed, based on the requirements outlined in Appendix B.
- 4.25 Location of all existing and proposed easements including, but not limited to those outlined in Appendix B.
- 4.26 The location, zone classification, and panel effective date of the 100-year floodplain as identified on the most current Walker County Flood Insurance Rate Map (FIRM), published by the Federal Emergency Management Agency (FEMA).
- 4.27 The location of easements, lots, or reserves necessary for the proposed cluster mailboxes, if required.
- 4.28 If the proposed plat is to be a private subdivision (containing private roads), the title of the plat shall contain the phrase, "A Private Subdivision". Refer to Section 8 for additional requirements.
- 4.29 All existing and proposed plat boundary lines, phase/section lines, and lot lines with bearings and distances. Bearings shall be based on the Texas State Plane Coordinate System, Central Zone. Distances shall be expressed in U.S. Survey feet, and state whether distances are "Grid" or "Surface". A Combined Scale Factor shall be specified on the face of the plat to eight decimal places (example: 0.12345678) to facilitate the conversion of surface distances to grid distances. At least two external boundary corners of each block within the subdivision shall have grid coordinates depicted on the plat to the nearest one-hundredth of a foot (0.01 feet).

- 4.30 Owners are responsible for having surveys conducted and survey monuments installed in accordance with all the requirements and procedures established by Walker County and the Professional and Technical Standards of the Texas Board of Professional Engineers and Land Surveyors. All property boundary corners, angle points, and points of curvature or tangency must be monumented or referenced by corner accessory monumentation carried out by a registered professional land surveyor. All monuments must:
- a) Be set of sufficient depth to retain stable and distinctive location;
 - b) Be of a size and material, that in the surveyor's judgment, will best ensure that the monument will withstand the deteriorating forces of nature;
 - c) Include a cap or marker identifying the responsible registrant, firm, or associated employer;
 - d) Include a notation on the applicable plan or plat that the corner was either found or set and a description of its physical characteristics; and
 - e) Be exposed for inspection if requested by County.
- 4.31 All plats shall make accommodation for any necessary easements, rights-of-way, or lot design necessary to accommodate the improvements related to the subdivision as required by these regulations.
- 4.32 Any vertical elevations depicted on the plat shall be expressed in U.S. Survey feet and shall indicate the specific vertical datum used. Describe and locate at least one vertical reference mark used to verify or establish said datum, and indicate the vertical elevation used at each vertical reference mark.
- 4.33 Road rights of way shall be dedicated to the public except when a variance is granted in accordance with Section 8. All public roadways and easements shall be dedicated free of liens. All rights-of-way and easements shall be in compliance with Appendix B and Appendix F. All dedications of a right-of-way shall be by easement and in conformance with these regulations. The dedication shall be accompanied by a plat note as found in Appendix C1. The Owner's and any lien holder's dedication, and restrictions if any, duly acknowledged in the manner required for acknowledgment of deeds, shall also be provided.
- 4.34 If public roadways are to be built as part of the plat, the plat note regarding the responsibility for the construction of roadways is found in Appendix C2.
- 4.35 The plat note regarding Owner's responsibilities, as found in Appendix C3, must be included if not contained in the Owner's dedication.
- 4.36 All proposed easements and existing easements of record that have a designated route shall be shown on the plat with bearings and dimensions. The Owner shall be responsible for coordinating with all utility providers the location of all utility easements that are shown on the final plat.
- 4.37 For Major Plats: If there are any areas within the plat that include a FEMA-mapped floodplain with any Zone A classification, or if any water-course whose upstream drainage basin is larger than 640 acres exists within or adjacent to the plat boundary, the plat shall also show the extent of the 100-year floodplain as determined by an engineering study under the seal of a Registered Professional Engineer. This study shall be sufficient in scope to determine and establish a base flood elevation (BFE) for all points within the plat in accordance with FEMA-approved methodologies and standard engineering practices.

- 4.38 For plats where a FEMA-mapped floodplain with a Zone AE classification exists within the subdivision, the BFE established by the associated FEMA-published flood study may be substituted for the engineering study.
- 4.39 A minimum lowest finished floor elevation (FFE) for buildings shall be established for each lot adjacent to the floodplain. This minimum FFE shall be established in accordance with the most current edition of the Walker County Floodplain Regulations. FFE shall utilize the same vertical datum as used with the BFE determination and shall include information as to the elevation of the FFE above the BFE.
- 4.40 The plat note found in Appendix C4 for Commissioners Court approval, including authorization for the County Clerk to file the plat for record, and the County Clerk's certification as found in Appendix C5 must be included on all plats. These signatures shall be obtained after approval by the Walker County Commissioners Court.
- 4.41 All variances granted shall be listed in the notes section of the plat.
- 4.42 All parcels within the boundary of the subdivision shall have a block and lot number shown on the plat drawing.
- 4.43 If any lot within the plat will be served by an on-site sewage facility, a signature block as found in Appendix C6 shall be placed on the plat. This block shall show that a properly licensed individual has examined the plat and that it complies with the Walker County On-Site Sewage Facility Regulations, Construction Standards for On-Site Sewage Facility Regulations as published by the Texas Commission on Environmental Quality (TCEQ as amended). The Registered Sanitarian or Engineer that prepared the OSSF planning materials for the developer must sign this signature block.
- 4.44 If rural route mailboxes are proposed, see Appendix C7 for the placement of such mailboxes.
- 4.45 Plats shall reference the applicable FEMA FIRM Panel and note the flood zone. Major plats or plats for tracts within the ETJ of a city shall include the signature block as found in Appendix C8 relating to floodplain regulation.
- 4.46 If any areas of the plat are located outside of incorporated areas, include the plat note as found in Appendix C9 regarding the requirement to obtain a unique Development Permit from the Walker County Floodplain Administrator prior to any manmade change to improved or unimproved real estate, including but not limited to the placement of a structure or surface improvement.
- 4.47 All plats shall include the appropriate drainage notes/certifications as found in Appendix C10.
- 4.48 All plats shall include the appropriate note addressing utilities as found in Appendix C11.
- 4.49 All plats shall include the appropriate note addressing water supply as found in Appendix C12.
- 4.50 All plats shall include a Certification of Surveyor as found in Appendix C13.
- 4.51 If a variance is obtained from Commissioners Court for the roads within the subdivision to be private, include the appropriate note(s) per the requirements of Section 8.

- 4.52 It is the responsibility of the Owner to assure that the proposed name of the subdivision is not duplicated. Subdivisions with different sections are considered unique. The Owner shall check with the County Clerk's records for verification.
- 4.53 A culvert schedule shall be calculated by a licensed professional engineer and included on the plat in table form for all proposed driveway culverts. The table shall include the adjoining street name, lot and block number, and diameter of each culvert. The design requirements are outlined in Appendix B and in the *Regulations for Walker County Driveway Permits, Design, and Materials*.
- 4.54 The Owner shall provide a letter of serviceability from an entity or entities providing water service. If water service to the subdivision will be by individual private wells, include a note on the plat that says that all lots will be served by private, on-site wells.
- 4.55 All notes on the face of the plat shall be directly related to plan approvals, subdivision regulations, and other federal, state, and local regulations. Specific deed restrictions that are not related to the application or variances granted in relation to the application shall not be listed on the face of the plat.

Section 5 - Amending Plats, Re-plats, or Vacating a Plat

- 5.1 The Owner of a previously recorded lot may create an amended plat to create six or fewer lots in the subdivision or a part of the subdivision covered by the preceding plat if:
- a) The changes do not affect any applicable County regulations, including zoning regulations if the County has authority to adopt zoning regulations; and
 - b) The changes do not attempt to amend or remove any existing covenants or restrictions; and
 - c) All applicable requirements of Section 232.009 of the Texas Local Government Code, as amended, are met.
 - d) The amended plat is prepared in accordance with the final plat requirements of these regulations.
- 5.2 The vacation of an existing plat shall be accomplished in accordance with the applicable provisions outlined in Section 232.008 and/or 232.0083 of the Texas Local Government Code, as amended.
- 5.3 Walker County does hereby adopt, as an alternative to the provisions in Section 232.009 governing the revision of plats, the provisions in Sections 212.013, 212.014, 212.015, and 212.016 governing plat vacations, replatting, and plat amendment. The Commissioners Court may approve a plat vacation, a replat, and an amending plat in the same manner and under the same conditions, including the notice and hearing requirements, as a municipal authority responsible for approving plats under those sections.
- Instead of the purpose described by Section 212.016(a)(10), an amended plat may be approved and issued by the county to make necessary changes to the preceding plat to create six or fewer lots in the subdivision or a part of the subdivision covered by the preceding plat if:
- a) the changes do not affect applicable County regulations, including zoning regulations if the County has authority to adopt zoning regulations; and
 - b) the changes do not attempt to amend or remove any covenants or restrictions.
- 5.4 If an amended plat or a vacated plat is not recorded within two years of the approval by the Commissioners Court, the approval of the amended or vacated plat expires. The Commissioners Court may grant a single six-month extension.
- 5.5 When an amending plat or replat is proposed in order to consolidate lots, the consolidated lots are exempt from the minimum lot frontage requirements.
- 5.6 If permitted by the Commissioner for the Precinct in which the property is located and the existing dedicated right-of-way width is 50 feet or greater, an amending plat or replat of an existing subdivision can utilize the right-of-way width dedicated in the original plat without a variance from the Commissioners Court.

Section 6 - Financial Responsibilities and Guarantees

- 6.1 To protect the public interest, the Commissioners Court of Walker County hereby decrees under the provisions of Chapter 232, Local Government Code, that the Owner of any tract of land that desires to obtain approval of a subdivision plat for recording a plat in the County records shall construct all roads and drainage facilities, including stormwater detention, and any other items required by other governmental agencies, in said subdivision to the standards and specifications set forth in the Engineering Guidelines incorporated as Appendix B of these Regulations before offering said plat for approval, unless the owner meets the requirements of Section 6.4.
- 6.2 When traffic signal and additional turn lanes are required due to anticipated future traffic generated by the subdivision, as determined by the County Engineer or an independent traffic engineer, the future traffic signal shall be included on the Engineer's itemized quantity take-off and be added to the surety provided to the County. Installation of such signals shall be the responsibility of the Owner. Turn lanes and required signals shall be constructed in conjunction with the roadways. If improvements, turn lanes, or traffic signals are required by the Texas Department of Transportation (TXDOT) in relation to the subdivision, then the Owner shall provide written documentation to the County that all necessary TXDOT permits, surety, and construction requirements have been met with the application.
- 6.3 If the subdivision is required to construct off-site stormwater detention, then surety will be required for the construction of the detention facility prior to beginning construction of the subdivision improvements. This surety will be released upon completion of the construction of the detention facility and acceptance of the construction by the County.
- 6.4 If the Owner desires to have the plat approved before the completion of construction of the roads and drainage, then the Owner shall give a good and sufficient security in the form of a bond, cash, or letter of credit acceptable to the Commissioners Court, with the form and content reviewed by the Walker County Criminal District Attorney's Office. The bond or letter of credit must:
- (1) be payable to the County Judge of Walker County and the Judge's successors in office;
 - (2) be in an amount determined by the Commissioners Court to be adequate to ensure proper construction of the roads and streets in and drainage requirements for the subdivision. The security shall contain an amount sufficient for administering the rebidding of the proposed construction should this become necessary. The security amount shall be the full amount of the approved cost of construction. The surety shall be non-cancellable and remain in full force and effect until the obligation is completed.
 - (3) be executed with sureties as may be approved by Commissioners Court;
 - (4) be executed by a company authorized to do business as a surety in this State if the court requires a surety bond executed by a corporate surety; and
 - (5) be conditioned that the roads and streets and the drainage requirements for the subdivision will be constructed:
 - (A) in accordance with the specifications adopted by Commissioners Court; and

(B) within a reasonable time as set by Commissioners Court or based upon a schedule provided by the applicant and accepted by Commissioners Court.

- 6.5 The release of the security shall be conditioned on the completion (in compliance with the Engineering Guidelines and these regulations) of all the roads and drainage facilities shown on the plat.
- 6.6 The Owner may be granted partial reductions of the security requirement upon written approval by the Commissioners Court, and, if applicable, in accordance with the City ordinance when the subdivision lies inside the ETJ of a city.

Section 7 - Maintenance

- 7.1 By accepting a subdivision plat for filing, the Commissioners Court does not thereby accept the roads or improvements in the subdivision for Ownership or maintenance by the County. The Owner of the platted lots and/or the entity identified in the Maintenance Bond will be responsible for maintenance of all roads within the subdivision until such time, if any, as the maintenance of the roads have been accepted by the County.
- 7.2 The entity named in the Maintenance Plan and the Owner shall be responsible for the maintenance of the roads and other associated drainage and improvements in the subdivision.
- 7.3 With the exception of utilities designed and installed in accordance with these regulations, including public water system valves and hydrants, no landscaping, irrigation, sidewalks, illumination, water quality features, or other improvements not related to roads and drainage shall be located within the public rights-of-way, unless the Commissioners Court has granted a specific variance. Any such features proposed shall be included in the maintenance plan submitted with the Plat Application.
- 7.4 Once the construction has been completed and the County Engineer has reviewed the construction, the Owner shall provide the DPD with a paper copy and digital files of the "As-Built" plans showing the original approval signatures and the seal of a Registered Professional Engineer. These plans are to show the improvements as they were actually built. The files shall be in the same format as required in Section 3. After the "As-Built" plans are received and all construction deficiencies have been satisfied, the Owner's Engineer shall submit a dated, sealed, certification that all improvements have been constructed in accordance with the plans and the requirements of these regulations, unless as specific written variance has been granted, the form of this certification is subject to the approval of the DPD and/or County Engineer.
- 7.5 The County will consider accepting a road for maintenance only after dedication to the public of an easement for the roadway and associated drainage, and the minimum standards of these regulations being met. The County may also consider any other factors relating to the public's interest in their decision regarding accepting maintenance of the roads or drainage system.
- 7.6 In addition, written certification from a Registered Professional Engineer and the Owner is required, stating that the improvements were constructed in accordance with the applicable subdivision regulations in effect when the subdivision was recorded along with any written approved variances). If a final plat for the subdivision where the improvements are located was never recorded, the improvements must meet the current applicable subdivision regulations subject to any approved variances.
- 7.7 At the end of construction of the subdivision, but prior to consideration of the release of the construction surety or the acceptance of substantial completion of the roads by the County; the Owner shall provide to the County a bond in the amount of 10% of the total cost of construction of the roads and drainage of the subdivision as determined by Commissioners Court. The security shall be non-cancellable and remain in full force and effect until the obligation is completed. This bond must be payable to the County Judge, or his successors in office, of Walker County, Texas, and must be provided by the owner. Upon receipt of the additional surety and the acceptance of the substantial completion of the improvements by the County Engineer and the Commissioners Court, the County will continue to inspect the infrastructure for failure, defect, or other issues related to

construction or materials for an additional two years. The surety will be released or reduced following the extended inspection periods as described, unless a failure of workmanship or materials, in the sole opinion of the Commissioners Court, has occurred. The Owner will be notified of any deficiencies and given the opportunity to repair such deficiencies. If the Owner does not provide repairs within 30 days, the bond may be used by the County to repair these deficiencies.

- 7.8 Following the extended inspection period detailed above, the Commissioners Court, at its discretion, may conduct a hearing to decide whether or not to accept the roads for public maintenance. The Commissioners Court is not obligated to accept any roads, drainage, or other improvements even when they meet the minimum criteria of these regulations, and may consider other factors related to the public benefit, including but not limited to, the benefits of maintenance and cost of maintenance, the number of dwellings or properties served by the roadways, and the benefits to countywide traffic when making this decision.
- 7.9 The enforcement of deed and plat restrictions are the responsibility of the Owner(s) of the subdivision. However, in the unincorporated areas of Walker County, and the Extraterritorial Jurisdiction, both the city and Walker County, shall have the right and authority to enforce plat restrictions through appropriate legal procedure. This requirement does not create an obligation or requirement on the part of the County or city to enforce any plat restriction unless, in the judgement of the city or County, the enforcement is in public's interest and deemed appropriate or necessary at the time of occurrence.
- 7.10 In the event that the roads and drainage infrastructure are accepted for public maintenance, the County will assume no responsibility for drainage ways or easements in the subdivision outside of the road right-of-way or adjacent easements. Maintenance and liability of improvements not directly related to the roadway and drainage ways, including but not limited to landscaping, illumination, sidewalks, utilities, water quality features, or any other improvements required by other governmental agencies shall not be the responsibility of the County unless specifically approved for maintenance by the Commissioners Court.

Section 8 - Private Subdivisions

All new lots, including lots subject to an exception, must have lot frontages as required by these regulations. If an Owner intends to create a subdivision utilizing private roads, the Owner must receive a direct variance from Section 11 and Appendix B from Commissioners Court, submit a plat application in accordance with these regulations, and, at a minimum, meet the following requirements:

- 8.1 Private roads must meet all County road standards, except where specific variances have been granted by Commissioners Court for adequate cause in each case.
- 8.2 The title of the final plat for private subdivisions shall contain the phrase, "A Private Subdivision".
- 8.3 The subdivision plat and restrictions must contain a statement that Walker County will at no point be under any obligation to accept maintenance of the roads or associated drainage features, as the roads and associated drainage features were developed and approved, by request of the owner, specifically for private maintenance.
- 8.4 The plat must include a note identifying the entity referenced in the maintenance plan that shall be responsible for the on-going maintenance of the roads, rights-of-way, signage, drainage, gates, and other improvements within the subdivision.
- 8.5 The plat must include a note stating that any gates shall be accessible by emergency services personnel and all residents and landowners of the platted subdivision.
- 8.6 The subdivision plat must contain a statement that the entity referenced in the maintenance plan must ensure that the roads, rights-of-way, signage, drainage, gates, and other improvements shall be maintained to a standard that will allow emergency vehicles access for the roadway design speed in perpetuity.
- 8.7 The plat must contain a requirement that every deed contains a notice to the grantee that all roads are private and state the name of the entity that shall be perpetually liable for maintenance, that the County will never accept them for maintenance, and that the quality of the roads must be maintained as to not affect access by public service agencies such as police, fire, and emergency medical services.
- 8.8 All arterial roads must be dedicated to the public. Other roads must be dedicated to the homeowners association or other entity identified within the maintenance plan for the use of the property Owners, their assigns and successors, and emergency response agencies.
- 8.9 A sign must be placed at the entrance of the subdivision clearly stating that the roads in this subdivision are private roads. The location of this sign must be shown in the construction plans.
- 8.10 Any Owner that gates the entrances to the subdivision must provide either a crash gate or a lock box and a letter of approval from all of the affected emergency response agencies stating their approval of full-time access to and from the subdivision.
- 8.11 All road signs and signage in the subdivision shall be marked private and include design requirements as adopted by the County for public and private roads.
- 8.12 The County will not be responsible for providing traffic control enforcement within private subdivisions.

Section 9 - Variances

- 9.1 A variance is a grant of relief to a property owner from strict compliance with these regulations. The intent of a variance is not to simply remove an inconvenience or financial burden that may result from compliance with applicable regulatory requirements. Variances are intended to help alleviate an undue hardship that would be caused by the literal enforcement of the subject ordinance requirements. Variances are intended to provide relief when the requirements of these regulations render construction or placement of improvements impractical or impossible because of some unique or special characteristic of the subject property itself.
- 9.2 The Commissioners Court of Walker County shall have the authority to grant variances to these Regulations when the public interest, improved design functionality, or the requirements of justice demands relaxation of the strict requirements of the rules.
- 9.3 Any person who wishes to receive a variance shall apply with the proper forms and fees to the Department of Planning and Development.
- 9.4 All variances must be applied for separately from and prior to the application to which the variance is applicable and shall include all applicable information necessary for the review of the variance. In cases where an applicant has received a variance a copy of the approved variance must be submitted with any application to which it applies in order for the application to be considered complete.
- 9.5 The decision of the Commissioners Court whether to grant or deny a variance is at its complete discretion and shall be final.
- 9.6 If a plat or variance is approved by the Commissioners Court or is approved with condition(s), documentation of the variance approval will be provided to the applicant following the approval of the Commissioners Court's minutes.
- 9.7 Unless the plat, plans, or construction is completed including any required contingencies, filing, and/or inspections, all variances granted will expire 3 years from the date they are granted unless a specific term is set by the Commissioners Court in its action on the variance or the variance is specifically extended in writing by Commissioners Court.

Section 10 - Penalties

- 10.1 Section 232.005 of the Texas Local Government Code, as amended, provides for the enforcement of the state subdivision laws and of these Regulations.
- 10.2 A person commits an offense if the person knowingly or intentionally violates a requirement of these Regulations, including the Engineering Guidelines and other appendices incorporated herein. Such offense is a Class B Misdemeanor, punishable in July 2011 by (1) a fine not to exceed \$2,000; (2) confinement in jail for a term not to exceed 180 days; or (3) both such fine and confinement. (Texas Penal Code, Title 3, Ch. 12, Sec. 12.03, as amended).
- 10.3 A person may be jointly responsible as a party to an offense if the person (acting with intent to promote or assist the commission of the offense) solicits, encourages, directs, aids, or attempts to aid another person to commit the offense (Texas Penal Code, Title 2, Sec. 7.01, as amended). Thus, a real estate agent or broker, construction contractor, a lender, an attorney, a surveyor, an engineer, a title insurer, or any other person who assists in violating these Regulations may also face criminal penalties.
- 10.4 Besides prosecuting a criminal complaint, the County Attorney or other prosecuting attorney for the County may file a civil action in a court of competent jurisdiction to enjoin any violation or threatened violation of these Regulations and to recover damages.
- 10.5 A tract that has been subdivided without compliance with these Regulations will be ineligible to obtain a permit for the construction or modification of an On-Site Sewage Facility or the issuance of a Development Permit under the Walker County Floodplain Development, until such time as the tract has been brought into compliance.

Section 11 - Minimum Lot Frontage

- 11.1 All lots, including those subject to an exception, must have a minimum frontage length, as described in Appendix B2.1, on an existing County road unless otherwise specifically allowed by these regulations.

Appendix A - Platting Guidelines

As a guide to the public in determining when it is necessary to file a plat and comply with these Regulations (as amended), the Commissioners Court (as an incident of its power to enforce the subdivision laws and regulations under Chapter 232, Texas Local Government Code, as amended) has adopted the following policy guidelines stating when the division of an existing tract shall be considered by the Court to be a subdivision requiring the filing of a plat by law and/or compliance with regulations adopted under Chapter 232 authorizing the regulation of plats and subdivisions of land, and thus requiring compliance with these Regulations:

A1 - Plat Required

A1.1 Unless otherwise specifically exempted in these regulations, the owner of a tract of land located outside the limits of a municipality must have a plat of the subdivision prepared and approved under these regulations if the owner divides the tract into two or more parts to layout:

1. a subdivision of the tract, including an addition;
2. Lots; or
3. streets, alleys, squares, parks, or other parts of the tract intended by the owner of the tract to be dedicated to public use.

A division of a tract includes division regardless of whether it is made by using a metes and bounds description in a deed of conveyance or in a contract for deed, by using a contract of sale or other executory contract to convey, or by any other means.

A1.2 If a plat is required under these guidelines, it is immaterial that the division of daughter tracts is by contract, option, lease, or lease-purchase, rather than by deed, or that the daughter tracts are described by metes and bounds rather than lot and block.

A1.3 If the subdivision is for a Condominium Development, and if two or more structures, portions of structures, areas, or spaces are offered for sale, rent or lease, then the subdivision shall comply in all respects with these Regulations and the Walker County Engineering Guidelines. If compliance is required, an application for plat approval of the proposed Subdivision shall be prepared and submitted to the Commissioners Court in accordance with the terms and procedures set forth in these regulations. The final plat must be filed and recorded with the Walker County Clerk. This section excludes Manufactured Housing Communities separately regulated under the Walker County Manufactured Home Rental Community Regulations.

A1.4 For the purpose of compliance with the Walker County Subdivision Regulations, any proposed RV Park or addition to any existing RV Park must comply with the minimum requirements of the current version of the Walker County Manufactured Home Rental Community Regulations. The requirements of said regulations must be applied to the RV Park in the same manner as they would to a Manufactured Home Rental Community. RV Park submittals must be submitted under the fee schedules and under the application requirements of the Walker County Subdivisions Regulations.

A1.5 Residential Rental Community submittals must be submitted under the fee schedules and under the application requirements of these regulations. For the purpose of compliance with the Walker County Subdivision Regulations, any proposed Residential Rental Community, or addition to any existing Residential Rental Community, must comply with the minimum requirements of the current version of the Walker County Manufactured Home Rental Community Regulations. The requirements of said regulations must be applied to the Residential Rental Community in the same manner as they would to a Manufactured Home Rental Community, except as follows:

1. All rental spaces shall comply with the frontage requirements of the Walker County Subdivision Regulations, in the same manner as if they were lots.
2. All rental spaces shall comply with the minimum and maximum depth to width requirements of the Walker County Subdivision Regulations, in the same manner as if they were lots.
3. All drainage design criteria shall comply with the Walker County Subdivision Regulations.

A2 - Exceptions by Law

- A2.1 A property that has frontage on a public street and whose boundary has not changed since February 1, 2000, is considered a legal lot, unless said tract is otherwise required to complete a replat under State law. *[Texas Court of Appeals, Elgin Bank v. Travis County]*
- A2.2 In accordance with Section 232.0015, Texas Local Government Code, as amended, the filing of a plat is not required when the Owner does not lay out a part of the tract as described by Texas Local Government Code 232.001 (a)(3), and when the subdivision meets one of the requirements listed below (A2.2.1 – A2.2.8). In compliance with 232 Texas Local Government Code and these regulations and in order to qualify for exception, all daughter tracts must meet the minimum frontage requirements as required by these regulations, not be a part of a previously platted subdivision, and must apply for and file an approved affidavit of exception.
- A2.2.1 All daughter tracts are greater than 10 acres. *[LGC § 232.0015(f)]*
- A2.2.2 The land is to be used primarily for agricultural use, as defined by Article VIII, Section 1d, Texas Constitution, as amended, or for farm, ranch, wildlife management, or timber production use within the meaning of Art. VIII, Sec. 1-d-1, Texas Constitution, as amended. *[LGC § 232.0015(c)]* If a tract of land ceases to be used primarily for these uses, the Owner shall be required to comply with these Regulations on the same basis as any newly divided tract. *[LGC § 232.0015(d)]*
- A2.2.3 A person makes a conveyance of four or fewer tracts, each of which is sold, conveyed, given, or otherwise transferred, to persons who are related to the Owner within the third degree of consanguinity (parent, child, grandparent, grandchild, sister, brother, great-grandparent, great-grandchild, aunt, uncle, niece, nephew) or affinity (the spouse of anyone listed above, or so related to the Owner's spouse) for their personal use. *[LGC § 232.0015(e)]*
- A2.2.4 All daughter tracts are to be sold to veterans through the Veteran's Land Board Program. *[LGC § 232.0015(g)]*
- A2.2.5 The Owner of the land is the State of Texas, an agency, board or commission of the State of Texas, or a permanent school fund or other dedicated fund of the State, and the Owner does not lay out any part of the tract for roads, parks, or other areas for the common use of two or more tracts or the use of the public. *[LGC § 232.0015(h)]*
- A2.2.6 The Owner is a political subdivision of the State of Texas, the land is situated in a floodplain, and all lots are sold to adjoining landowners. *[LGC § 232.0015(i)]*
- A2.2.7 The Owner divides the tract into two parts and one new part is retained by the Owner and the balance of the property is transferred to another person who will further subdivide the tract subject to the platting requirements herein. *[LGC § 232.0015(j)]*

A2.2.8 The Owner transfers all parts to persons who owned an undivided interest in the original tract and a plat is filed before any further development of any part of the tract. [LGC § 232.0015(k)]

- A2.3 All exemptions in this subsection must be approved in writing by the County Engineer and/or DPD prior to the division of the property. To claim any exemption, the person or entity who claims to be entitled to any exclusion to platting set out in these Guidelines must provide:
- A2.4 An affidavit claiming the exemption and setting out the detailed basis for exclusion from the platting requirement, subject to penalties of perjury.
- A2.5 A copy of the deeds or other instruments creating the daughter tracts referenced in the affidavit.
- A2.6 The division shall comply with any other applicable State or Local regulations including but not limited to on-site sewage and floodplain regulations.

A3 - Additional Exceptions

The Commissioners Court has adopted the following additional policy guidelines stating the division of an existing tract may be considered exempt from the requirement to file a plat and may instead apply for and file an affidavit of exception. In order to qualify for an exception, all daughter tracts must meet the minimum frontage requirements as required by these regulations, not be part of a previously platted subdivision, and must apply for and file an approved affidavit of exception (A3.1-A3.11). Exception under A3.3 do not require tracts to meet the minimum lot frontage requirements.

- A3.1 Any tract whose boundary has not changed since February 1, 2000, may be sold in its entirety without being platted.
- A3.2 A plat is not required when daughter tracts are created solely for purposes of platting them as individual subdivisions in their own right, providing that each daughter tract has at least 125 feet of frontage on a publicly maintained road. The Owner must submit to the Court the preliminary plat for the project as a whole before claiming this exception.
- A3.3 A plat is not required when two or more adjacent landowners, or a single landowner owning two or more adjacent tracts, adjusts or changes the property lines that separate their (the) respective tracts, so long as there is the same number of tracts in existence before and after the transaction. This exemption applies whether the transaction requires an exchange of land by both Owners, or only a transfer of land from one Owner to the other, and whether the transaction takes the form of a sale or an exchange in kind. Any land added to a tract through such a transaction shall become an integral part of that tract, and may not be separately conveyed, except in compliance with the subdivision laws. Each resulting tract shall be subject to the minimum lot size requirements of these Regulations and other applicable laws. This exception does not apply if the adjustment will change the boundary between two legally platted lots or add or subtract land from a legally platted subdivision.
- A3.4 With the exception of exceptions under Section A2 and A3.3 (Adjacent Landowner) an exemption may not be exercised within five years of exercising another exemption.
- A3.5 A plat is not required when a smaller tract is surveyed out of the parent tract solely for the purposes of obtaining financing for purchase or improvement of that part of the property, provided that

possession and primary beneficial Ownership of the entire parent tract are intended to remain unified.

- A3.6 A plat is not required when a smaller tract is created by the legitimate foreclosure of a valid lien on a part of the parent tract. This provision does not exempt sham transactions or foreclosures staged to avoid the platting requirement.
- A3.7 A plat is not required if the property has been divided by the final decree of a court of record with appropriate jurisdiction.
- A3.8 A plat is not required for non-residential commercial and retail developments divided by lease into 2 or more separate spaces, not to exceed 60 months.
- A3.9 All exemptions in this subsection must be approved in writing by the County Engineer and/or DPD prior to the division of the property. To claim any exemption, the person or entity who claims to be entitled to any exclusion to platting set out in these Guidelines must provide:
- a) An affidavit claiming the exemption and setting out the detailed basis for exclusion from the platting requirement, subject to penalties of perjury.
 - b) A copy of the deed for the parent tract(s).
 - c) A copy of a survey or surveys sealed by a Registered Professional Land Surveyor of the proposed daughter tracts, and their general location in relation to the parent tract.

The division shall comply with any other applicable State or Local regulations, including but not limited to on-site sewage and floodplain regulations.

Appendix B - Engineering Guidelines

B1 - Graphic Requirements

- B1.1. Provide legible construction drawings, to an accurate scale, and provide a north arrow where applicable. Construction drawings shall be accurate, complete, and not conflict with the plat, specifications, or within the sheets. The plans and plat shall clearly present the proposed design for the development without magnification. Incomplete plan sets will be rejected.
- B1.2. The seal, date, and signature of the Professional Engineer responsible for the plans and calculations are required on each sheet developed by the design engineer, which shall be in accordance with the Texas Board of Professional Engineers and Licensed Surveyors Laws and Rules. Reports shall also include the seal, date, and signature of the responsible Professional Engineer.
- B1.3. Provide a cover sheet for projects involving three or more design plans, excluding detail sheets. Plan sheet numbers and titles must be listed on the cover sheet. Include a vicinity map to identify the project location. Show pertinent City Limits and ETJs on the vicinity map. If revisions occur after plan approval, list the revision(s) and associated sheet number(s) on the cover sheet of the plans and resubmit the plans for review and approval. Include the following notes on the cover sheet, when applicable:
- a. The design of this project will not negatively impact this property or adjacent properties/roadways.
 - b. Detention basins shall be constructed prior to placement of impervious cover.
 - c. Utilities and drainage within 2 horizontal feet of roadways shall be fully encased in a minimum of 6 inches of 2-sack cement stabilized sand.
 - d. The geotechnical investigation for this project was conducted per the latest edition of the Walker County Subdivision Regulations. Soils report was prepared by *[Geotechnical Engineering Firm]* Report No. *[No. of Report]*, dated *[Date of Report]*. All construction and materials testing, including but not limited to testing of right-of-way compaction, subgrade, and concrete, shall be performed by an A2LA Certified Independent Testing Laboratory.
 - e. A mandatory Walker County Pre-Construction Conference shall be held at least 72 hours prior to construction. Contact Walker County Planning & Development to schedule the Walker County Pre-Construction Conference.
 - f. The Contractor/Engineer shall request a pre-pave inspection from Walker County Planning & Development 72 hours prior to paving, after the Engineer deems the project is ready for paving. The pre-pave request shall include a certification from the Engineer. Pavement placed without a "no objection" obtained from the County may jeopardize County certification and/or acceptance.
- B1.4. Each set of engineering plans shall contain paving and drainage key drawings, indexing specific plan and profile sheets.
- B1.5. Draw key overall layouts and drainage area maps to a minimum scale of 1" = 200'.
- B1.6. Provide plan and profile sheets with complete, clear stationing. Generally, stationing runs down the centerline of streets and is used for all improvements in and adjacent to the right-of-way. Plan stationing must run from left to right, except for short streets or lines originating from a major intersection, where

the full length can be shown on one sheet. Plan and profile sheets are not required for projects subject to the Walker County Manufactured Home Rental Community Regulations.

B1.7. Standard scales permitted for plans and profiles drawings are as follows:

1" = 20' Horizontal, 1" = 2' Vertical
1" = 40' Horizontal, 1" = 4' Vertical, or
1" = 50' Horizontal, 1" = 5' Vertical

The above scales are minimum; larger scales may be used to show details of construction.

B1.8. Make a statement on the cover sheet referencing assumed control coordinates.

B1.9. Each sheet of the plan and profile shall have a benchmark elevation and description defined. Projects in flood-prone areas shall be tied to the NAVD 1988 datum or the datum used for current FEMA maps. If the property lies below the base flood level, the floodplain must be delineated graphically on all plan sheets.

B1.10. If a roadway exists where plans are being prepared to improve or construct new pavement or a utility, label the existing roadway width, surfacing type, and thickness.

B1.11. Show all street and road alignments on plans.

B1.12. Show and label proposed pavement and ditches, typical cross-sections, details, lines, and grades, existing topography within the street right-of-way, and any existing or proposed easement. At the intersection, the cross-street details shall be shown at a sufficient distance (20-foot minimum distance outside the primary roadway right-of-way) in each direction along the cross-street for designing adequate street crossings.

B1.13. Match lines between plan and profile sheets shall not be placed or shown within cross-street intersections including cross-street right-of-way.

B1.14. A drainage area map shall be submitted and shall include drainage computations with drainage area and storm water flow labeled.

B1.15. Basic plan and profile sheets shall contain the following information:

- a. The profile vertical scale shall be 1/10th the horizontal scale.
- b. The plan view and profile view shall be on the same sheet whenever practical.
- c. All existing and proposed utilities and pavement shall be on the same plan and profile sheet for a given section.
- d. Identify lot lines, property lines, easements, rights-of-way, and outfalls.
- e. Label each plan sheet as to street/easement widths, pavement widths, pavement thickness where applicable, type of roadway materials, curbs, intersection radii, curve data, stationing, existing utilities (type and location), and any other pertinent feature affecting design. The minimum text size shall be 0.08 inches.
- f. Show water, sewer, paving, and drainage design in and adjacent to right-of-way on the same plan and profile sheets. Graphically show and label flow line elevations, slopes, and direction of flow for ditches.
- g. Show and label all ditches, swales, culverts, headwalls, erosion control, detention ponds, and any other drainage structures or facilities.

- h. Show and label floodplains.
 - i. Label proposed top of curb grades except at railroad crossings. Centerline grades are acceptable only for paving without curb and gutters.
 - j. Show in profile curb return elevations for turnouts.
 - k. Show existing and proposed station median noses or the centerline of median openings, including median width.
 - l. The design of both roadways is required on paving sections with a median.
 - m. In plan view, show station PCs, PTs, and radius returns. Show in profile station radius returns and grade change PIs with their respective elevations.
 - n. Show all water and sewer service leads in plan view.
 - o. Specify the rim and all flow line elevations at all inlets and junction boxes. Locate inlets within 5 feet of lot lines.
 - p. In profile view, show all storm sewer and label length, grade, material, and size.
 - q. In profile view, show and label existing ground profiles at both right-of-way lines.
 - r. The location of all existing and proposed water bodies on or immediately adjacent to the subject property.
- B1.16. All plan revisions made after final plan approval, including as-built revisions, shall be signed and sealed by a registered engineer, including a date that reflects the plan revision date. The revisions issued after the plan approval shall be clouded.

B2 - Lot, Utility Easement, and Setback Requirements

B2.1. Lots shall have minimum frontages as follows:

A minimum frontage of 125 feet is required for all open ditch roads unless the lot complies with the applicable standard for flag, knuckle, or cul-de-sac lots.

The minimum frontage for all other lots is 80 feet unless the lot complies with the applicable standard for flag, knuckle, or cul-de-sac lots. Lots shall have a minimum depth of no less than 160 feet.

B2.2. Lots with less than 125 feet of frontage shall have a maximum depth no greater than three times the frontage of the lot, with the exception of cul-de-sacs, knuckles, and flag lots (See B2.3 and B2.4). Lots with 125 feet of frontage or greater shall have a maximum depth no greater than four times the frontage of the lot.

B2.3. Flag lots shall have a minimum staff width of 50 feet, and no portion of the lot shall have a width of less than 50 feet. The depth of the flag shall not exceed three times the average width of the flag. The average width shall be calculated as the average of the frontage and the back lot line widths. No more than two consecutive flag lots can adjoin.

B2.4. Lots with frontage along a cul-de-sac or knuckle shall have a minimum frontage of 50 feet. The depth of the lot shall not exceed three times the average width of the cul-de-sac or knuckle lot. The minimum average width shall be the same as the required frontage. For lots along cul-de-sacs and knuckles, the average width shall be calculated as the average of the frontage and the back lot line widths.

B2.5. For determining the area required for an on-site sewage facility, the minimum lot size shall be in accordance with the current regulations of Walker County, the Texas Commission on Environmental Quality, or the Authorized Agent having jurisdiction, whichever regulation is most stringent.

B2.6. The minimum building setback line on arterial roadways shall be 50 feet from the edge of the right-of-way.

B2.7. The minimum building setback line on all collector and local roads shall be 25 feet from the edge of the right-of-way.

The right-of-way shall be used for the purpose of paving and maintaining streets and installing, containing, and maintaining storm sewers. Any additional utilities will require a separate utility easement outside the street rights-of-way, with the exception of fire hydrants and water valves that are located either 5 feet from the edge of the road or on the high bank of the ditch's backslope, whichever is furthest from the edge of the road. Fire hydrants and water valves shall not be located in such a way as to obstruct the maintenance of public improvements or designed/constructed drainage capacity or flows.

B2.8. Where a subdivision is made on an existing publicly maintained road and there are existing utilities in place, see section B4.13(2).

- B2.9. All roads, public and private, shall have a minimum 20-foot utility easement adjacent and parallel to the road right of way. Public roads shall have a public utility easement. Private roads have the option of using private utility easements. Where a utility easement overlaps a public drainage easement, the utility easement shall extend a minimum of 10 feet outside the drainage easement (excluding "box easements"). The utility provider may require additional width, and utilities shall not be located within the public drainage easement except for perpendicular crossings.
- B2.10. With the exception of "Private Subdivisions," the plat shall provide a public drainage easement, sufficient to contain the designed and constructed roadside ditches parallel and adjacent to the public right of way. Additionally, the plat shall provide for a minimum 30-foot-by 30-foot "box" drainage easement adjacent to the right-of-way, upstream and downstream of each culvert where it crosses a street. All public drainage easements shall be noted on the plat as "D.E.," and the notation shall be included in the legend.
- B2.11. Easements shall be provided, where necessary, for all drainage courses in and across the property to be platted. The location and width shall be shown on the plat and marked "Private Drainage Easement" or "Private Drainage and Underground Utilities Easement". In general, a "Private Drainage Easement" shall be a minimum of 20 feet in width when it is not parallel to a public right of way. All drainage easements shall be located in such a manner as to be locatable on the ground. Owner is responsible for the maintenance of private easements. See B12.12.c for storm sewer easement requirements. All Private Drainage Easements shall be noted on the plat as "P.D.E." and the notation shall be included in the legend. P.D.E.s are also required for lot-to-lot drainage within Urban Subdivisions.
- B2.12. The following roads are designated as arterial roadways. The Commissioners Court may specify additional roadways upon recommendation by the County Engineer:
- All roads maintained under the State or Federal system of Roads including but not limited to roads designated as Farm to Market Roads, State Highways, Interstate Highways, and United States Highways.*
- B2.13. If the building setback lines, as stated above, conflict with the setback requirements adopted by a municipality, the municipal requirements shall prevail if they are in the ETJ of the municipality.

B3 - Road Alignments

- B3.1. New roadways that do not connect to an existing publicly maintained road will not be approved without a specific variance.
- B3.2. An internal road system that minimizes driveways and cross-streets to existing County or other public roadways is required. Lots bordering on an existing arterial road shall have access to an internal, platted road, and the final plat shall contain a restriction requiring driveways to connect only to an internal, platted road.
- B3.3. Road Intersections
 - B3.3.1. Roads shall be designed and constructed to intersect with each other at 90 degrees, plus or minus 10 degrees. The acute angle of the intersection shall have a 30-foot minimum radius for both the right-of-way and paving.
 - B3.3.2. At a "T" intersection, where a street has not been improved to its ultimate width, the pavement shall be stopped at either the right-of-way line or the end of curve return.
 - B3.3.3. The minimum offset between road intersections shall be 200' (centerline to centerline).
- B3.4. Points of Access
 - B3.4.1. Developments that exceed 40 dwelling units shall be provided with two separate and approved access roads. Exception: Where there are 41 to 149 lots or dwelling units, a single access point will be permitted if that access provides a 40-foot wide travel way. A dwelling unit is defined as a single unit of residence for a family of one or more persons.
 - B3.4.2. Where two access roads are required, they shall be placed a distance apart equal to, but not less than, one-half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between access points.

B4 - Minimum Road Design Requirements

- B4.1. Unless otherwise stated in these Regulations, all roads shall be designed and constructed in accordance with 2024 TxDOT Standard Specifications.
- B4.2. Subdivisions of thirty (30) lots and less, being out of the parent tract, that utilize frontage or access along existing publicly maintained roads, are not required to improve existing roadways but shall dedicate right-of-way out of the parent tract based on an acceptable alignment. If more than 30 lots in the proposed subdivision have frontage on an existing public right of way, the existing public street shall be improved along the frontage to meet the requirements of these Regulations. Any lot with frontage on an open ditch roadway shall be 1 acre in size and have a minimum frontage of 125 feet, or in the case of cul-de-sac, knuckle, and flag lots, meet the applicable frontage standard detailed in these regulations. See Section 5 for frontage exceptions related to replats and amending plats.
- B4.3. Lots intended to access future roads will not be approved.
- B4.4. For purposes of this Appendix, ADT shall be defined as the anticipated average daily traffic at the time of complete build-out of the subdivision, including any future development that may be served by a given road. For planning purposes, it shall be assumed that single-family residential lots will generate a minimum 9.44 ADT. If an area of future development consists of ½ acre or more, it shall be assumed that such development will produce an ADT of 57 per acre, unless there is a note prohibiting future subdivision and limiting the lot to single-family residential construction.
- B4.5. Areas of future development with residential, commercial, or unspecified land use (including reserves or residuals) must have separate and independent access from that of the streets within the proposed development and may not be connected to street within the development, unless road design and construction within the proposed development meet the applicable standard for the average daily trips for ultimate buildout of the residential, commercial, or unspecified land use.
- B4.6. Roadways shall be classified as Arterial, Collector, or Local Streets and conform to Table B4.1.

Table B4.1 Roadway Design Standards

Street Classification ⁽¹⁾		Projected Volume per Day ⁽²⁾	Min. Number of Travel Lanes (Min. 12' Wide)	Min. Center Lane Width (ft)	Min. Paved Shoulder Width (ft)	Is Curb & Gutter ⁽³⁾ Required	Min. Pavement Width ⁽⁴⁾ (ft)	Min. Right-of-Way Width (ft)	Min. Design Speed (MPH)	Min. Design Storm ⁽⁵⁾ (Yr)
Arterial	Rural	12,000+	2	14	6	No	50	100	45	10
	Urban	12,000+	4	20		Yes	69	100	45	10
Collector	Rural	6,000-11,999	TO BE DETERMINED BY COMMISSIONERS COURT ⁽⁶⁾						40	10
		2,000-5,999	2		2	No	28	80	40	10
	Urban	6,000-11,999	2	14	8 ⁽⁷⁾	Yes	55	80	40	10
		2,000-5,999	2		8 ⁽⁷⁾	Yes	41	60	40	10
Local	Rural	< 2,000	N/A			No	26	70	35	10
	Urban	< 2,000	N/A			Yes	32	50	35	5
Low	Rural	< 190 ⁽⁸⁾	N/A			No	22	60	35	10

Notes:

- (1) Refer to Section 2 for Rural and Urban definitions.
- (2) Roads with a projected volume over 6,000 trips per day shall have striping.
- (3) If curb and gutter is not required, the developer can choose to install curb and gutter in lieu of shoulders. Standard 6" concrete curbs and 4"x12" rollover curbs are permitted. Within urban single-family residential subdivisions where residential lots have frontage, 4"x12" rollover curbs are required. Asphalt will not be permitted on curb and gutter or open ditch roadways. Refer to Appendix G for details.
- (4) For curb and gutter pavement sections, this measurement is from back of curb to back of curb.
- (5) Culverts under streets shall be designed and installed per Appendix B.12.
- (6) The developer shall provide an engineer's recommendation, land plan, TIA, and typical cross-section based on traffic volume. The 80-foot minimum right-of-way width must be justified based on site conditions and roadway width.
- (7) The paved shoulder on Urban Collectors is a parking lane.
- (8) Must be in a rural development consisting of only one street that is less than 1,000 linear feet in total length.

B4.7. Refer to Appendix F for roadway cross-sections, Appendix G for curb and gutter details, and Appendix H for concrete pavement details. The details in the appendix provide the minimum County requirements, and the construction plans shall include a site-specific design prepared by a professional engineer that is equal to or greater than the minimum requirements, including the minimum design life and traffic loading during and after construction. The final details and design shall be signed and sealed by a professional engineer.

B4.8. Residential lots shall not have direct access to arterial roads.

B4.9. If the Collector road is included in a roadway or transportation plan, the right-of-way and pavement cross-section shall be as required in the plan.

B4.10. Local roads shall be designed as follows:

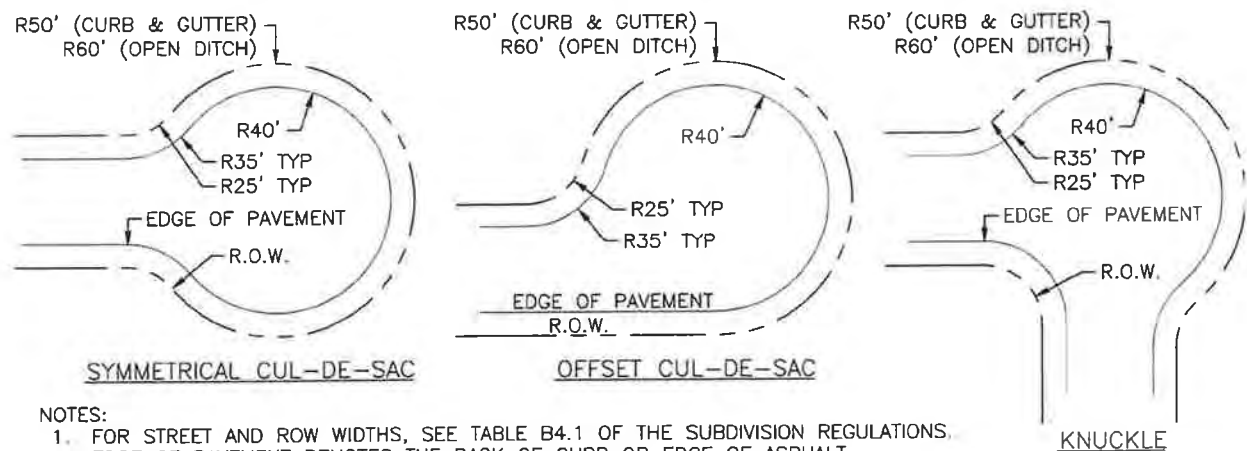
- a. Developer can choose to install curb and gutter in lieu of shoulders on local roads. Standard 6" concrete curbs are permitted. Rollover curbs (4"x12") are permitted in single-family residential subdivisions where residential lots have frontage.
- b. Block length shall not exceed 1,250 feet (centerline to centerline) for urban lots and 2,500 feet for rural lots; the minimum distance shall be 200 feet. Exception: developments with a minimum of 5-acre lots may have up to 5,000-foot block lengths.

B4.11. The following standards apply to all roads:

- a. Pavement striping shall comply with the Texas Manual on Uniform Traffic Control Devices.
- b. Provide steel casing or C900 DR 18 PVC casing on all water and sanitary sewer crossings under proposed arterial and collector streets. Casing shall extend a minimum of 5 feet beyond the edge

of the pavement. Steel casing shall have a minimum wall thickness of 0.375 inches, rolled steel type. Spiral steel will not be allowed. Exemption: service leads are not required to be cased.

- c. All utility installations shall comply with Texas Administrative Code, Title 43, Part 1, Chapter 21, Subchapter C.
- d. All pipeline installations shall be reviewed and approved by Walker County. Where utilities cross pipelines, signage shall be installed where the utility crosses the pipeline's easement line, one foot outside of the easement. The sign shall note the type of utility crossing the pipeline (i.e., water, sewer, storm, gas, etc.).
- e. Roads shall be dedicated to the public except as indicated in Section 8. The Owner may dedicate the right of way or an easement for road, drainage, and utility purposes, at the Owner's option.
- f. Accepted roads must have driveways that meet Walker County standards. The most restrictive criteria shall apply.
- g. Driveways shall comply with the Regulations for Walker County Driveway Permits, Design, and Materials.
- h. Where concrete curb and gutter are constructed, they shall be constructed per 2024 TxDOT Specification Item 529.
- i. Loops, being a single street connecting to the same street on each end, shall not exceed 2,500 feet for urban streets and 5,000 feet for rural streets. Exception: developments with a minimum of 5-acre lots may have up to 10,000 linear-foot loops.
- j. Dead-end streets shall not exceed 1,250 feet for urban streets and 2,500 feet for rural streets unless a future extension is planned. Exception: developments with a minimum of 5-acre lots may have up to 5,000 linear-foot dead-end streets.
- k. Manholes shall not be located in or under the street pavement.
- l. The minimum grade for all roads shall be 0.5% and the maximum grade shall be 7%.
- m. Curb and gutter roads shall have a minimum 1% fall around intersection turnouts for a maximum radius of 35 feet. Grades for larger radii shall be determined on an individual basis.
- n. The minimum street intersection radii shall be 25 feet. The minimum cul-de-sac and knuckle radii requirements are as follows:



- o. All roads shall maintain a height clearance of at least 14 feet.
- p. Provide a vertical curve anywhere the algebraic difference between grades exceeds one percent. Specify the PI station and elevation, and specify the K Value. Design curves in accordance with the TxDOT Roadway Design Manual.
- q. Local Roads may have a minimum centerline radius of 300 feet or more as long as minimum sight distance requirements are met. Local Roads that do not have a minimum centerline radius of 300 feet, Collector Roads, and Artillery Roads shall be designed in accordance with the 2024 TxDOT Roadway Design Manual. The minimum tangent on reverse curves between points of curvature shall be 50 feet.
- r. Provide a cut back a minimum of 15 feet from the point where the street right-of-way lines would intersect to provide a visibility triangle. A 25-foot radius at intersecting right-of-way lines is also acceptable.
- s. A permit, encroachment agreement, or letter of no objection from the pipeline company, is required when paving is placed over transmission pipelines. Whenever possible, roadway crossings of pipelines shall be avoided or minimized by design, and perpendicular crossings are required. All existing utilities crossing proposed streets shall meet the minimum TxDOT utility crossing criteria, including but not limited to the requirements of TAC Chapter 21.
- t. In new subdivisions, the Owner shall install cluster mailboxes at the location(s) approved by the US Postal Service. The placement of individual or cluster mailboxes along arterial and collector roads shall not be permitted in new subdivisions unless specifically approved by the Commissioners Court. Mailboxes shall not encroach on/over sidewalks or other public walks or ways in the County right-of-way. Mailboxes shall be installed in accordance with applicable postal regulations. Individual and cluster mailboxes shall not be installed in such a way as to negatively impact road or drainage capacity, design, or function.
- u. All pavements are to be designed by a Registered Professional Engineer. The design shall be based on a minimum 20-year design life and in conjunction with recommendations based upon a soils report of samples taken along the proposed roadways. Test borings shall be placed at a maximum spacing of 500 feet or other sampling frequency approved by the County Engineer based on recommendations provided by the geotechnical engineer. The soils report and pavement design shall be submitted to the County Engineer for review. The pavement design must be approved by the County Engineer prior to or concurrently with the review and approval of the construction plans. In addition to the basis of the pavement design, the soils report shall contain the results of sampled and tested subgrade for plasticity index, pH, sulfate content, and maximum density.
- v. Provide a Traffic Control Plan in accordance with the Texas Manual on Uniform Traffic Control Devices.

B4.12. The following requirements apply to dead-end roads and cul-de-sacs:

- a. Dead end roads having a throat length longer than 150 feet shall have a cul-de-sac with a minimum right-of-way radius of 50 feet (40 feet minimum pavement radius to face of curb/edge or edge of pavement). A cul-de-sac is not required on dead-end streets that have a throat length of 150 feet or less.
- b. "No Outlet" signs must be placed at the entrance to the dead-end road, even if the road is planned to be extended in the future.
- c. Dead end roads that end at undeveloped property must be extended to the property line. At the terminus, a temporary cul-de-sac shall be provided for all such streets having a throat length more

than 150 feet, constructed in accordance with the requirements of this Appendix. Hammerhead design will not be allowed; however, alternate designs, such as landscape center islands, may be considered by the County Engineer to ensure a sufficient turnaround area is provided.

- d. For all temporary cul-de-sacs, provide a minimum easement radius of 50 feet (40 feet pavement radius to face of curb/edge or edge of pavement). Temporary easements shall be established for the portions of the cul-de-sac that lie outside of the road right-of-way. Such easements that lie within the plat boundary shall be shown on the final plat. Easements that lie outside the boundary of the plat may be in the form of a separate document but must be recorded prior to the construction of any roadway improvements or final plat approval. The plat or easement document shall include a note stating the easement shall automatically terminate upon the date a plat or other appropriate instrument has been recorded that publicly dedicates a road extension.
- e. Standard TxDOT barricades shall be placed at the end of all dead-end roads not terminating in a cul-de-sac.

B4.13. Additional Right of Way for Existing Roads

When a subdivision is adjacent to an existing road, the DPD or County Engineer shall determine the right-of-way width that will be necessary for the maintenance and improvement of the existing road. If the existing road is an Arterial roadway, as defined herein, the Owner shall dedicate to the public up to 100 feet in the overall width of the right-of-way, as determined by Commissioners Court. The Owner shall dedicate an easement for the road, drainage, and utility purposes. No utilities, debris, landscaping, irrigation, sidewalks, illumination, water quality features, or other improvements not related to roads and drainage shall be located within the public rights-of-way, unless the Commissioners Court has granted a specific variance, with the following exception:

- 1) fire hydrants that are located either 5 feet from the edge of the road or on the high bank of the ditch's backslope, whichever is furthest from the edge of the road. Fire hydrants shall not be located in such a way as to obstruct the designed/constructed drainage capacity or flows.
- 2) Where a subdivision is made on an existing publicly maintained road, there is no new construction of road and drainage infrastructure required, and there are existing utilities in place, they do not have to be relocated at the time of the plat. This does not preclude the County or other public agency from requesting the utility to be relocated at a future date where a right exists, nor exclude future action by the County or public agencies related to the relocation or construction of the utilities. No landscaping, irrigation, sidewalks, illumination, water quality features, or other improvements not related to roads and drainage shall be located within the public rights-of-way unless the Commissioners Court has granted a specific variance.
- 3) perpendicular utility crossings.

B4.14. A traffic impact analysis is required if any of the criteria below is met:

- a. Volume per day is 6,000 or greater
- b. All developments located within 500 feet of the intersection of two or more arterial and/or collector streets with an overall footprint in excess of 5 acres
- c. New school construction
- d. Shopping centers with gross square footage in excess of 100,000 square feet
- e. TxDOT requires analysis
- f. There are more than 150 peak hour trips

B5 - Construction – General

- B5.1. A preconstruction meeting must be scheduled and held prior to the start of construction, and a construction schedule shall be included in the request for a preconstruction meeting. The applicant's Engineer, Applicant, Contractor, Subcontractors, DPD, and County Engineer shall attend this meeting.
- B5.2. All roads are to be constructed in accordance with the construction documents associated with the approved plans and in accordance with the specifications found in the Walker County Subdivision Regulations and the 2024 version of the "Texas Department of Transportation Standard Specifications for Construction of Highways, Streets, and Bridges."
- B5.3. It is the responsibility of the applicant's certifying licensed engineer to ensure that work is performed in accordance with the approved plans. Monitoring by the certifying engineer shall be performed throughout the construction project for all operations.
- B5.4. All materials (including but not limited to right-of-way compaction, subgrade, and concrete) must be sampled and tested by an A2LA Certified Independent Testing Laboratory to show compliance with Subdivision Regulation specifications and in accordance with the construction documents approved by Commissioners Court. The Owner shall pay for all testing services and shall furnish the County Engineer with certified copies of all test results related to paving and drainage, including failures. The County Engineer must offer a "no objection" to the test results prior to constructing the next course of the roadway structure. Any material that does not meet the minimum required test specifications shall be removed, re-compacted or replaced, and retested unless alternative remedial action is approved in writing by the Commissioners Court.
- B5.5. All utilities installed in the public right-of-way shall comply with State and Federal regulations.
- B5.6. Construction oversight shall comply with the current, approved Construction Examination Guidelines.

B6 - Subgrade

- B6.1. The preparation of the subgrade shall follow standard engineering practices as directed by the County Engineer in conjunction with recommendations outlined in the geotechnical report. When the Plasticity Index (PI) is greater than 15, a sufficient amount of lime shall be added as described in Item 260 of the 2024 edition of the TxDOT Standard Specifications for Construction until the PI is less than 15. Carbide lime treatment is not permitted. If the addition of lime as described in Item 260 is not feasible, an alternate stabilizing design shall be proposed and submitted to the County Engineer for consideration. The subgrade shall be prepared and compacted to achieve a dry density per TxDOT Items 132 and 260.
- B6.2. Proof-rolling is required to be performed prior to chemical treatment per TxDOT Item 216.
- B6.3. The subgrade shall be inspected and approved by the developer's engineer and an A2LA Certified Independent Testing Laboratory, and a certified copy of all inspection reports shall be furnished to the County Engineer. All density test reports shall include a copy of the worksheet showing the percentage of the maximum dry (Proctor) density.
- B6.4. The testing laboratory's representative shall determine the Moisture-Density Relationship in accordance with ASTM D698, on material secured from the roadway or borrow source, for each type of material encountered or used.
- B6.5. The applicant's certifying engineer shall provide the County Engineer the recommended number and location of all subgrade tests and obtain a "no objection" from the County Engineer

B7 - Intentionally Left Blank

B8 - Intentionally Left Blank

B9 - Concrete Pavement

- B9.1. Portland cement concrete pavement is required for curb and gutter roadways and may be used on streets with roadside ditches. Concrete pavement shall be in conformance with 2024 TxDOT Specification Item 360 and all other applicable Items. The mix shall be from a TxDOT certified plant. The mix design shall be submitted to the County Engineer for approval prior to placement of the material.
- B9.2. The following are the allowed minimum requirements, minimum thickness and reinforcement requirements for concrete pavement. Refer to Appendix H for concrete pavement details. Pavement thickness and reinforcement shall be designed by the Professional Engineer responsible for the project and be based on a current soils analysis and recommendations by a qualified geotechnical engineer. Pavement design, based on soils analysis, use, loading, and life span, may require greater thickness and more reinforcement than the minimum required.
- a. For pavement widths less than, or equal to, 32 feet B/B of curb, minimum concrete slab thickness shall be 6 inches for $f_c' = 4,000$ psi and minimum reinforcement shall be Grade 60, $f_y = 60,000$ psi, #4 deformed reinforcing bars spaced at maximum 36 inches center to center transversely and maximum 18 inches center to center longitudinally, and minimum lap length of 22 inches. Expansion joints shall be placed at the end of each curb return, and at a maximum spacing of 60 feet. The minimum stabilized subgrade thickness shall be 6 inches.
 - b. For pavement widths greater than 32 feet B/B of curb, the minimum concrete slab thickness shall be 8 inches for $f_c' = 4,000$ psi, and minimum reinforcement shall be grade 60, $f_y = 60,000$ psi, #5 deformed reinforcing bars, maximum 36 inches center to center transversely and maximum 24 inches center to center longitudinally, and minimum lap length of 27 inches. Expansion joints shall be placed at the end of each curb return at a maximum spacing of 60 feet. The minimum stabilized subgrade thickness shall be 8 inches.
- B9.3. Concrete headers shall be placed at the end of all concrete pavements.
- B9.4. All concrete pavement to be removed/repared shall be removed to either the existing joint or a sawed joint.

B10 - Concrete – General

- B10.1. Unless otherwise specified, concrete shall be in accordance with Item 421 of the current edition of the TxDOT Standard Specifications for Construction and be placed in accordance with the applicable item.
- B10.2. All concrete shall be tested for compressive strength. One set of three concrete test cylinders shall be molded for every 50 cubic yards of concrete placed for each class of concrete per day, or at any other interval as determined by the County Engineer. A slump test shall be required with each set of test cylinders. One cylinder shall be tested for compressive strength at an age of seven days, and the remaining two cylinders shall be tested at 28 days of age.

B11 - Road Names, Signs, and Markers

- B11.1. All roads shall be named, with prior approval for said name from the Walker County 911 Addressing Coordinator. Roads must be named in a manner to avoid confusion in identification. Roads that are extensions of existing roads must carry the names of those in existence. The Owner shall provide the Coordinator with two digital files of the plat. One file shall be in an Adobe .pdf format, and the other file shall be in an AutoCAD .dwg format georeferenced to NAD 1983 State Plane Grid Coordinate System, Texas Central Zone (4203), with the drawing in US feet. The road names shall be displayed on standard intersection road marker signs erected by the Owner in compliance with the TxMUTCD "Street Name Signs" and at the locations, as indicated on the construction plans.
- B11.2. Traffic control signs (such as stop, yield, and speed limit signs) shall be installed by the Owner of said subdivision in compliance with the TxMUTCD and at the locations as indicated on the approved construction plans. Other traffic control signs, as shown on the construction plans, shall be installed to indicate any unusual traffic or road hazard or conditions that may exist. All traffic control devices shall be placed in compliance with the TxMUTCD and the construction cost shall be borne by the Owner.
- B11.3. A speed limit of 30 mph for local roads, 35 mph for collector roads, and 45 mph for arterial roads within all platted subdivisions are hereby adopted. This limit may be changed only by Commissioners Court upon the basis of an engineering and traffic investigation showing that the prima facie maximum reasonable and prudent speed for a particular road (or part of a road) should be different. The placement of a stop sign or a yield sign on the minor road at intersections shall be evaluated on a case-by-case basis in accordance with the TxMUTCD.
- B11.4. For any road that is proposed to be extended in the future, a minimum of five metal channel posts, equally spaced, shall be placed at the end of the road. Each post shall have an 18"x18" red diamond object marker sign (type OM-4 per TxMUTCD) placed four feet above the existing ground.
- B11.5. A future road extension sign shall be placed at the end of all roads and temporary cul-de-sacs that are proposed to be extended in the future. The sign shall state the following: Future Extension of <name of road>.
- B11.6. Signage that differs from the standard signage that is maintained by the County shall be maintained by the Owner. The signage shall be maintained in such a fashion to comply with the TxMUTCD requirements.
- B11.7. Public road name signs shall be green with white lettering. Private road name signs shall be brown with white lettering.

B12 - Drainage

- B12.1 Drainage infrastructure design and supporting calculations shall be completed by a Registered Professional Engineer, shall be in accordance with the most conservative methods described in the City of Huntsville Engineering Design Criteria Manual and TxDOT's Hydraulic Design Manual unless otherwise specified in this section, and shall conform to standard engineering practices and procedures. Roads shall not be used as drainage courses, except for extreme event sheet flow or where drainage is conveyed directly to inlets, without crossing streets or intersections. All data and supporting calculations must be presented to the County Engineer as part of the construction plans.
- B12.2 If the County accepts maintenance responsibility, the County's maintenance responsibility will be limited to only public drainage improvements that are located within the road right-of-way or parallel and adjacent to the right-of-way. Maintenance responsibility for all other stormwater management controls will remain with the Owner(s) or a designated Property Owner's Association. Drainage improvements associated with private drainage features, such as detention basin outfalls, are considered private and will also be the responsibility of the Owner(s) or a designated Property Owner's Association.
- B12.3 Easements shall be provided for all drainage courses in and across the property to be platted. The location and width shall be shown on the plat and marked Private Drainage Easement ("P.D.E.") or "Private Drainage and Utilities Easement". In general, a P.D.E. shall be designed to convey the 100-year flow and be a minimum of 20 feet in width when the easement is not parallel to a public right of way. Lot-to-lot drainage within Urban Subdivisions shall be located within a designed P.D.E., and it may be exempt from the minimum 20-foot width requirement. All drainage easements, private and public, shall be located in such a manner as to be locatable on the ground. Owner is responsible for the maintenance of private easements. See B12.12c for storm sewer easement requirements.
- B12.4 Provide a minimum 30-foot-by 30-foot drainage easement adjacent to the right-of-way, upstream and downstream of each culvert where it crosses a street.
- B12.5 Drainage infrastructure design shall be supported with a legible drainage area map that includes labeled contours, flow arrows, delineated onsite and offsite drainage areas, drainage area acreage, computed peak flow rates, and all existing and proposed drainage infrastructure clearly labeled.
- B12.6 Provide a culvert schedule noting the size, minimum slope, and quantity of all driveway culverts on a sheet with an overall layout of the development.
- B12.7 Both a plan and profile views shall be shown in the construction plans for all proposed drainage infrastructure. Each plan and profile shall show the design flow, velocity, invert elevations, and the hydraulic grade line for the design storm.
- B12.8 Detention Facilities
- a. Detention ponds shall be designed and constructed to mitigate the increased rate of runoff discharged from the platted area in order to meet or reduce the rate of discharge of the watershed, at the release point of the development, to its pre-developed state. Detention ponds shall be maintained by the Owner(s) or a designated Property Owner's Association. Mitigation without detention based on an engineering timing analysis cannot be used to meet this requirement. A variance may be allowed when the Owner can demonstrate that downstream properties will not be adversely affected.
 - b. The detention design for all onsite and offsite detention ponds shall be submitted with each engineering plan submittal and shall not be located within a right-of-way or utility easement.

- c. Offsite detention ponds shall be located in a dedicated easement, and the associated private drainage easement shall be shown on the recorded plat. Variances are required for offsite detention basins, when located on the parent tract, outside of the platted boundary.
- d. When a development is planned to be separated into several sections, a master drainage and detention plan will need to be provided that indicates that the pond is designed considering ultimate developed conditions.
- e. The detention pond and detention outlet structures are to be designed to mitigate increased runoff peak flow rates for the 5-year, 25-year, and 100-year storm events.
- f. For watersheds less than 50 acres, a detention storage estimating method such as the simplified method, or the NRCS unit hydrograph method along with the Modified Puls level pool routing method, may be used for detention design. Otherwise, the pond shall be designed per Section B12.8g.
- g. For watersheds greater than or equal to 50 acres, the NRCS unit hydrograph method along with the Modified Puls level pool routing method shall be used for detention design.
- h. For both curbed and uncurbed streets, runoff from the 100-year storm event shall be conveyed in a controlled manner in a dedicated right of way or dedicated easements, either overland or underground, to the detention facility or otherwise mitigated, as necessary.
- i. Detention ponds shall have a maximum side slope of 4 to 1, a minimum 10-foot maintenance access berm, a minimum of 1-foot of freeboard above the designed 100-year water surface elevation, and a minimum 0.75% bottom slope. Concrete pilot channels shall have a minimum depth of 2 inches and a minimum slope of 0.2%. Grass-lined pilot channels shall have a minimum depth of 1 foot and a minimum slope of 0.5%. The bottom slopes of the detention basin should be graded toward the pilot channel.
- j. Inlet pipes or channels shall be set a minimum of 6 inches above the bottom of the pond and shall include adequate erosion protection.
- k. Pond outlet orifices shall not be less than 6 inches in diameter, and the minimum outlet pipe shall be 18 inches.
- l. Outlet pipes shall be set a minimum of 6 inches above the flow line of the receiving watercourse and shall include adequate erosion protection. The outlet pipe shall enter the receiving watercourse at a 60-degree angle, plus or minus 10 degrees.
- m. Outlet exit velocities exceeding 5 feet per second shall have riprap erosion protection and exit velocities exceeding 10 feet per second shall have concrete energy-dissipating devices.
- n. Detention ponds shall have an emergency overflow weir at the pond outlet to mitigate the 100-year storm and provide a discharge location for greater storm events. This weir shall be designed to convey the 100-year storm event, assuming the main outlet is clogged. The emergency weir shall be constructed with concrete slope paving that has a 5-inch minimum thickness and includes sufficient reinforcement, and the weir shall not have a negative impact on the roadway.

B12.9 Roadway Bridges and Culverts

- a. Drainage crossings under all roads shall be designed to convey runoff from the 100-year storm event with the maximum water surface level not exceeding the lowest edge of pavement elevation of the road and without causing an increase in the pre-developed water surface for areas located outside of the platted area.

- b. The rational method shall be used to calculate peak flow rates for watersheds less than 200 acres. The NRCS unit hydrograph method or regression curves shall be used for watersheds greater than or equal to 200 acres.
- c. For culverts, hydraulic calculations shall consider entrance, exit, and friction losses as well as downstream hydraulic conditions (i.e., tailwater).
- d. For culverts, exit velocities exceeding 3 feet per second shall have erosion protection (i.e., riprap, concrete block mats, etc.). Exit velocities exceeding 5 feet per second shall have a concrete lining, and exit velocities exceeding 10 feet per second shall have concrete energy-dissipating devices.
- e. All riprap shall be clean and free of trash, metal, and debris. In addition, riprap shall not impede flow or create ponding.
- f. For span bridges, the bottom chord shall be set to 1.5 feet above the 1% annual chance base flood elevation and shall completely span the FEMA-designated floodway (Note: a floodplain permit will be required for any development within a FEMA special flood hazard area).
- g. Bridges, culverts, and all other drainage structures shall be designed and constructed per 2024 TxDOT Specification Section Items 400 - 499.
- h. Provide safety end treatments and headwalls in accordance with TxDOT Bridge Standards details. Slopes tying to natural ground (i.e., wing walls, safety end treatments, etc.) shall not exceed a 6 horizontal to 1 vertical.
- i. Design culvert crossings in accordance with the TxDOT Roadway Design Manual. If the ditch is greater than 4 feet deep, headwalls must be a minimum of 10 feet from the edge of the pavement or 6 feet from the back of the curb, unless a guardrail is provided. Guardrails are only permitted by variance.
- j. Bridges over 20 feet in span require a National Bridge Inventory ("NBI") number assigned by TxDOT. The applicant shall request the NBI from Walker County Planning and Development and shall provide all required TxDOT documentation and design, including scour analysis. The applicant shall request a TxDOT inspection through Walker County prior to the bridge being opened to traffic. Failure to meet this requirement could impact annual inspections and acceptance.

B12.10 Roadside Ditches

- a. Roadside ditches shall convey runoff from the 10-year storm event with 6 inches of freeboard. During a 100-year storm event, the water elevation shall not exceed the elevation at the adjacent right-of-way line or the elevation at the right-of-way adjacent drainage easement. The Engineer shall demonstrate proper cascading of flow through the streets or adequate conveyance capacity to ensure that runoff from the 100-year event is contained within the street right of way and drainage easement(s) as it is conveyed to the outlet point. Supporting calculations shall be provided demonstrating property conveyance of runoff from the 1% annual chance storm.
- b. The rational method shall be used to determine peak flows for all roadside ditch designs.
- c. Roadside ditches shall have a minimum depth of 18 inches, and roadside ditches are not required at grade breaks and high points. When a ditch is required, the minimum depth is to be measured from the edge of the road or the elevation at the right-of-way/edge of the drainage easement, whichever is lower. Exception: A roadside ditch may be a minimum of 12 inches deep for distances not to exceed 100 feet where there is no driveway access permitted on the roadway. There is no

minimum ditch depth requirement where the proposed infrastructure ties to existing infrastructure, but the transition to 18 inches deep shall occur as soon as feasible, as related to existing grades.

- d. Velocities in grass-lined roadside ditches shall not exceed 5 feet per second for the design storm. Ditch velocities between 3 and 5 feet per second required block sod or rigid lining (i.e., rip rap, geosynthetic or concrete matting, flexible growth medium, etc.). Concrete slope paving with minimum 18" deep toe walls, having a 5-inch minimum thickness with sufficiently designed reinforcement, shall be installed where velocities exceed 5 feet per second for the design storm.
- e. Grass-lined roadside ditch front slopes shall have a maximum grade of 6 horizontal to 1 vertical and the back slopes shall have a maximum grade of 4 horizontal to 1 vertical.
- f. Ditch longitudinal slopes shall not be less than 0.5%.
- g. Refer to Appendix F for a typical roadside ditch cross-section.
- h. No utilities shall be placed within the roadside ditches that obstruct the designed/constructed drainage flows.
- i. Manning Coefficient: The "n" coefficient for the ditch calculations shall be a minimum of 0.040. Natural channels shall have a minimum "n" coefficient of 0.060. All coefficient values must be justified.
- j. Provide safety end treatments and headwalls in accordance with TxDOT Bridge Standard details and 2024 TxDOT Standard Specification Item 467. The plans shall include the applicable details.

B12.11 Driveway Culverts

- a. Driveway culverts shall comply with the Regulations for Walker County Driveway Permits, Design, and Materials.
- b. Driveway culverts shall convey runoff from the 10-year storm event, assuming full-flow hydraulic conditions.
- c. The rational method shall be used to determine peak flows for driveway culvert design.
- d. A driveway culvert schedule shall be provided in the construction drawings and plat. The table shall include section number, block number, lot number, and culvert size.
- e. Exit velocities exceeding 5 feet per second shall have erosion protection (i.e., riprap, concrete block mat, concrete lining, etc.) and exit velocities exceeding 10 feet per second shall have concrete energy dissipating devices.
- f. Sheet flow from driveways shall be shed to the roadside ditch prior to the sheet flow reaching the driveway culvert crossing.
- g. Provide safety end treatments and headwalls in accordance with TxDOT Bridge Standards details and 2024 TxDOT Standard Specification Item 467. The plans shall include the applicable details.

B12.12 Storm Sewer

- a. All closed conduit storm sewers shall have a minimum Manning's Coefficient of 0.013 and shall be one of the following:
 - i. Reinforced concrete pipe (RCP) in accordance with 2024 TxDOT Specification Item 464,
 - ii. Reinforced concrete box culvert (RCBC) in accordance with 2024 TxDOT Specification Item 462 (minimum Manning's Coefficient of 0.015),
 - iii. Dual wall, corrugated, smooth interior, water-tight high-density polyethylene ("HDPE") in accordance with ASTM F2306, AASHTO M294, 2024 TxDOT Specification Item 468, and TxDOT Specification DMS-4710 (pipes over 48 inches are not permitted, a 30-day mandrel test is required), HDPE IS NOT PERMITTED UNDER A PUBLIC OR PRIVATE STREET, or
 - iv. Dual wall, corrugated, smooth interior, water-tight polypropylene ("PP") pipe in accordance with ASTM F2881, AASHTO M330, 2024 TxDOT Specification Item 468, and TxDOT Specification DMS-4710 (pipes over 48 inches are not permitted, 30-day mandrel test is required).
- b. Refer to Appendix I for pipe bedding and backfill details. The details in the appendix provide the minimum County requirements, and the construction plans shall include a site-specific design prepared by a professional engineer that is equal to or greater than the minimum requirements. The final details and design shall be signed and sealed by a professional engineer.
- c. When storm sewers are permitted outside of the public right of way, the minimum easement width shall be the following:

Pipe Depth D:			4'	5'	6'	7'	8'	9'	10'	11'	12'	13'	14'
Pipe Dia.	d ₀	X Value	15' Esm't	20' Esm't		25' Esm't (Trench Box Required)							
8"	1	0.5	12.0	16.0	20.0	24.0	28.0	32.0	36.0	40.0	44.0	48.0	52.0
12"	1.3		11.1	15.1	19.1	23.1	27.1	31.1	35.1	39.1	43.1	47.1	51.1
15"	1.7		9.9	13.9	17.9	21.9	25.9	29.9	33.9	37.9	41.9	45.9	49.9
18"	2		9.0	13.0	17.0	21.0	25.0	29.0	33.0	37.0	41.0	45.0	49.0
24"	2.5	0.75	8.0	12.0	16.0	20.0	24.0	28.0	32.0	36.0	40.0	44.0	48.0
30"	3			10.5	14.5	18.5	22.5	26.5	30.5	34.5	38.5	42.5	46.5
36"	3.5			9.0	13.0	17.0	21.0	25.0	29.0	33.0	37.0	41.0	45.0
42"	4	1			12.0	16.0	20.0	24.0	28.0	32.0	36.0	40.0	44.0
48"	4.5				10.5	14.5	18.5	22.5	26.5	30.5	34.5	38.5	42.5
54"	5.1				9.2	13.2	17.2	21.2	25.2	29.2	33.2	37.2	41.2
60"	5.6	1.25					15.7	19.8	23.7	27.7	31.7	35.7	39.7
66"	6.2	1.5	Depth is not Applicable					18.4	22.4	26.4	30.4	34.4	38.4
72"	6.7							16.9	20.9	24.9	28.9	32.9	36.9

Trench Width Formula for Predominately Type C Soils: $W = d_0 + 2X + 4 [D - (d_0 + 0.5)]$

- d. The design storm for storm sewer design shall be in accordance with Table B4.1. Adequately sized storm sewers are required on curb and gutter streets, and concentrated flow shall not discharge over the back of curb. The design storm HGL shall not exceed 12 inches below the gutter flow line.
- e. For the 100-year storm event, the starting HGL shall be equal to the top of pipe or the 25-year storm event water surface elevation of the receiving watercourse, whichever is greater.
- f. Storm sewer conduits shall have a minimum velocity of 3 feet per second and a maximum velocity of 10 feet per second when flowing full.
- g. Storm manholes shall have a maximum spacing of 600 feet measured along the conduit run. Manholes for storm sewer conduits shall be placed at size changes, cross-section changes, grade changes, inlet lead and conduit intersections, and direction changes.
- h. At the change in pipe size, match the soffits of the two pipes.
- i. A straight line should be used for the design of precast inlet leads and storm sewers 30 inches in diameter or less. Precast storm sewers 36 inches in diameter and larger may be deflected at joints not to exceed the manufacturer's recommendation.
- j. Soil borings with logs shall be made along the alignment of all storm sewers having a cross-section equal to or greater than 42 inches in diameter or equivalent cross-section area. Borings should be taken at intervals not exceeding 500 linear feet and to a depth not less than 3 feet below the flow line of the sewer.
- k. Any storm sewer 42 inches or smaller located underneath or within 1 foot of a paving section shall be bedded and backfilled 2 sack cement stabilized sand.
- l. Curb inlets shall be designed to prevent water from ponding in the street during the 5-year storm event.
- m. The gutter run to an inlet shall not exceed 700 feet.
- n. In profile view, provide both top-of-curb ground elevations at the left and right ROW. Curbs should be below both right-of-way profiles to facilitate drainage. The right-of-way must drain to the street for curbed roads at a minimum slope of $\frac{1}{4}$ inch per foot, and a maximum slope of 1 foot per 7 feet. Show and label proposed profiles where cut or fill is necessary.
- o. House finished floor elevations shall be set a minimum of 1 foot above natural ground or per the current floodplain regulations in relation to the base flood elevation, whichever is greater. This minimum requirement shall be noted on the plat.
- p. During a 100-year storm event, the water elevation shall not exceed the elevation at the adjacent right-of-way line or the elevation at the right-of-way adjacent drainage/utility easement. The Engineer shall demonstrate proper cascading of flow through the streets or adequate conveyance capacity in the storm sewer pipes and inlets to ensure that runoff from the 100-year event is contained within the street right of way as it is conveyed to the outlet point. Supporting calculations shall be provided demonstrating property conveyance of runoff from the 1% annual chance storm.
- q. Within 14 days of ceasing construction, seed all disturbed areas within a uniform (i.e., evenly distributed, without bare areas) perennial vegetative cover. The density shall be at least 70% and consist of suitable background vegetative cover for the area. Equivalent permanent stabilization measures are also acceptable. The method of stabilization to be utilized shall be specified in the plans.

B13 - Testing and Reporting

The following list is the minimum requirements that will be provided at the pre-construction conference and the material testing shall be to the satisfaction of the County. The Commissioners Court reserves the right to require any additional inspection, testing, or reporting, at the expense of the Owner, as deemed necessary to ensure compliance with these regulations and/or standard construction/engineering practices.

- B13.1 Prior to construction, the applicant shall request and attend a pre-construction meeting with the County. The developer, the applicant's engineer, and the contractor are also required to attend. The applicant's engineer shall periodically inspect the construction. It is the responsibility of the applicant's engineer to ensure and certify that the project is constructed in accordance with the plans and specifications.
- B13.2 The owner/developer or contractor needs to secure an A2LA Certified Independent Testing Laboratory for material testing.
- B13.3 The County will require soil test reports, lab recommendations of stabilization, proof roll reports, density test reports, and PH Test Reports (when applicable).
- B13.4 Prior to the pre-pave inspection, the County will require compaction/density tests.
- B13.5 Notify the County prior to placing drainage structures and bridges. County may inspect drainage structures prior to and during installation. This includes steel placement, dimensions, precast structures, etc.
- B13.6 Prior to paving, provide concrete pavement submittals for County Review, and the County must inspect the rebar at a scheduled inspection, requested by the certifying engineer. Obtain a "no objection" from the County prior to paving.
- B13.7 After paving, provide core/cylinder test results and tickets for County for review. Where cores are made, the developer is required to repair the hole with like material.
- B13.8 If visual concerns are noted at any time, additional testing may be required at the County's discretion.
- B13.9 After construction is deemed complete, the applicant's engineer shall submit a signed and sealed Engineer's Certification of Completion, a signed Developer's Certification of Completion, a completed Development Permit with the final Development Certifications Form (for approval), a complete package of lab reports, and request construction certification. In addition, the applicant's engineer shall submit certified record drawings, with all revisions clouded. The Engineer's Certification of Completion is included in Appendix E. If the construction included a bridge, additional items may be required. After receipt of a complete certification package, a certification walkthrough will be scheduled and a punch list shall be generated. Prior to certification of completion, all punch list items shall be completed, and an acceptable Maintenance Bond shall be provided.

C1 - Owner's Dedication

www

COUNTY OF WALKER

C2 - Roadway Construction

C3 - Owner's Responsibilities

It is the responsibility of the Owner, not the County, to assure compliance with the provisions of all applicable state, federal, and local laws and regulations relating to the platting and development of this property.

The County assumes no responsibility for the accuracy of representations by other parties in this plat. Floodplain data, in particular, may change. It is further understood that the Owner(s) of the tract of land covered by this plat, its successors and/or assigns, or a designated property owner's association must install and maintain at their own expense all roads, stormwater management controls, traffic control devices, and signage that may be required until such time, if any, said infrastructure in the subdivision have been accepted for public maintenance.

C4 - Commissioners Court Approval

STATE OF TEXAS	§	
	§	KNOW ALL MEN BY THESE PRESENTS;
COUNTY OF WALKER	§	

The Commissioners Court of Walker County, Texas, does hereby certify that this map or plat, as described herein, for a subdivision having been fully presented to the Commissioners Court of Walker County, Texas, and by the said Court duly considered, was on this day approved and that this plat is authorized to be registered and recorded in the proper records of the County Clerk of Walker County, Texas. This certification is based upon the representations of the developer/developer's agent, engineer, sanitarian, and/or surveyor whose seal(s) and/or signatures are affixed hereto. This certification is made solely upon such representations and should not be relied upon for verifications of the facts alleged. Walker County disclaims any responsibility to any member of the public for independent verification of the representations, factual or otherwise, contained in this plat and the documents associated with it.

<Insert Current Commissioners Court Signature Block> _____

C5 - County Clerk Certification

Note for Major Plats or Plats Larger than 8.5"x14" Format

STATE OF TEXAS

§
§
§

KNOW ALL MEN BY THESE PRESENTS

COUNTY OF WALKER

I, *<insert name of current clerk>*, County Clerk of Walker County, do hereby certify that this plat with its certificate of authentication was filed for record in my office the ____ day of ____, 20____, in Volume _____, Page _____ of the Plat Records of Walker County, Texas.

For tax purposes, this plat complies with Section 12.002 of the Property Code.

County Clerk
Walker County, Texas

By: _____
Deputy Clerk

Note for Minor Plats Submitted in 8.5"x14" or 8.5"x 11" Format

STATE OF TEXAS

§
§
§

KNOW ALL MEN BY THESE PRESENTS

COUNTY OF WALKER

I, *<insert name of current clerk>*, County Clerk of Walker County, do hereby certify that this plat with its certificate of authentication was filed for record in my office the ____ day of ____, 20____, under instrument number _____ in the Official Public Records of Walker County, Texas.

For tax purposes, this plat complies with Section 12.002 of the Property Code.

County Clerk
Walker County, Texas

By: _____
Deputy Clerk

C6 - On-Site Sewage Facility Review

Based upon a review of the plat and plans as represented by the said engineer or surveyor, I, the below signed design/review professional, being qualified to make said determination under Texas law, find that this plat complies with the requirements of the Walker County On-Site Sewage Facility Regulations, and Title 30 of the Texas Administrative Code, Chapter 285, including but not limited to the suitability of the proposed lots to accommodate on-site sewage facilities within the proposed development considering all of the requirements of Title 30, 285 TAC and any applicable local orders. I also agree that Walker County, its agents, and assigns bear no responsibility to any member of the public for independent verification of the representations, factual or otherwise, contained in this plat and the documents associated with it.

<Print Name of P.E. or R.S.>

Date

C7 - Mailboxes

Cluster and individual mailboxes, if allowed, shall be set three feet from the edge of the pavement or behind curbs, when used. All mailboxes within County arterial right-of-way shall meet the current TxDOT standards. Any mailbox that interferes with or negatively affects the maintenance or use of the roads or drainage system may be removed by Walker County.

C8 - Floodplain Regulations Certification

(To be Provided on ETJ Plats and Major Plats)

Based upon a review of the plat and associated plans, I, the below signed Professional Engineer, find that this plat complies with the requirements of the current Walker County Floodplain Regulations. I further understand and agree that this finding is made by and through my independent review, and Walker County has no responsibility to any member of the public for independent verification of the representations, factual or otherwise, contained in this plat and the documents associated with it.

<Seal and Signature of P.E.>

<Print Name of P.E.>

Date

C9 - Development Notes

No structure or land within this plat shall hereafter be developed without first obtaining a Development Permit from the Walker County Floodplain Administrator unless the proposed development is exempt or excepted from the Walker County Floodplain Development Regulations.

The minimum, lowest finished floor elevation shall be in compliance with the local floodplain regulations and the finished floor elevation noted on the plat, whichever elevation is higher.

C10 - Plat Notes Addressing Area Drainage

Note for Minor Subdivision Plat

All owners of lots within the subdivision shall have the responsibility of complying with the Walker County Subdivision Regulations' policies on drainage runoff due to the development of impervious areas created through the development of the lot for residential, commercial, or recreational use. It is the responsibility of lot owners to comply with any regulations or limitations noted, and permits issued by Walker County for development do not act as a waiver or variance of the lot owner's responsibility to provide for excess runoff and drainage created by the permitted development. If detention of water is necessary in order to comply with the local, state, or federal regulations including but not limited to the Walker County Subdivision Regulations then the owner may be able to accomplish compliance with said policies through creating detention on a single lot, multiple lots, or the entire subdivision depending on the circumstances involved and depending on the owner's ability to obtain the cooperation of other owners in the subdivision. A copy of an agreement between owners to create detention shall be submitted to Walker County and filed in the public records becoming a restriction on future owners, heirs, and assigns.

Engineer's Note for Subdivision Plats (certified by engineer)

The design of this project will not negatively impact this property or adjacent properties. Based on calculations made from available data, if the impervious cover (structures, driveways, sidewalks, etc.) on each lot does not exceed _____ square feet, then the existing detention on the property will be sufficient. However, if the impervious cover of the property exceeds or surpasses _____ square feet then further study will be necessary and possible drainage/detention improvements may be required in accordance with current Local, State, and Federal regulations including the Walker County Subdivision Regulations. Local approval or allowance must be given by Walker County in writing prior to the alteration of the drainage infrastructure. It is the responsibility of lot owners to comply with any regulations or limitations noted, and permits issued by Walker County for development do not act as a waiver or variance of the lot owner's responsibility to provide for excess runoff and drainage created by the permitted development.

<Seal and Signature of P.E.> _____

<Print Name of P.E.> _____

_____ Date

The first section of this note can be altered to reflect the weighted development of larger lots considering the effect of increase in runoff on a per lot basis by allowing larger amounts of impervious cover on larger acreage lots or could reflect a unified sizing of impervious cover for all lots in the subdivision considering the effects of increased runoff from the subdivision as a whole.

Example: ... if impervious cover on Lots 1,2,&3 does not exceed 6,000 sq. ft. and impervious cover on lots 4 & 5 does not exceed 8,000 sq. ft. then...

Drainage Acceptance Note on all Plats (certified by owner/developer)

All lots within the subdivision and the owners thereof must continue to accept all existing drainage flows and drainage structures in place at the time of development that are a part of or necessary to the existing or designed roads infrastructure or the existing or designed system of drainage, in addition to all natural flows of water entering onto or crossing the property. All drainage easements shown hereon shall be kept clear of fences, buildings, plantings, and other obstructions to the operation and maintenance of the drainage facilities.

C11 - Plat Notes Addressing Utilities

Utilities shall be installed within a dedicated utility easement. Utilities are not permitted within drainage easements, unless specifically excepted by the subdivision regulations.

C12 - Water Supply Note:

Individual Water Well Note:

Each lot will be served by a private, on-site water well.

-OR-

Water Supply Note:

<Insert Name of Water Supplier>, an approved public water supply system, has an adequate quantity to supply the subdivision, and provisions have been made to provide service to each lot within this subdivision.

C13 - Certification of Surveyor

I, _____, the below signed Texas Registered Professional Land Surveyor, certify that this plat represents a survey made on the ground under my supervision and that all corners and monuments are shown hereon. This plat was prepared with the benefit of a current title report, and all existing easements and encumbrances related to said report are shown. Further, I certify this plat has been prepared in accordance with the Subdivision Regulations of Walker County.

<Seal and Signature of RPLS>

<Print Name of RPLS >

Date

Appendix D - Plat Application Checklists

WALKER COUNTY SUBDIVISION APPLICATION CHECKLISTS	
<p>The applicant is responsible for the submittal of all documents on the checklist with each separate application submittal. The submittal of a document or file under a previous application does not supplant the requirement for submittal with a future application. Application submittals shall be submitted in whole on the date of application; applications will not be allowed to be submitted at separate times or on separate dates.</p> <p>All submittals shall be submitted with 3 properly sized paper copies and a digital .pdf file unless otherwise required below or by the Walker County Subdivision Regulations. Any digital media delivered with or containing part of an application, including but not limited to flash drives, DVDs, hard drives, etc., are considered to be part of the application and will not normally be returned to applicant.</p>	
SUBMITTAL REQUIREMENTS BY APPLICATION TYPE	
Variance Request Application Submittal Checklist	
1	Completed Variance Request Application Form
2	Copy of the Deed for the Parent Tract and an acceptable Title Commitment or Title Policy/Report
3	Authorized Signatory Documentation
4	7 paper copies and 1 digital copy (.pdf) of all plans, drawings, exhibits, engineering studies, or other back-up submitted in support of the variance request.
Plat Application Submittal Checklist	
1*	Approved 911 Addressing Road and Feature Name Review. (If applicable)
2*	Completed Application Form
3*	Required Fee(s)
4*	Authorized Signatory Documentation
5*	Copy of the Deed for the Parent Tract and an acceptable Title Commitment or Title Policy/Report
6*	Copies of any approved variance requests that relate to the application (if applicable)
7*	Copy of an approved <i>OSSF Subdivision Planning Materials Submittal for Subdivision</i> (If applicable)
8*	Approved Development Permit under the Regulations for Floodplain Management for all proposed infrastructure. (If applicable)
9	Copies of required Plans, Reports, Calculations, and Studies sealed by a Professional Engineer. (3 properly sized paper copies and 2 digital files (.pdf, .dwg) (if applicable)
10*	Copies of the proposed Final Plat including all seals and signatures. (3 paper copies, 2 mylar copies, and three digital files (.pdf, .dwg, and shapefile formats)
11	Sealed Engineer's itemized list of improvements with quantities (excluding costs) necessary to complete the road and drainage improvements and is sufficient for Commissioners Court to set the surety amount
12	Improvement Maintenance Plan (if applicable)
13	An original copy of the completed financial surety documents/or documentation of acceptance of completed construction and post-construction bonding.
14	Letters of Serviceability from the Wastewater, Water, and Electric provider
15	Groundwater Certification (if applicable)
16*	Tax Certificate Showing Taxes Paid to Date
17*	Necessary Approvals from Other Governmental Entities (If applicable)(TXDOT, TCEQ, etc.)
<p><i>*Plat Applications and Amending or Re-plat Applications classified as Minor Subdivisions with no improvements related to development required need only submit the items marked with an asterisk.</i></p> <p><i>(If applicable) - Some application submittals may not be applicable to all subdivision applications, especially in cases where no infrastructure is required or proposed. Check regulations for applicability.</i></p>	
Amending or Re-plat Applications additional items	
1	A copy of the current deed restrictions for the subdivision, if any.

Exception Application Submittal Checklist		
1		Completed Variance Request Application Form
2		Required Fee(s) per the current schedule of fees
3		Copy of the Current Deed for the Parent
4		Copy of an approved On-Site Sewage Facility Subdivision/Development Plan
5		Written copies of any applicable Federal, State, and Local approvals required. (TXDOT, TCEQ, etc)
6		Copy of plat and metes and bounds description for proposed
7		Acceptable Authorized Signatory Documentation for any plat for any agent not listed on the deed, or for any agent of a corporation or other entity having ownership of the land.
8		Copy of the tax certificate showing taxes paid to date. (County Clerk's Requirement for filing)

Appendix E - Construction Documents

[ENGINEERING FIRM'S LETTERHEAD WITH FIRM NUMBER]

ENGINEER'S CERTIFICATION OF COMPLETION

[SUBDIVISION NAME AND SECTION NUMBER, IF APPLICABLE]

In accordance with the Walker County Subdivision Regulations, I _____, P.E., a registered Engineer duly licensed to practice in the State of Texas, on behalf of _____, the Applicant, do hereby certify that the subject subdivision has been constructed as designed, according to the approved plans and specifications, in accordance with standard engineering practice for public infrastructure, and to the standards of the Walker County Subdivision Regulations. I am providing this certification based on a visual inspection of the construction and the review of applicable and sufficient laboratory testing. I further certify that the required improvements are complete and functioning.

I have provided the following required items and respectfully request Initial Certification of the subject subdivision.

1. Digital copy of the engineer's certified record drawings
2. Hard copy of the engineer's certified record drawings
3. Applicant's Certification of Completion
4. Test Reports
5. Maintenance Bond
6. Completed County "Development Certifications Form"
7. (add any additional items)

[Engineer's seal with signature and date]

APPLICANT'S CERTIFICATION OF COMPLETION

[SUBDIVISION NAME AND SECTION NUMBER, IF APPLICABLE]

In accordance with the Walker County Subdivision Regulations, I, _____,
of _____, the Applicant, do hereby certify that the subject subdivision
has been constructed as designed, according to the approved plans and specifications to the
standards of the Walker County Subdivision Regulations. Further, I certify that any federal, state, or
local permits required for the construction were obtained.

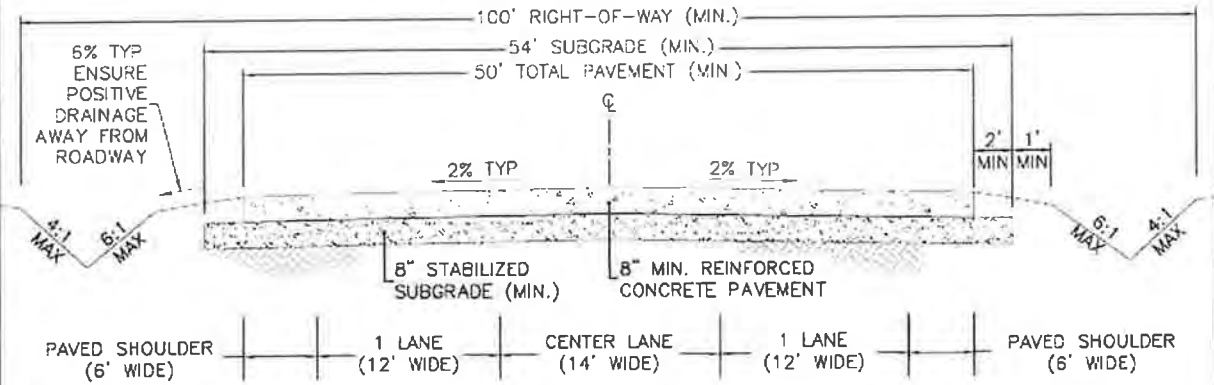
[Applicant's signature and date]

Appendix F - Roadway Cross-Sections & Details

These details provide the minimum County requirements, and the construction plans shall include a site-specific design prepared by a professional engineer that is equal to or greater than the minimum requirements, including the minimum design life and traffic loading during and after construction. The final details and design shall be signed and sealed by a professional engineer.

NOTES:

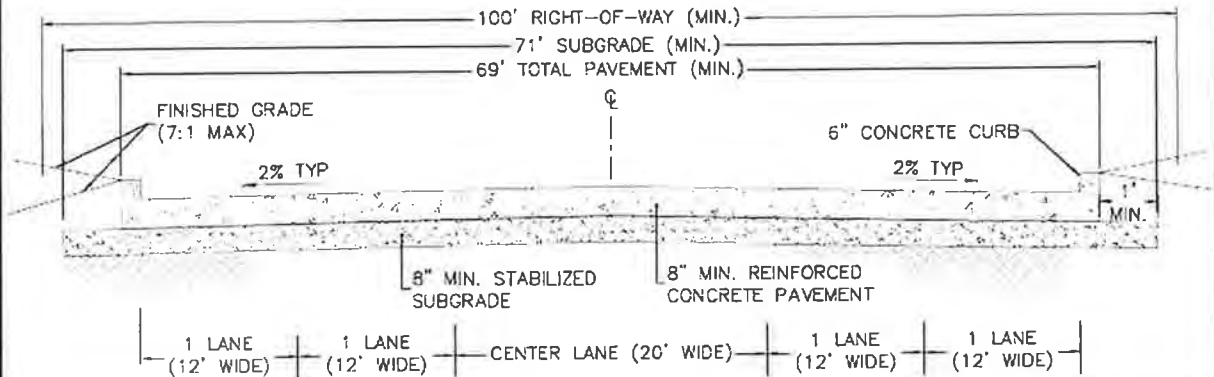
1. THIS DETAIL PROVIDES THE MINIMUM REQUIREMENTS, AND GEOTECHNICAL INVESTIGATION IS REQUIRED TO DETERMINE IF THE MINIMUM STANDARDS ARE SUFFICIENT.
2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
3. EXCEPT WHERE TYING TO EXISTING INFRASTRUCTURE, ROAD CROSS SLOPES SHALL NOT EXCEED 3% OR BE LESS THAN 1%.



DITCH EROSION CONTROL:

- DITCH VELOCITY OF <3 FPS REQUIRE SEEDING / HYDRO MULCH
 DITCH VELOCITY OF 3-5 FPS REQUIRE VEGETATION BLOCK SOD OR RIGID LINING
 DITCH VELOCITY OF >5 FPS REQUIRE RIGID LINING (PAVERS, STONE RIPRAP, CONC. OR EQUAL)

RURAL
 VOLUME PER DAY 12,000+



URBAN
 VOLUME PER DAY 12,000+



**ARTERIAL
 ROAD SECTIONS**

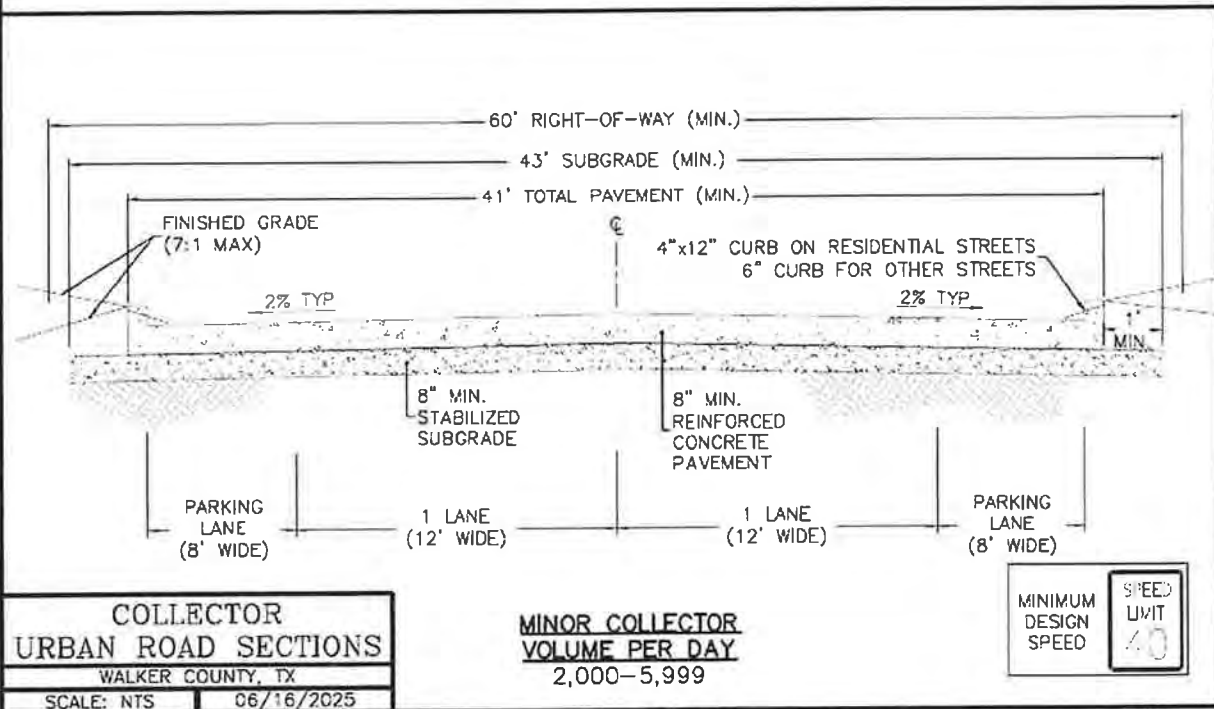
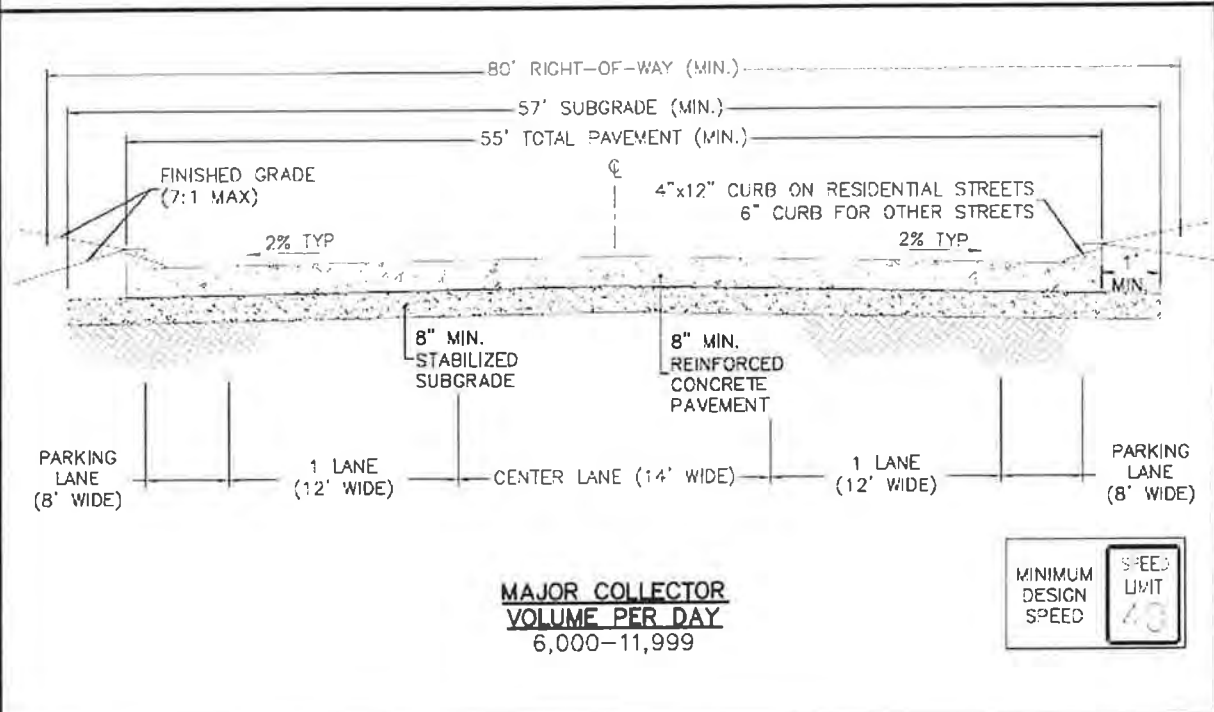
WALKER COUNTY, TX

SCALE: NTS 06/16/2025

THIS DETAIL IS A MINIMUM STANDARD. THE FINAL DETAIL SHALL BE DESIGNED, SIGNED, & SEALED BY A PROFESSIONAL ENGINEER.

NOTES:

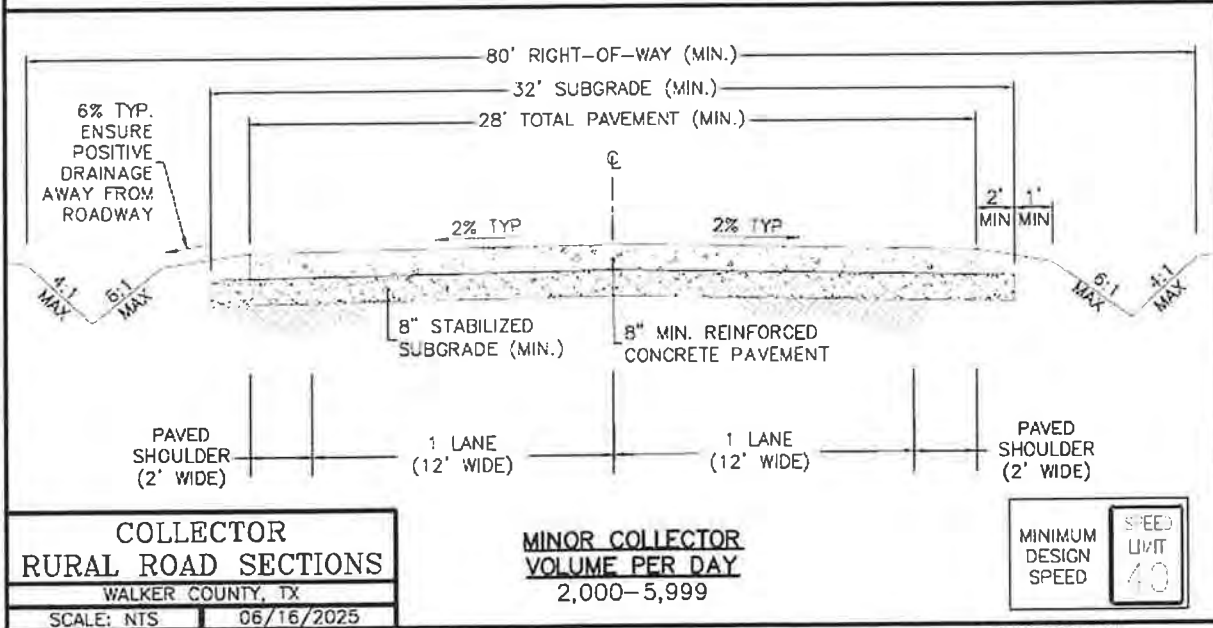
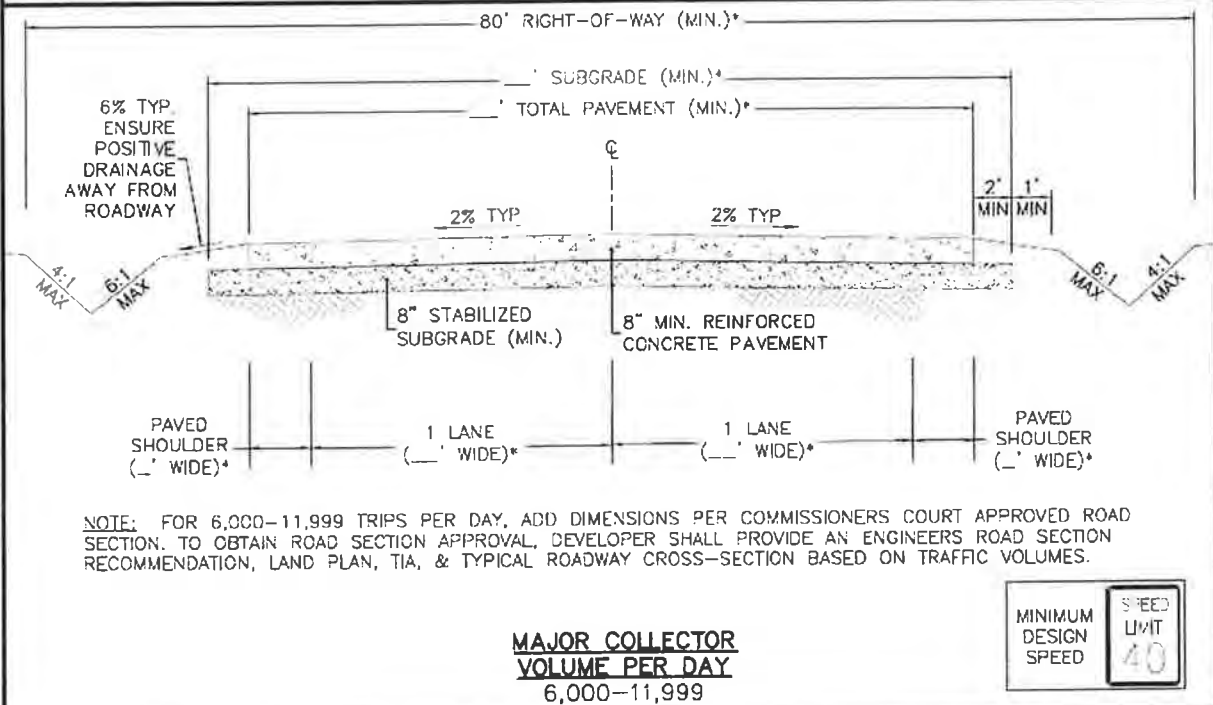
1. THIS DETAIL PROVIDES THE MINIMUM REQUIREMENTS, AND GEOTECHNICAL INVESTIGATION IS REQUIRED TO DETERMINE IF THE MINIMUM STANDARDS ARE SUFFICIENT.
2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
3. EXCEPT WHERE TYING TO EXISTING INFRASTRUCTURE, ROAD CROSS SLOPES SHALL NOT EXCEED 3% OR BE LESS THAN 1%.



THIS DETAIL IS A MINIMUM STANDARD. THE FINAL DETAIL SHALL BE DESIGNED, SIGNED, & SEALED BY A PROFESSIONAL ENGINEER.

NOTES:

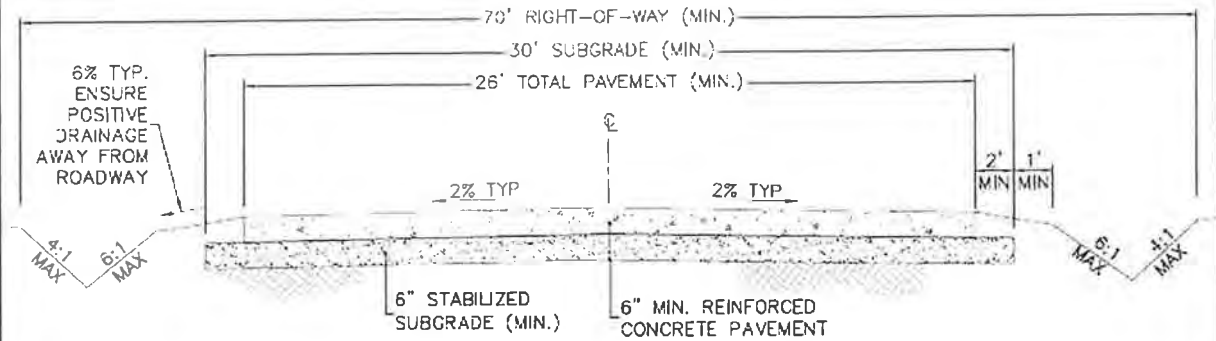
1. THIS DETAIL PROVIDES THE MINIMUM REQUIREMENTS, AND GEOTECHNICAL INVESTIGATION IS REQUIRED TO DETERMINE IF THE MINIMUM STANDARDS ARE SUFFICIENT.
2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
3. EXCEPT WHERE TYING TO EXISTING INFRASTRUCTURE, ROAD CROSS SLOPES SHALL NOT EXCEED 3% OR BE LESS THAN 1%.
4. **DITCH EROSION CONTROL:**
 DITCH VELOCITY OF <3 FPS REQUIRE SEEDING / HYDRO MULCH
 DITCH VELOCITY OF 3-5 FPS REQUIRE VEGETATION BLOCK SOD OR RIGID LINING
 DITCH VELOCITY OF >5 FPS REQUIRE RIGID LINING (PAVERS, STONE RIPRAP, CONC. OR EQUAL)



THIS DETAIL IS A MINIMUM STANDARD. THE FINAL DETAIL SHALL BE DESIGNED, SIGNED, & SEALED BY A PROFESSIONAL ENGINEER.

NOTES:

1. THIS DETAIL PROVIDES THE MINIMUM REQUIREMENTS, AND GEOTECHNICAL INVESTIGATION IS REQUIRED TO DETERMINE IF THE MINIMUM STANDARDS ARE SUFFICIENT.
2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
3. EXCEPT WHERE TYING TO EXISTING INFRASTRUCTURE, ROAD CROSS SLOPES SHALL NOT EXCEED 3% OR BE LESS THAN 1%.

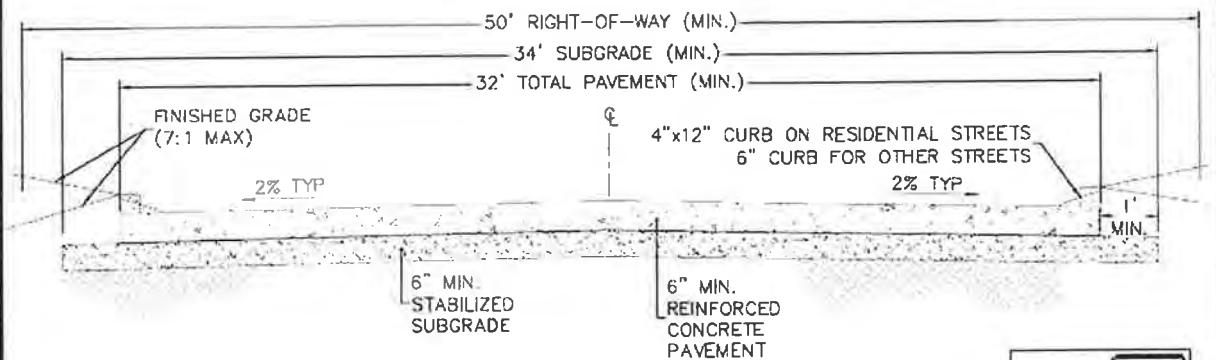


DITCH EROSION CONTROL

DITCH VELOCITY OF <3 FPS REQUIRE SEEDING / HYDRO MULCH
 DITCH VELOCITY OF 3-5 FPS REQUIRE VEGETATION BLOCK SOD OR RIGID LINING
 DITCH VELOCITY OF >5 FPS REQUIRE RIGID LINING (PAVERS, STONE RIPRAP, CONC. OR EQUAL)
 PROVIDE SAFETY END TREATMENTS AND HEADWALLS IN ACCORDANCE WITH TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.

RURAL
 VOLUME PER DAY
 LESS THAN 2,000

MINIMUM DESIGN SPEED
 SPEED LIMIT
 35



URBAN
 VOLUME PER DAY
 LESS THAN 2,000

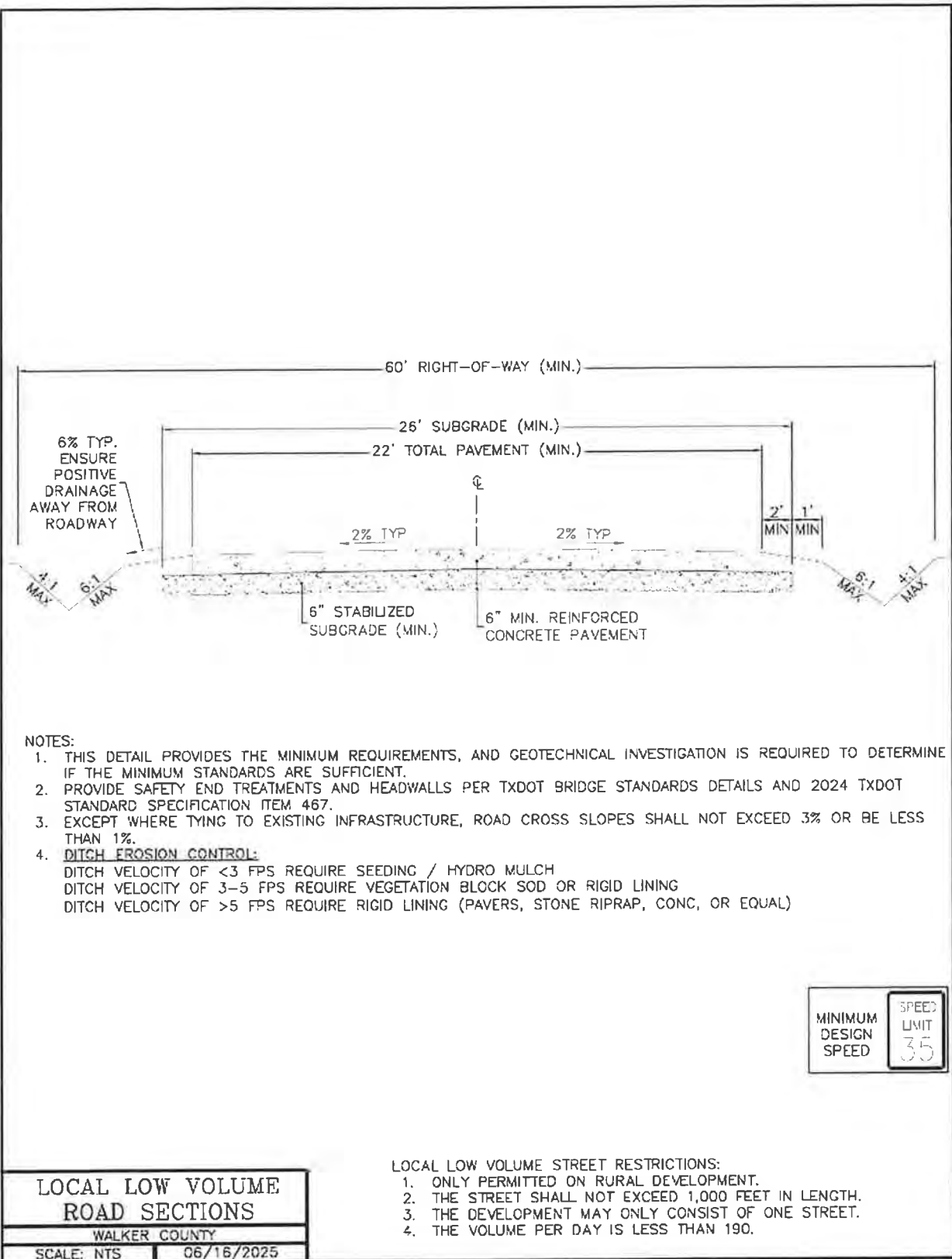
MINIMUM DESIGN SPEED
 SPEED LIMIT
 35

**LOCAL
 ROAD SECTIONS**

WALKER COUNTY

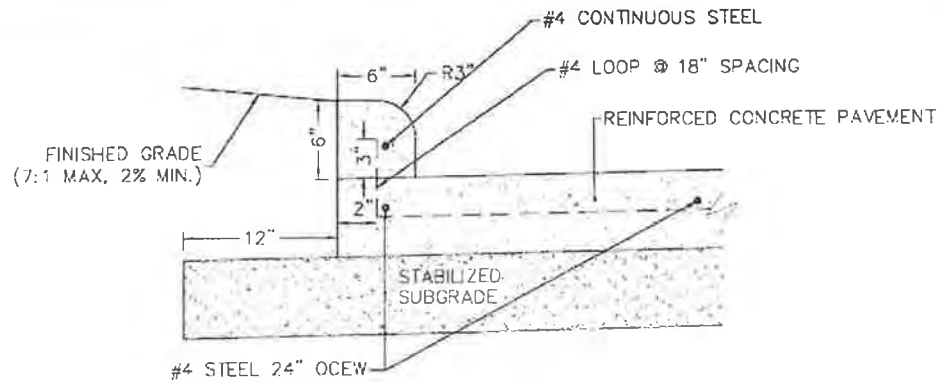
SCALE: NTS 06/16/2025

THIS DETAIL IS A MINIMUM STANDARD. THE FINAL DETAIL SHALL BE DESIGNED, SIGNED, & SEALED BY A PROFESSIONAL ENGINEER.

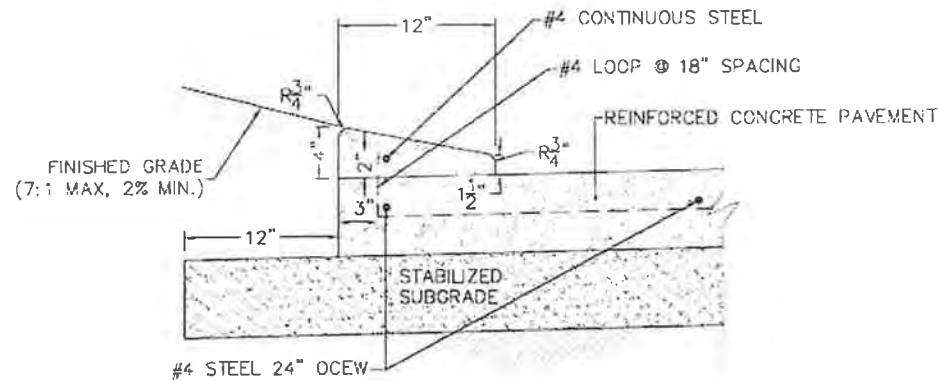


Appendix G - Curb Details

These details provide the minimum County requirements, and the construction plans shall include a site-specific design prepared by a professional engineer that is equal to or greater than the minimum requirements. The final details and design shall be signed and sealed by a professional engineer.



**6" CURB
(ALL STREETS)**



**4"X12" ROLLOVER CURB
(RESIDENTIAL LOTS ONLY)**

NOTES:

1. CONCRETE SHALL BE CLASS A (4000 PSI).
2. ALL REINFORCING BARS SHALL BE #4 GRADE 60 STEEL (100% TIED), UNLESS OTHERWISE SPECIFIED.
3. ROUND ALL EXPOSED SHARP EDGES WITH A ROUNDING TOOL TO A MINIMUM RADIUS OF 1/4 INCH.
4. PROVIDE EPOXIED DOWELS WHERE CONCRETE CURBS ARE PLACED ON EXISTING CONCRETE PAVEMENT.
5. EXPANSION AND CONTRACTION JOINTS SHALL BE CONSTRUCTED TO MATCH, INCLUDING PAVEMENT JOINTS IN THE CURB AND GUTTER LINES ADJACENT TO JOINTED CONCRETE PAVEMENT. WHERE PLACEMENT OF CURB OR CURB AND GUTTER IS NOT ADJACENT TO CONCRETE PAVEMENT, EXPANSION JOINTS SHALL BE PROVIDED AT STRUCTURES, CURB RETURNS, AND AT THE LOCATIONS DIRECTED BY THE ENGINEER.
6. ONE-HALF INCH EXPANSION JOINT MATERIAL SHALL BE PROVIDED WHERE CURB OR CURB AND GUTTER IS ADJACENT TO SIDEWALK OR RIPRAP.
7. ALL JOINTS SHALL BE EPOXY SEALED, (GRAY COLOR TO MATCH).
8. ALL CURB SHALL BE SPRAYED WITH WHITE PIGMENTED CURING COMPOUND.
9. PLACE BACKFILL BEHIND THE CURB WITHIN 7-DAYS OF NEW CURB INSTALLATION.

**CONCRETE CURB
DETAILS**

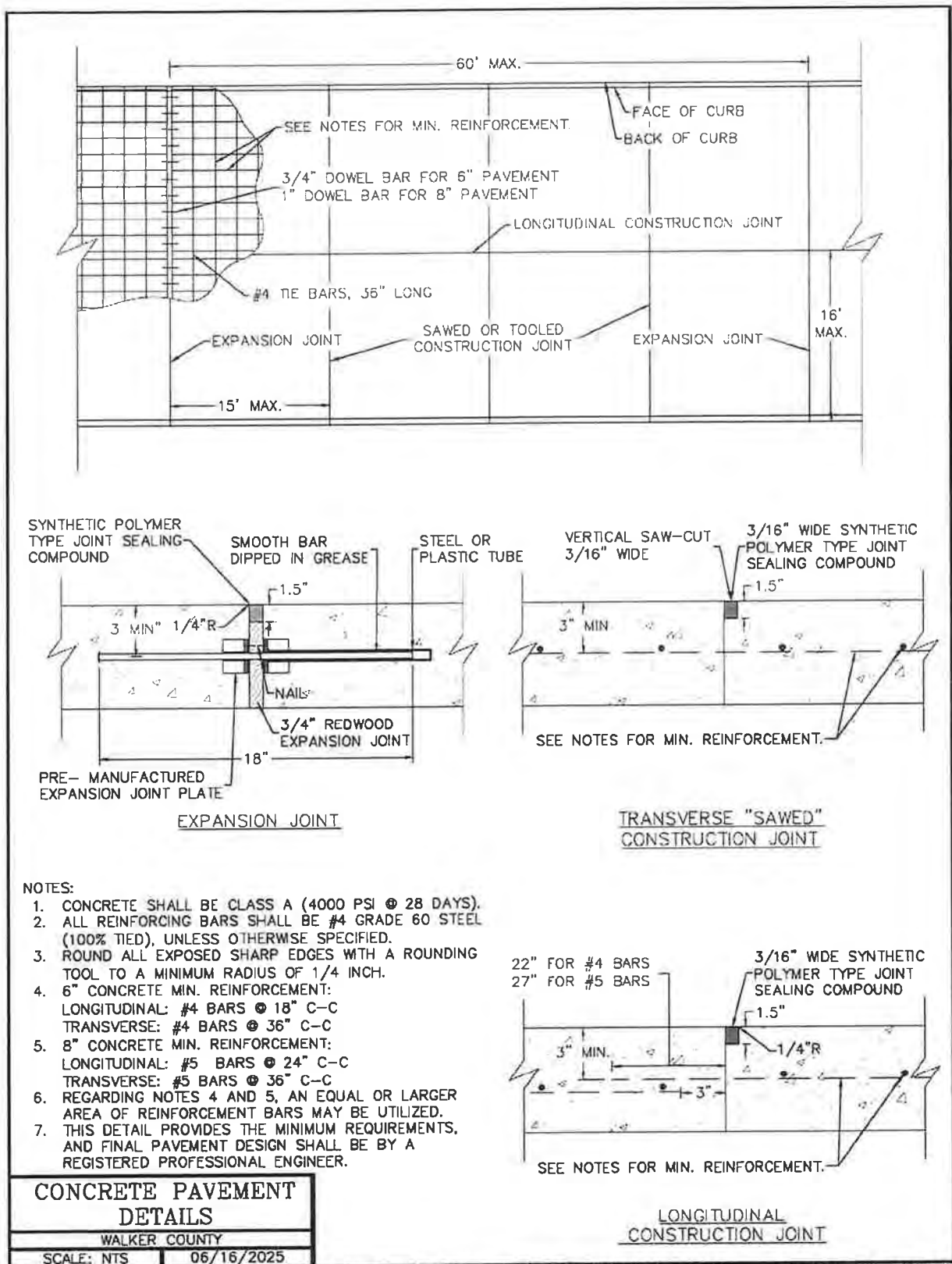
WALKER COUNTY

SCALE: NTS 06/16/2025

THIS DETAIL IS A MINIMUM STANDARD. THE FINAL DETAIL SHALL BE DESIGNED, SIGNED, & SEALED BY A PROFESSIONAL ENGINEER.

Appendix H - Concrete Pavement Details

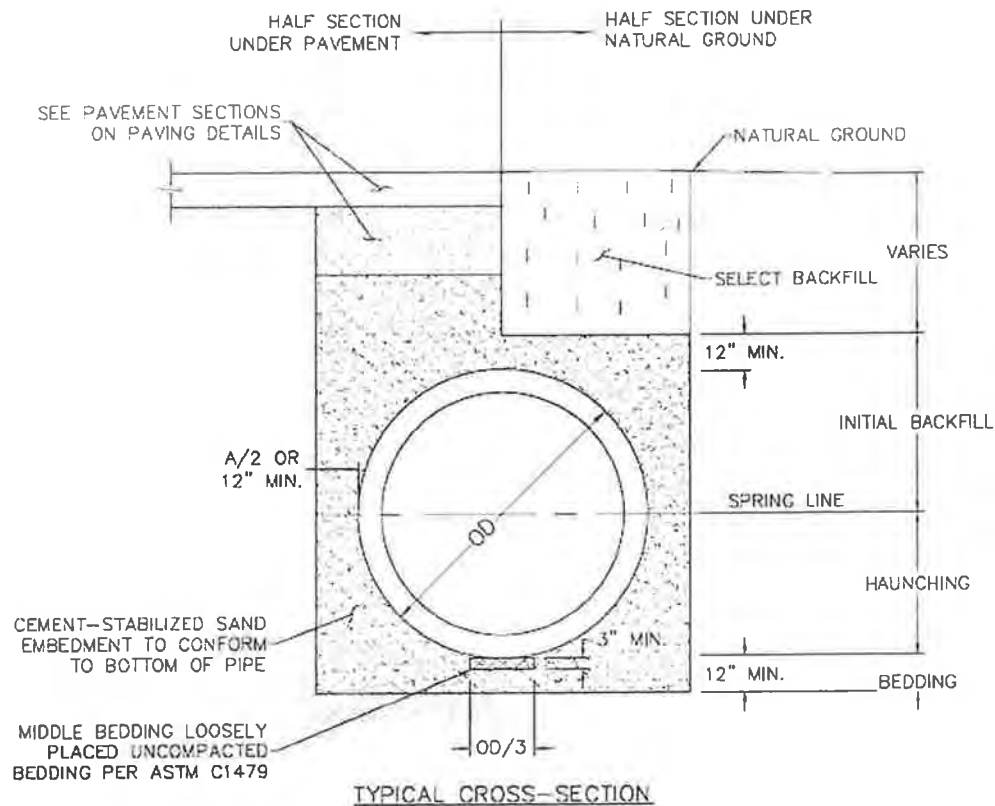
These details provide the minimum County requirements, and the construction plans shall include a site-specific design prepared by a professional engineer that is equal to or greater than the minimum requirements. The final details and design shall be signed and sealed by a professional engineer.



THIS DETAIL IS A MINIMUM STANDARD. THE FINAL DETAIL SHALL BE DESIGNED, SIGNED, & SEALED BY A PROFESSIONAL ENGINEER.

Appendix I - Storm Bedding and Backfill Details

These details provide the minimum County requirements, and the construction plans shall include a site-specific design prepared by a professional engineer that is equal to or greater than the minimum requirements. The final details and design shall be signed and sealed by a professional engineer.



NOTES:

1. THIS DETAIL MAY BE USED ONLY FOR DRY STABLE TRENCH CONDITIONS.
2. MINIMUM TRENCH WIDTH SHALL BE PIPE OD PLUS AN ALLOWANCE "A" FOR THE NOMINAL PIPE SIZE:

NOMINAL PIPE SIZE	"A"
18" TO 30"	24"
OVER 30"	36"

3. MAXIMUM TRENCH WIDTH SHALL BE NOT GREATER THAN MINIMUM TRENCH WIDTH PLUS 24 INCHES, UNLESS OTHERWISE NOTED.
4. CEMENT STABILIZED SAND TO BE BACKFILLED UP TO BOTTOM OF SUBGRADE WHERE PIPES CROSS ANY ROAD.
5. ANY STORM SEWER 48 INCHES OR SMALLER LOCATED UNDERNEATH OR WITHIN 1 FOOT OF A PAVING SECTION SHALL BE BEDDED AND BACKFILLED WITH 2 SACK CEMENT STABILIZED SAND.

**RCP STORM BEDDING
AND BACKFILL DETAIL**

WALKER COUNTY

SCALE: NTS 06/16/2025

THIS DETAIL IS A MINIMUM STANDARD. THE FINAL DETAIL SHALL BE DESIGNED, SIGNED, & SEALED BY A PROFESSIONAL ENGINEER.

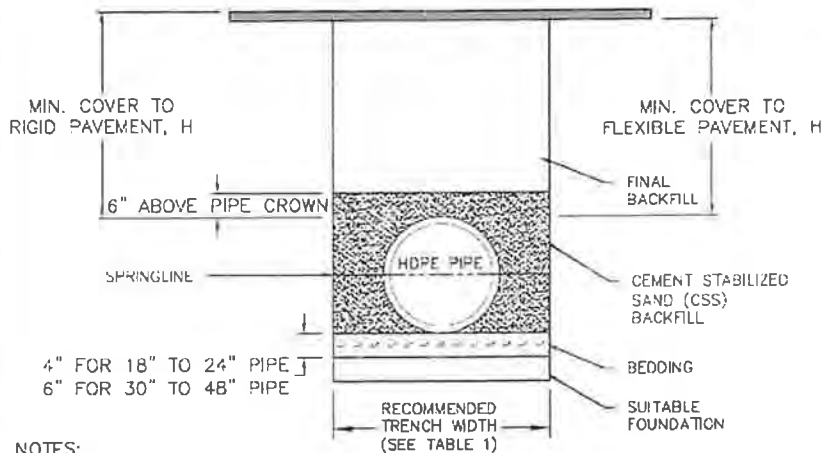


TABLE 1
RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM	MIN. TRENCH WIDTH
18" (450mm)	45" (1143mm)
24" (600mm)	52" (1321mm)
30" (750mm)	60" (1524mm)
36" (900mm)	78" (1981mm)
42" (1050mm)	83" (2108mm)
48" (1200mm)	90" (2286mm)

NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION. NATIVE SOILS SHALL BE OF ADEQUATE STIFFNESS TO WITHSTAND A VERTICAL CUT WITHOUT MATERIAL SLOUGHING. DUE TO THE FINAL SET STRENGTH, CEMENT STABILIZED SAND (CSS) SHALL BE COMPACTED TO 95% SPD OR GREATER. SEE NOTES 7 AND 9 REGARDING SET STRENGTH
2. RECOMMENDED TRENCH WIDTHS ARE LISTED IN TABLE 1 PER ASTM D2321. THESE VALUES ARE BASED ON PROVIDING SUFFICIENT SPACE BETWEEN THE PIPE O.D. AND THE TRENCH WALL, SUCH THAT WORKING ROOM FOR COMPACTION EQUIPMENT IS PROVIDED WITHOUT DAMAGING THE PIPE OR TRENCH WALL INTEGRITY. NARROWER TRENCHES MAY BE POSSIBLE BASED ON THE COMPACTION EQUIPMENT.
3. CSS SHALL HAVE A MIX DESIGN OF ADEQUATE FINAL STRENGTH TO CARRY ALL LIVE AND DEAD LOADING BUT ALLOW FOR ANY FUTURE EXCAVATION. TYPICAL 7 DAY COMPRESSIVE STRENGTHS RANGE BETWEEN 50 AND 100 PSI. MIX DESIGNS CAN VARY BASED ON THE CEMENT, ASH, SOIL, ADMIXTURES, AND WATER RATIO AND SHALL BE DESIGNED AND DEFINED BY THE ENGINEER OF RECORD. THE AMERICAN CONCRETE INSTITUTE (ACI) REPORT ACI 230.1R-09 IS ONE RESOURCE THAT PROVIDES MIX DESIGNS BASED ON DIFFERENT CLASSIFICATIONS OF SOIL.
4. CSS SHOULD NOT BE PLACED WHEN TEMPERATURES ARE BELOW 40°F, AGAINST FROZEN TRENCH MATERIAL OR WHEN APPRECIABLE PRECIPITATION IS FORECASTED DURING PLACEMENT.
5. **FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
6. **BEDDING:** SUITABLE MATERIAL SHALL BE CSS, OR CLASS I OR II PER ASTM D2321. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 18"-24" DIAMETER PIPE (300mm-600mm); 6" (150mm) FOR 30"-48" (750mm-1200mm) DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED.
7. **FINAL BACKFILL:** THE CSS BACKFILL SHALL BE ALLOWED TO CURE AT LEAST 4 HOURS TO REACH AN INITIAL SET STRENGTH PRIOR TO PLACING SOIL ABOVE THE PIPE EMBEDMENT. ADDITIONAL CURE TIME MAY BE REQUIRED BASED ON THE OVERALL FINAL FILL HEIGHT (SEE NOTE 9).
8. **MINIMUM COVER:** MINIMUM COVER, H, IS 12" (300mm) THROUGH 48" (1200mm) DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
9. **MAXIMUM COVER:** MAXIMUM COVER, H, IS BASED ON A MINIMUM 4HR SET TIME OF THE CSS BACKFILL PRIOR TO ANY SOIL PLACEMENT ABOVE THE BACKFILL ENVELOPE. FILL HEIGHTS UP TO 15FT ARE SUITABLE FOR ALL DIAMETERS. LONGER SET TIME MAY ALLOW FOR GREATER FILL HEIGHTS, CONTACT AN ADS REPRESENTATIVE FOR GUIDANCE; SET TIME LESS THAN 4HR MAY RESULT IN HIGHER THAN EXPECTED DEFLECTION AND IMPACT LONG-TERM PERFORMANCE.
10. ANY STORM SEWER 48 INCHES OR SMALLER LOCATED UNDERNEATH OR WITHIN 1 FOOT OF A PAVING SECTION SHALL BE BEDDED AND BACKFILLED WITH 2 SACK CEMENT STABILIZED SAND.

**HDPE STORM BEDDING
AND BACKFILL DETAIL**

WALKER COUNTY

SCALE: NTS 05/16/2025

HDPE IS NOT PERMITTED UNDER
A PUBLIC OR PRIVATE STREET

THIS DETAIL IS A MINIMUM STANDARD. THE FINAL DETAIL SHALL BE DESIGNED, SIGNED, & SEALED BY A PROFESSIONAL ENGINEER.

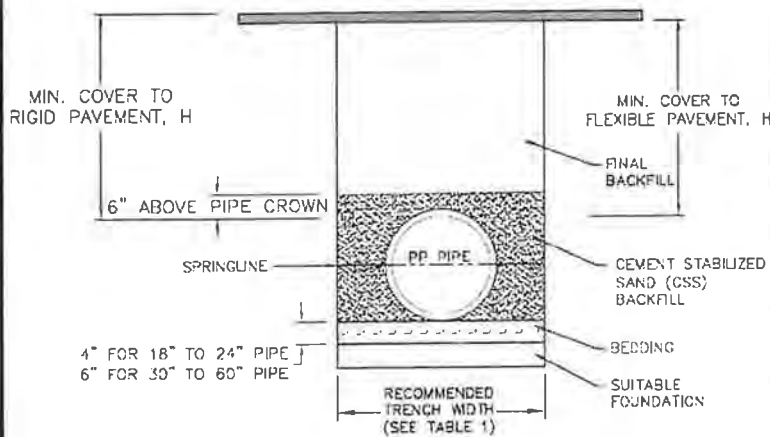


TABLE 1
MINIMUM TRENCH WIDTHS AND MAXIMUM FILL HEIGHTS

PIPE DIAM.	MIN. TRENCH WIDTH	MAX. FILL HEIGHT
18" (450mm)	45" (1143mm)	21.0' (6.4m)
24" (600mm)	52" (1321mm)	18.5' (5.6m)
30" (750mm)	60" (1524mm)	18.5' (5.6m)
36" (900mm)	78" (1981mm)	15.5' (4.7m)
42" (1050mm)	83" (2108mm)	15.0' (4.6m)
48" (1200mm)	90" (2286mm)	14.0' (4.3m)

NOTES:

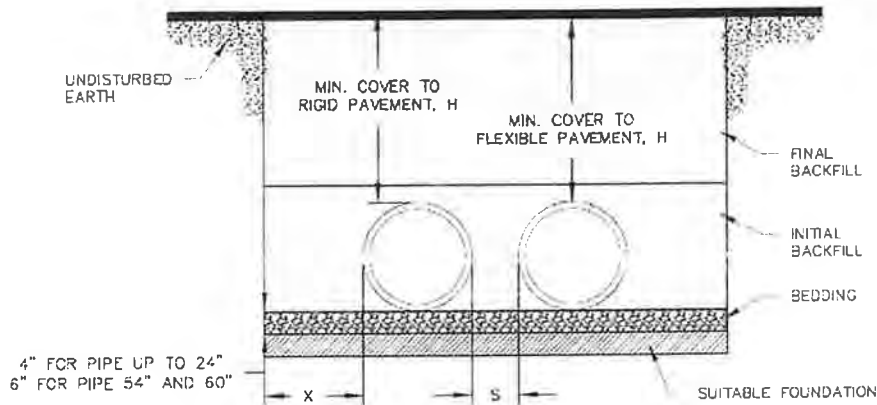
1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS". LATEST ADDITION. NATIVE SOILS SHALL BE OF ADEQUATE STIFFNESS TO WITHSTAND A VERTICAL CUT WITHOUT MATERIAL SLOUGHING. CEMENT-STABILIZED SAND (CSS) EMBEDMENT REQUIRES PLACEMENT IN MAXIMUM 6" (150mm) LIFTS COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D558, WITH MOISTURE CONTENT ON THE DRY SIDE OF OPTIMUM BUT SUFFICIENT FOR EFFECTIVE HYDRATION.
2. CSS SHALL HAVE A MIX DESIGN OF ADEQUATE FINAL STRENGTH TO CARRY ALL LIVE AND DEAD LOADING BUT ALLOW FOR ANY FUTURE EXCAVATION. THE MIXTURE SHALL CONSIST OF NO LESS THAN 1.1 SACKS OF TYPE 1 PORTLAND CEMENT (CONFORMING TO ASTM C 150) PER ONE TON OF SAND (CONFORMING TO ASTM C 33), RESULTING IN A MINIMUM UNCONFINED COMPRESSIVE STRENGTH OF 100 PSI WITHIN 48 HRS OF SET TIME.
3. CSS SHOULD NOT BE PLACED WHEN TEMPERATURES ARE BELOW 40°F, AGAINST FROZEN TRENCH MATERIAL OR WHEN APPRECIABLE PRECIPITATION IS FORECASTED DURING PLACEMENT.
4. **FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
5. **BEDDING:** SUITABLE MATERIAL SHALL BE CSS, OR CLASS I OR II PER ASTM D2321. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 18"-24" DIAMETER PIPE (450mm-600mm); 6" (150mm) FOR 30"-48" (750mm-1200mm) DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED.
6. **FINAL BACKFILL:** THE CSS BACKFILL SHALL BE ALLOWED TO CURE AT LEAST 4 HOURS TO REACH AN INITIAL SET STRENGTH PRIOR TO PLACING SOIL ABOVE THE PIPE EMBEDMENT. ADDITIONAL CURE TIME MAY BE REQUIRED BASED ON THE OVERALL FINAL FILL HEIGHT.
7. **MINIMUM COVER:** IN UNPAVED AREAS, MINIMUM COVER, H, IS 12" (450mm) FOR PIPES UP TO 48" (1200mm) IN DIAMETER. IN PAVED AREAS, MINIMUM COVER IS 12" (300mm) FOR PIPES UP TO 48" (1200mm) IN DIAMETER. H IS MEASURED FROM THE TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT, ASSUMING HL-93 LOADING.
8. **MAXIMUM COVER:** MAXIMUM COVER(S), H, ARE LISTED ABOVE IN TABLE 1. THESE VALUES ARE BASED ON A MINIMUM 4 HR SET TIME OF THE CSS BACKFILL PRIOR TO ANY SOIL PLACEMENT ABOVE THE BACKFILL ENVELOPE. SET TIMES LESS THAN 4 HR MAY RESULT IN HIGHER THAN EXPECTED DEFLECTION AND IMPACT LONG-TERM PERFORMANCE. NATIVE SOILS ARE ASSUMED TO BE SOFT COHESIVE CLAYS, AND GROUND WATER LEVELS ARE ASSUMED TO BE AT THE SPRINGLINE OF THE PIPE. STRONGER NATIVE SOILS OR HIGHER GROUNDWATER LEVELS WILL AFFECT THE VALUES LISTED IN THE TABLE.
9. ANY STORM SEWER 48 INCHES OR SMALLER LOCATED UNDERNEATH OR WITHIN 1 FOOT OF A PAVING SECTION SHALL BE BEDDED AND BACKFILLED WITH 2 SACK CEMENT STABILIZED SAND.

**POLYPROPYLENE
STORM BEDDING AND
BACKFILL DETAIL**

WALKER COUNTY

SCALE: NTS 06/16/2025

THIS DETAIL IS A MINIMUM STANDARD. THE FINAL DETAIL SHALL BE DESIGNED, SIGNED, & SEALED BY A PROFESSIONAL ENGINEER.



MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM	SURFACE LIVE LOADING CONDITION	
	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
18" - 48" (450mm - 1200mm)	12" (305mm)	48" (1219mm)

* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

PIPE DIAM	MIN. "X"	MIN. "S"
18" (450mm)	14" (356mm)	12" (305mm)
24" (600mm)	14" (356mm)	12" (305mm)
30" (750mm)	18" (457mm)	15" (381mm)
36" (900mm)	21" (533mm)	18" (457mm)
42" (1050mm)	21" (533mm)	21" (533mm)
48" (1200mm)	21" (533mm)	24" (610mm)

MINIMUM SPACING "S" MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER

NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. **FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. **BEDDING:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-48" (750mm-1200mm).
5. **INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING TO THE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. **MINIMUM COVER:** MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
7. ANY STORM SEWER 48 INCHES OR SMALLER LOCATED UNDERNEATH OR WITHIN 1 FOOT OF A PAVING SECTION SHALL BE BEDDED AND BACKFILLED WITH 2 SACK CEMENT STABILIZED SAND.

**PARALLEL HDPE/PP
PIPE STORM BEDDING
AND BACKFILL DETAIL**

WALKER COUNTY

SCALE: NTS 06/16/2025

HDPE IS NOT PERMITTED UNDER
A PUBLIC OR PRIVATE STREET

THIS DETAIL IS A MINIMUM STANDARD. THE FINAL DETAIL SHALL BE DESIGNED, SIGNED, & SEALED BY A PROFESSIONAL ENGINEER.

Resolution & Order # 2026-22

THE STATE OF TEXAS

§

§

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF WALKER

§

THAT ON THIS, the **29th day of December, 2025**, the Commissioners Court of Walker County, Texas, met in duly called and convened lawful Session at the County Courthouse in Huntsville, Texas, with the following members present:

Colt Christian
Danny Kuykendall
Ronnie White
Bill Daugeette
Brandon Decker

County Judge
Commissioner, Precinct One
Commissioner, Precinct Two
Commissioner, Precinct Three
Commissioner, Precinct Four

And at said meeting, among other business, came up for consideration and adoption the following Resolution and Order:

WHEREAS, the Commissioners Court of Walker County, Texas, has, after proper notice, held a public hearing concerning a proposed revision of the Walker County Subdivision Regulation; and

WHEREAS, after soliciting the public's comments, the Commissioners Court finds that the adoption of revised Regulations will be in the public interest;

NOW THEREFORE BE IT RESOLVED, that the Walker County Commissioners Court hereby adopts the attached document as the revised Walker County Subdivision Regulations and *orders* that they be in full force and effect on **December 29, 2025** ; and

FURTHER RESOLVED, that County Judge Colt Christian be, and is hereby authorized to sign this Resolution and Order as the act and deed of the Walker County Commissioner's Court.

The foregoing Resolution and order was lawfully moved by Commissioner _____, duly seconded by Commissioner _____, and duly adopted by the Commissioners Court on a vote of ____ () members for the motion and ____ () member(s) opposed with no commissioner(s) being absent from the dais.

Colt Christian
County Judge, Walker County, Texas

DATE: _____

Danny Kuykendall
Commissioner, Precinct One, Walker County, Texas

Ronnie White
Commissioner, Precinct Two, Walker County, Texas

Bill Daugeette
Commissioner, Precinct Three, Walker County, Texas

Brandon Decker
Commissioner, Precinct Four, Walker County, Texas

TEXAS DEPARTMENT OF WATER RESOURCES

P.O. BOX 13087
CAPITOL STATION
AUSTIN, TEXAS 78711



AREA CODE 512
475-3187

License No. 6994

Inspection Zone North 512-N01-0090 Date Issued March 13, 1986

This License is authorization for the below-named Licensee to operate a sewage disposal system in the location specified and as described in Application No. 13109

for a 10 Month period as long as Licensee complies with all the requirements of Rules 157.31 of the Texas Department of Water Resources.

Green Rich Shores
Section 3
Block N/A
Lot 312

TEXAS DEPARTMENT OF WATER RESOURCES

For Executive Director

Theodore P. Nycoff

[Redacted signature]

[Redacted signature]

FINAL INSPECTION SHEET

Name: Theodore F. Wycoff

File #: 512-N01-0090

Subdivision: Green Rich Shores

Application #: 13109

Section: 3 Block: N/A Lot: 312

Time Requested: _____

Location if Not In Subdivision: _____

EXISTING SYSTEM: _____

PERCOLATION TEST REQUIREMENTS:

Minimum Tank Capacity: 750 gallons

Minimum Drainfield Dimensions: 18" x 420 ', 24" x 315 ', 30" x 250 ', other: _____

Minimum Absorption Bed: 1125 square feet

INSTALLED TANK SPECIFICATIONS:

Capacity: 800 gallons

Material: concrete fiberglass plastic other: _____

Inlet and Outlet "T" Branches: yes

INSTALLED DRAINFIELD SPECIFICATIONS:

Width: 30 ", Length: 250 ', Trench Depth: _____ "

Pipe Material: PVC SBA2 other: _____

Gravel Depth: 1 '

Cover Material: hay newspaper butcher paper other: _____

Backfill Material: original soil sand sandy loam other: _____

Level: yes

Absorption Bed Dimensions: _____

Weather Conditions: dry damp wet rainy

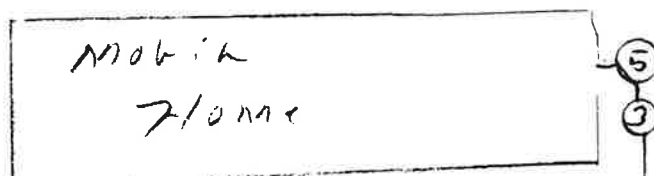
Remarks: _____

Contractor: Oris McGillsberry

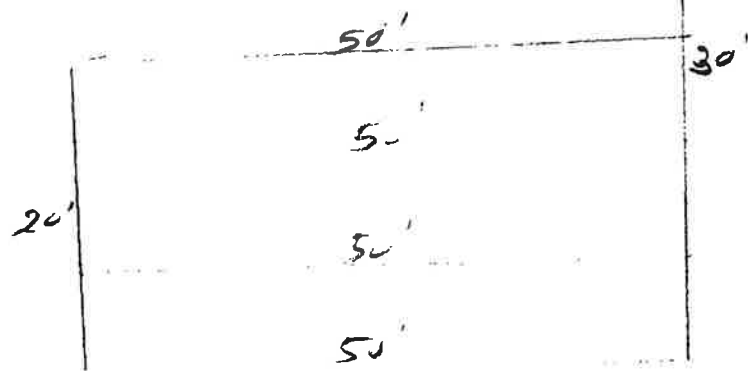
Inspector: Marni Taylor Date: 3-11-84

10 months

P.L.



P.L.



STREET

Trinity River Authority of Texas



Lake Livingston Project

December 10, 1985

Theodore F. Wycoff
[REDACTED]
[REDACTED]

Re: Percolation Results and Authorization for Construction
Green Rich Shores Section 2, Block N/A, Lot 312

Dear Mr. Wycoff:

This is your authorization for construction of a Septic System applied for in Application #13109. Enclosed you will find the results of the Percolation Test along with your receipt for the \$40.00 covering the Percolation Test, Application, Inspection and License Fees.

The results of this Percolation Test indicate the minimum requirements as based upon the Texas Department of Health Resources' "Guide to the Disposal of Household Sewage". Recommendation of these minimum requirements provides no guarantee that the installation of this size septic system will remain functional at all times. These results are to be used only as minimum guidelines and the installation of additional capacity is highly recommended. Drainfield must be installed 10' from adjacent property lines. Please note, if your property is waterfront, the drainfield must be 75' from the waters edge at the normal pool level of 131' msl.

When your construction has reached near completion and before covering of drainfield lines and septic tank, please notify us for inspection so that a license can be issued.

Thank you for your interest in Lake Livingston.

Sincerely,

Cheri Lynn Aubrey
Permit Administrator, Lake Livingston

Enclosures-2

P.O. Box 360
Livingston, Texas 77351
(409) 365-2292



Trinity River Authority of Texas
Lake Livingston Project

P. O. Box 360
Livingston, Texas
77351

File # _____

Application No. 1709

PERCOLATION TEST RESULTS

Name of Applicant Shedden, Franklin W. & Co.
Property Location: County Walker Subdivision Greenwood
Sec. 3 Block N/A Lot 312 Description if other than subd. _____

Results of Percolation Test:

Date Test Commenced 12-5-85

Date Test Completed 12-6-85

Number of Test Holes 6

Size Holes 6" x 36" Average Percolation Rate 31/45 Min/inch

Test Hole:

No. 1 75 No. 2 75 No. 3 75 No. 4 _____ No. 5 _____
No. 6 _____ No. 7 _____ No. 8 _____

Minimum Requirements: Length and Width of Drainfields

18" x 420' 24" x 315' 30" x 250' 36" x _____

750 Gallons Total Capacity Septic Tank(s)

Minimum Square Footage:

Location of Test:

Drainline 625' x 8'

Absorption Bed 1125' x 8'

Percolation Test Made By: _____



Trinity River Authority of Texas

LAKE LIVINGSTON PROJECT

Serving as an agent of the Texas Department of Water Resources

P. O. Box 360
Livingston, TX 77351

A/C 409
365-2292

13109

Application For Septic System or Holding Tank License

I hereby make application to install and operate a septic system or holding tank within the 2,000 foot Water Quality Zone as designated by Order No. 77-0714-1 of the Texas Department of Water Resources, passed and approved July 14, 1977.

NAME OF APPLICANT WYCOFF THEODORE FRANKLIN
(Last) (First) (Middle)

HOME ADDRESS [REDACTED]
(Street, P.O. Box) (City) (State) (Zip Code)

HOME TELEPHONE NO. [REDACTED] BUSINESS TELEPHONE NO. [REDACTED]

LOCATION OF PROPOSED CONSTRUCTION: COUNTY WALKER

SUBDIVISION GREENRICH SHORES SECTION 22 BLOCK NA LOT 312

DESCRIBE LOCATION IF NOT IN SUBDIVISION NA

LOT DIMENSIONS 90' X 180'

TYPE OF CONSTRUCTION SINGLE FRAME COMMERCIAL () DWELLING (X)

NO. OF BEDROOMS 2 NO. OF BATHROOMS 2

GARBAGE DISPOSAL 1 WASHING MACHINE 1 DISHWASHER 1

SEPTIC SYSTEM: PROPOSED (X) EXISTING () HOLDING TANK ()

If existing system complete the following items:

SIZE OR DIMENSION OF TANK NA

DRAINFIELD: A. WIDTH OF DRAINFIELD DITCH _____

B. TOTAL LENGTH OF DRAINFIELD _____

C. TOTAL TRENCH BOTTOM AREA OF DRAINFIELD (Length x Width) _____

D. DRAINFIELD DISTANCE FROM WATER'S EDGE (131 ft. MSL) _____

Authorization is hereby given to the Trinity River Authority of Texas, Texas Department of Water Resources and the Texas Department of Health Resources or their agents or designees, singularly or jointly, to enter upon the described property for the purpose of making soil percolation test, inspecting septic systems or for any reason consistent with the water quality programs of the Trinity River Authority of Texas, The Texas Department of Water Resources or the Texas Department of Health Resources.

Signature of Applicant [Signature] Date 7/1/75

VARIANCE REQUEST TO ON-SITE SEWAGE FACILITY REGULATIONS OF WALKER COUNTY, TEXAS

Copy all pages of this form and all attachments for (1) community official, (2) building owner.
If any section is not applicable to the proposed development project please mark that section "NA"

SECTION A – PROPERTY INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Name <i>Sherman Scott</i>	Application Number <i>2025-0408</i>	
A2. Building/Site Street Address <i>[Redacted] Fm 405</i>	Date of Submittal <i>12-10-25</i>	
City <i>Dodge</i>	State <i>TX</i>	ZIP Code <i>77334</i>
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <i>House site 1 mile off of Fm 405 and it's on 1/100 Acres</i>		
<p>THE ABOVE NAMED PERMIT APPLICANT DOES HEREBY MAKE AN APPEAL TO THE COMMISSIONER'S COURT OF WALKER COUNTY FOR A VARIANCE TO THE CONDITIONS OF PERMIT APPROVAL, REGULATORY REQUIREMENTS, AND/OR CONSTRUCTION STANDARDS REQUIRED BY THE WALKER COUNTY ON-SITE SEWAGE FACILITY REGULATIONS.</p>		
SECTION B – OTHER VARIANCE (All Variance requests need to include the specific variance along with the Section(s) of the Regulation to which they apply)		
B1. A Variance is requested to Section(s) <u><i>P00004</i></u> of the On-site Sewage Facility Regulations of Walker County, Texas and / or TAC 30, Chapter 285 as follows: <div style="border-bottom: 1px solid black; height: 15px; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; height: 15px; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; height: 15px; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; height: 15px; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; height: 15px; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; height: 15px; margin-bottom: 5px;"></div>		
SECTION C – JUSTIFICATION AND PRESENTATION OF FACTORS EFFECTING VARIANCE (This section must be completed by a Registered Sanitarian or Engineer.)		
C1. Is the variance being requested for a new on-site sewage facility, or for the modification of an existing OSSF? New _____ Existing <input checked="" type="checkbox"/>		
C2. Has the proposed OSSF been installed prior to the request for or approval of a variance? Yes <input checked="" type="checkbox"/> Existing _____		

Initial *SS vrb*

C3. Please explain the cause or reason the variance is being requested (attach additional pages as "Exhibit E"):

House was started in the late 70's
But was not finished till 1982. No
one lives full time in this House, used
for vacation only

C4. In the opinion of the below signed Registered Sanitarian or Registered Engineer responsible for the preparation of the planning materials that include the variance, will the on-site wastewater facility including the variant methods or installation measures requested provide conditions that will provide equivalent or greater protection of the public health and the environment by variant means?

Yes ☒

No ☐

Please explain below:

The septic has always been maintained
And I have proof of maintenance

C5. Is the OSSF for which the variance is being requested being installed on an existing small lot or tract created before January 1, 1998?

Yes ☐

No ☒

C6. Is the variance being requested for a separation distance?

Yes ☐

No ☒

If the answer to question C6 is "Yes", then does the below signed Sanitarian or Engineer certify that to the best of his/her knowledge and ability that the provisions of TAC 30, Chapter 285 cannot be met on the site without the grant of a variance?

Yes ☐

No ☐

CERTIFICATION OF REGISTERED SANITARIAN OR ENGINEER

I, the below signed Engineer / Sanitarian do hereby certify that I have reviewed the planning materials and plans for the subject on-site sewage facility and have answered the questions in Section C to the best of my ability and in conformance with standard principles and practices. I further understand that my professional opinion may be relied upon for the issuance of a variance to the local order pertaining to on-site sewage facilities as it relates to equivalent protection of public health and safety and the environment, and a license to operate a system under said regulations.

Signature of Sanitarian/Engineer

Wendell B. Baker

Date

12/9/25

Printed Name of Sanitarian/Engineer

Wendell BAKER

License #

RS
3523



Initial WB

NOTICE

ALL INSTALLATION AND OPERATION OF THE ON-SITE SEWAGE FACILITY AND/OR ASSOCIATED DEVELOPMENT MUST BE IN STRICT COMPLIANCE WITH THE VARIANCES STATED HEREIN AND OTHER CONDITIONS STATED ON THE DEVELOPMENT PERMIT. ANY VARIATION WILL RESULT IN IMMEDIATE SUSPENSION OR TERMINATION OF THIS VARIANCE AND THE LICENSE TO OPERATE THE ON-SITE SEWAGE FACILITY. FLAGRANT VIOLATION OF THE CONDITIONS OF THIS VARIANCE MAY RESULT IN THE COMMISSIONER'S COURT SEEKING INJUNCTIVE RELIEF, CIVIL, OR CRIMINAL PENALTIES.

WARNING

THE GRANTING OF A VARIANCE IS LIMITED TO THE PERMITTING STANDARDS AND LOCAL REGULATORY STANDARD ONLY. THE APPLICANT ACKNOWLEDGES THAT HE/SHE IS RESPONSIBLE TO ENSURE THAT ANY VARIANCE DOES NOT DAMAGE OR THREATEN THE HEALTH OF OCCUPANTS OR NEARBY PROPERTIES OR PROPERTY OWNERS, AND COMPLIES WITH ALL OTHER MINIMUM LOCAL, STATE, AND FEDERAL REGULATIONS.

DISCLAIMER

THE COMMISSIONER'S COURT OF WALKER COUNTY AND ANY OFFICER OR EMPLOYEE OF WALKER COUNTY ARE NOT LIABLE FOR DAMAGES OR INJURIES RESULTING FROM A PERMIT FOR WHICH THIS VARIANCE IS GRANTED.

I, _____, do hereby acknowledge that I have reviewed the provisions, warnings, notices, and disclaimers stated above and that I understand them agree with them and intend to comply fully with them. I am fully aware that Walker County is not liable for damages resulting from the use of the on-site sewage facility or regulatory variance as approved for my property or facility. I further accept full responsibility for the risks, if any, associated with this variance. I also certify that the facts presented in this application are true, and that in the event I sell this property or structure in the future, that I will give notice of the variance to the purchaser prior to sale.

Signature of Owner/Applicant

Date



12-9-25

SECTION D – ACTION ON VARIANCE BY COMMISSIONER'S COURT

After careful consideration of the reasons for the request of variance, the Commissioner's Court of Walker County, Texas has determined that it is within the scope of Section 13 as outlined in the Walker County Order Adopting Rules for On-Site Sewage Facilities to _____ this request for variance.

This variance will expire in 12 months if the related license to operate is not issued within prior to that date.

Commissioner's Court Signature

Printed Name

Date

A-Plus Septic and Environmental Services

Wendell Baker Jr, B.S., R.S.

Phone: (936) 291-6707
Fax: (936) 291-6097

55 Darrell White Road
Huntsville, TX 77340

*Site Evaluation, Septic System Design, Aerobic Treatment System Design
Septic System Inspections*

November 20, 2025

On November 20, 2025 I inspected 2 septic systems at [REDACTED] FM 405, Huntsville, Texas. These were older systems on 2 occupied residents not on record. The system components are functional and well maintained. (See property ID tax records, Attachments 1 thru 5)

- These systems are 1 tank conventional systems with field drain line
- The inspection of the drain field revealed the systems are functioning properly, no indication of wastewater surfacing, no unusual vegetation, or prior complaints.
- The systems meets all property line TCEQ setback requirements.

Additionally I inspected a site originally permitted in 2019 (#2019-0204) but this install was never started and the project was canceled. See Attachment 6 a diagram with a markup of the original planned system.

This evaluation is based upon an on-site inspection of the septic system as found. There are no guarantees, expressed or implied, that accompany this opinion. I am an environmentalist, certified as a Registered Sanitarian and trained to the inspector level through the State of Texas, in on-site wastewater disposal.

Sincerely,



Wendell H. Baker Jr.

Pid 11942

SCOTT, WILTON

18-114-0260

TR 26

722110
114722.10

77001

Lm. 195740 1-

A=18 DULE, L
NTH=616 164920
P=

R 82

Worked by TI MKT VAL 414,250 AG AC 722.10
Audited by AVG PER AC 379 TI AC

ACRES	MKT/V	PRD/V	EXEMPT
Imp/P	-	-	-
Nat/P <u>722.10</u>	<u>414,250</u>	<u>382.71</u>	<u>375,980</u>
Wds/P	-	-	-
Ag Ac	Tot Ag/V	-	-
Ti Ac	-	-	-
TOTAL	-	-	-

UNIT	PRESENT COST	% GOOD	MARKET VALUE
------	--------------	--------	--------------

3.00	16,926	70%	
1.50	5,550		

"EXTRAS"

1. Fireplace
2. Bath
3. Driveway
4. Walks
5. Duplex
6. Fence
7. W/S
8. _____

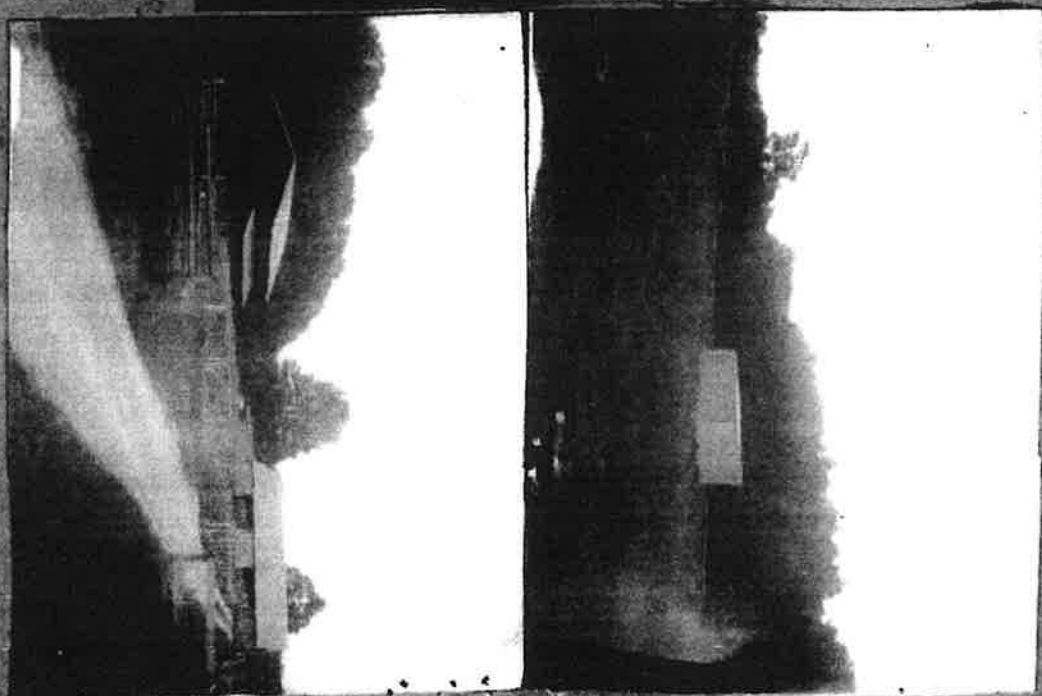
22,476	15,730		

AI

DEPRECIATION CHECK SHEET

	GOOD	AVERAGE	POOR
Actual age	4		
Effective age	5		
Style	0	2	5
Roof cover	0	1	2
Roof line (level or sw)			
Foundation (level or s)			
Paint			
Siding (quality & cond)			
Windows (quality & cond)			
Drainage (P=Damaged)			

The above is for
may vary acc



John Wilton

10-11-4-0263

NEW

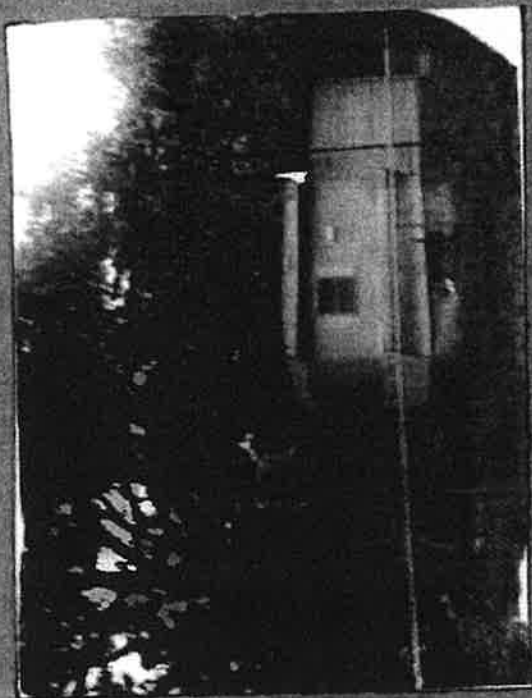


UNIT	PRESENT COST	% GOOD	MARKET VALUE	"EXTRAS"
16.60	20152	65%		1. Fireplace
4.00	576		13473	2. Bath
16.20	17010	50%		3. Driveway
4.00	1680		9345	4. Walks
				5. Duplex
				6. Fence
				7. W/S
				8.
			22820	
			23520	

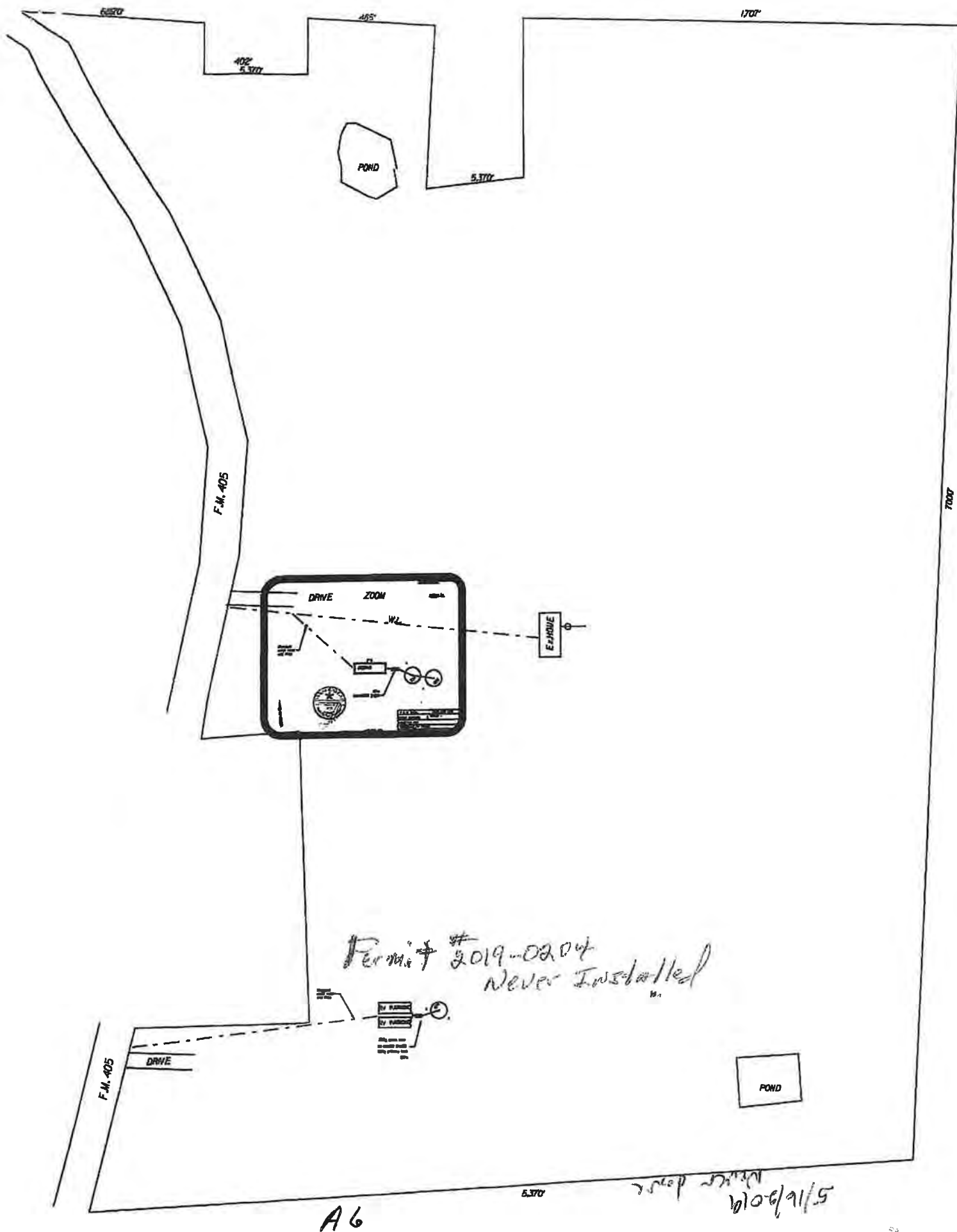
23520

607 House 1

A4

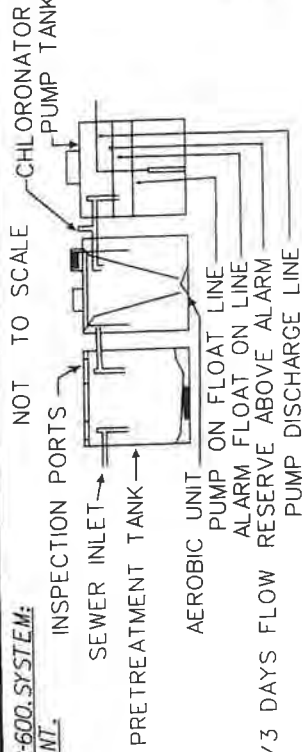


A5



A6

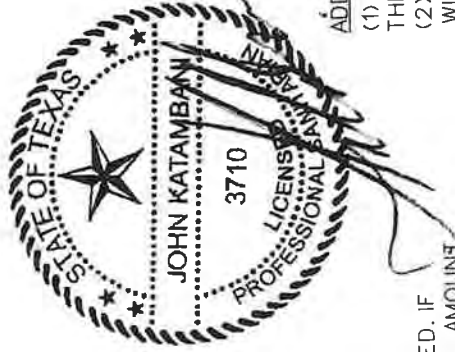
NU WATER B-600 SYSTEM:
OR EQUIVALENT.



1/3 DAYS FLOW

ATTACHMENT: 'A' SYSTEM SPECIFICATIONS.

SEE ATTACHMENT : 'B' FOR SYSTEM DESIGN



NOTE :

- (1) NO IRRIGATION TIMER IS REQUIRED. IF DAILY WATER USAGE EXCEEDS THIS AMOUNT, DESIGN WILL BECOME INVALID.
- (2) PUMP TANK SHALL HAVE BETWEEN 240 GALLONS RESERVE CAPACITY BETWEEN "PUMP ON" AND "ALARM ON" LEVEL. 1/3 DAYS FLOW HOLDING CAPACITY BETWEEN "ALARM ON" LEVEL AND PUMP TANK INLET.
- (3) NO PUBLIC WATER MAINS PER HOME OWNER. THE INSTALLER MUST RELOCATE ALL SUBSURFACE UTILITIES BEFORE CONSTRUCTION.
- (4) IMMEDIATELY AFTER COMPLETION OF INSTALLATION, HOMEOWNER MUST SEED THE SPRAY-FIELD WITH GRASS AND MOW AS NECESSARY TO MAINTAIN OPTIMUM GROWING CONDITION. UNDER NO CIRCUMSTANCES MAY ANY FOOD CROPS BE PLANTED ON THIS AREA.

STRUCTURE

SINGLE FAMILY RESIDENCE
NUMBER OF BEDROOMS

THREE (3) BDRMS<2500sq.ft.

DESIGN PARAMETERS

MAXIMUM DAILY FLOW
APPLICATION RATE
MINIMUM AREA REQUIRED
AREA DESIGNED

80 GALLONS PER DAY
.041
80/.041 = 1951 SQUARE FEET
3019 SQUARE FEET

SYSTEM COMPONENTS BE OF AN APPROVED TYPE OR SPECIFY

PRE TREATMENT TANK
AERATION TANK
PUMP TANK

NU WATER B-600

P-20 1/2 HORSEPOWER
LOW ANGLE SPRAYHEADS
MODEL 120

PIPES FROM THE HOME TO
TREATMENT SYSTEM SHALL
BE OF MADE OF SCHEDULE
40 4" DIAM. AND
HAVE A SLOPE OF 1/8" PER FT.

WATER SUPPLY

PUBLIC

BUFFER REQUIREMENTS

AEROBIC TREATMENT UNIT TO

PRIVATE WATER WELL
PROPERTY LINES
WATER LINES
STRUCTURES

50 FEET
5 FEET
10 FEET
5 FEET

SPRAY FIELD AREA TO

WATER WELLS
PROPERTY LINES
STRUCTURES

100 FEET
20 FEET
NO SEPARATION

ADDITIONAL OSSF NOTES

- (1) THE INSTALLER SHALL VIEW THIS DIAGRAM, AND THE ACTUAL SITE FOR ANY DISCREPANCIES THAT MAY EXIST.
- (2) ALL CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL OSSF CODES.
- (3) ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE MATERIAL ELECTRIC CODE.
- (4) CHLORINATION UNIT MAY BE LOCATED IN LINE BETWEEN THE TREATMENT TANK AND THE PUMP TANK, OR WITHIN THE PUMP TANK.
- (5) THE SANITARIAN IS NOT RESPONSIBLE FOR THE INTERGRATY OF THE SYSTEM TO BE INSTALLED, OR ANY WORKMANSHIP OF THE INSTALLER.
- (6) PAYMENT FOR THIS DESIGN RELEASE THE SANITARIAN OF ALL LIABILITIES THAT MAY ARISE FROM A FAILED SYSTEM.

K & B TECH. (936) 293 1598

SCOTT SHERMAN

PERMIT *

F.M. 405

HUNTSVILLE, TX 77340

1" = 100 FEET

8/28/2025

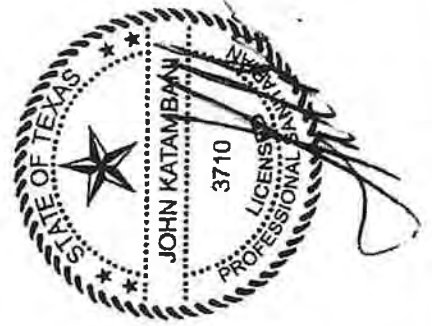
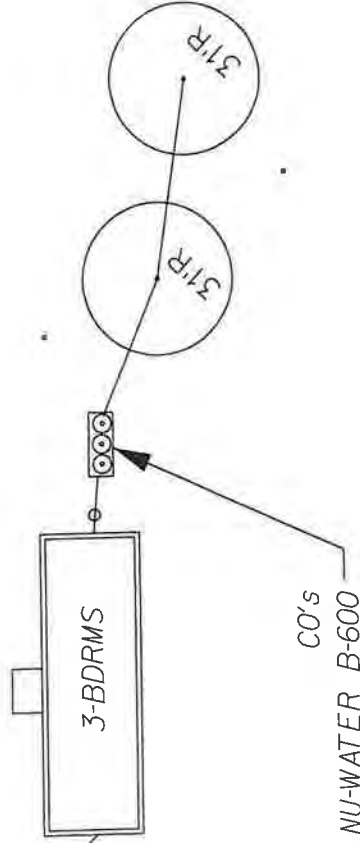
NU WATER B-600 SYSTEM:
OR EQUIVALENT.

Driveway

720.21 Ac.

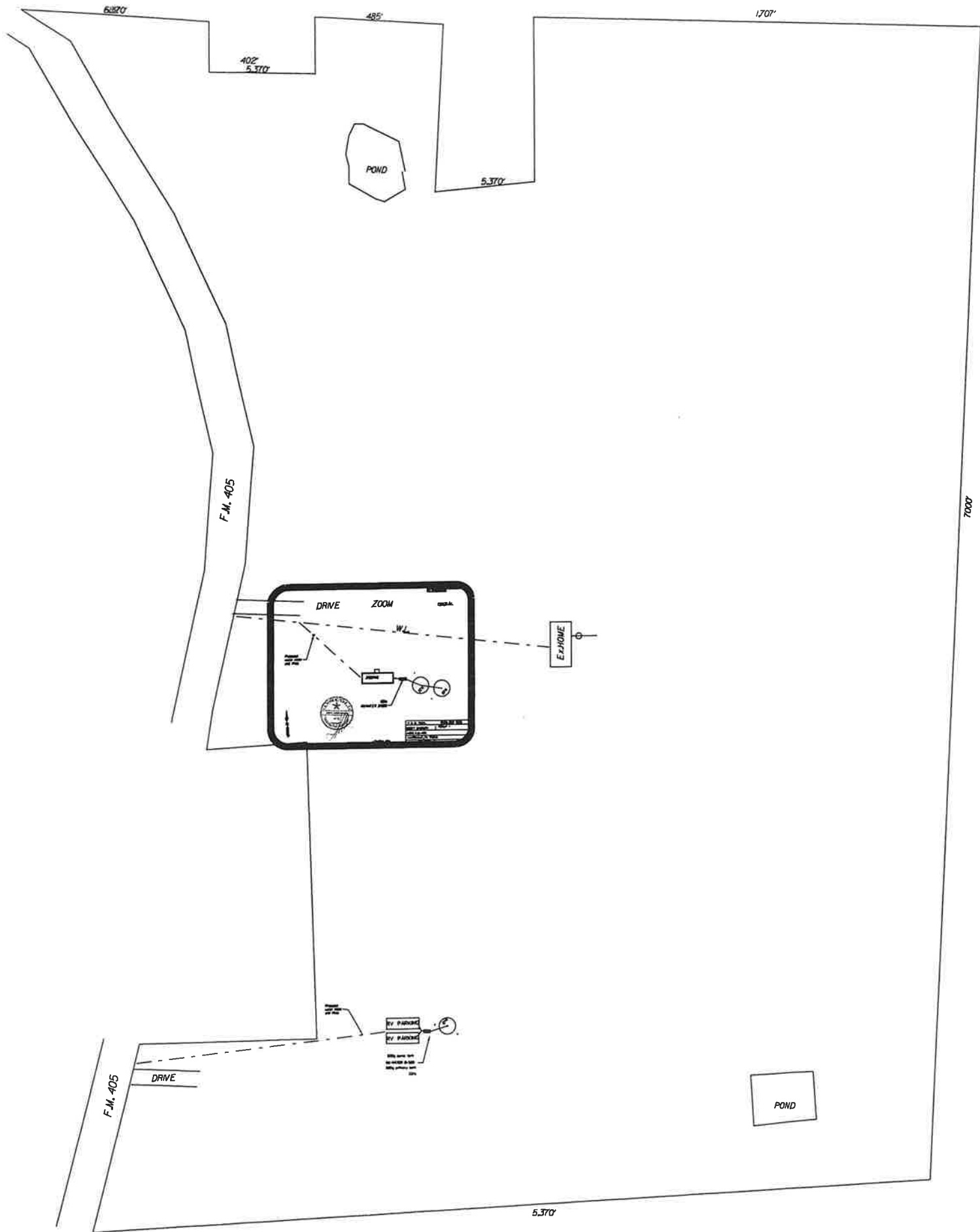
W.L.

Proposed
water meter
and lines



K & B TECH.	(936) 293 1598
SCOTT SHERMAN	PERMIT •
F.M. 405	
HUNTSVILLE, TX 77340	
1" = 75 FEET	8/28/2025

• Boring site



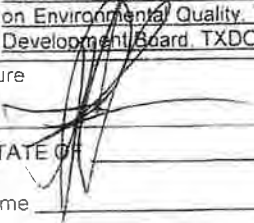

WALKER COUNTY PLAT APPLICATION

If any section is not applicable to the proposed development project please mark that section "NA"
All references to the Walker County Subdivision Regulations will be abbreviated WCSR in this document.

SECTION A – OWNER / APPLICANT INFORMATION		FOR COUNTY USE ONLY
A1 Property Owner's Last Name Polk	A2 Property Owner's First Name Leonard	Application Number: E-2025-026
A3 Mailing Address <div style="background-color: black; height: 20px; width: 100%;"></div>		Date of Submittal 12/15/2025
		Precinct Number:
City <div style="background-color: black; height: 20px; width: 100%;"></div>	State <div style="background-color: black; height: 20px; width: 100%;"></div>	ZIP Code <div style="background-color: black; height: 20px; width: 100%;"></div>
A4. Primary Telephone Number <div style="background-color: black; height: 20px; width: 100%;"></div>	A5. Alternate Phone Number	
A6. Email Address <div style="background-color: black; height: 20px; width: 100%;"></div>	A7 Name of Lienholder (If no lienholder mark "None")	
SECTION B – PROFESSIONAL SERVICES		
<p>Owner shall provide the names of the Professional Engineer, Registered Professional Land Surveyor, and any Authorized Representative for the Plat Application. By including the information of an Authorized Representative on the application the Owner/Applicant agrees that this individual is given authority to sign for, submit, receive, and make any decisions related to the submitted application on behalf of the owner. In the case that the owner wishes to retract this authority, the Owner/Applicant shall submit this retraction in writing to the Planning and Development Office. If no Authorized Representative is named then all communications related to the project will be submitted to the Owner/Applicant. All correspondence, including but not limited to notices, approvals, disapprovals, and conditions are authorized to be sent to any listed Mailing Address or Electronic Mail account.</p>		
B1. Name of Registered Professional Land Surveyor (R.P.L.S.) Carey A. Johnson	B2. Phone Number of R.P.L.S. (936) 756-7447	
B3 Email of R.P.L.S.	B4 Mailing Address of R.P.L.S. 3032 N. Frazier Street Conroe, Texas 77303	
B5. Name of Professional Engineer	B6. Phone Number of P.E.	
B7. Email of P.E.	B7 Mailing Address of P.E.	
B9 Name of Authorized Representative	B10 Phone Number of Authorized Representative	
B11 Email of Authorized Representative	B12. Mailing Address of Authorized Representative	

Initials of Applicant LP

SECTION C – PARENT TRACT PROPERTY INFORMATION <i>Information for the tract or tracts of land that are the subject of the plat application</i>			
C1. Is the property located within the city limits of Huntsville, New Waverly, or Riverside? (Mark with "X")		*Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
<i>*If the answer to C1 is "Yes" then the applicant will need to apply to the City having jurisdiction.</i>			
C2. Is the property within two miles of the City of Huntsville? (Mark with "X")		*Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
<i>*If the answer to C2 is "Yes" then the applicant will need to submit any plat applications to the City of Huntsville</i>			
C3. Is the property within 1/2 mile of the City of New Waverly? (Mark with "X")		Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
<i>The Abstract, Tract #, and Survey Name are generally included in the property description on the deed, the Geographic Id # can be obtained from the Walker County Appraisal District, the Appraisal District Map or the most recent property tax statement issued for the property. If a property is in a platted subdivision items B10 – B13 must be filled out using information from the property deed, if not in a platted subdivision mark these sections "NA"</i>			
C4. Property Acreage 10.01	C5. Appraisal Geographic ID # 7075-001-0-06200	C6. Survey Name John Bethea	C7. Abstract # A-90
Section C8 – C11 are for Amending Plat and Replat Applications only.			
C8. Subdivision Name		C9. Lot #s	C10. Block #
			C11. Section #
C12. Deed Record Filing Information for Parent Tract (s) (WCDR and WCOPR are the record sets of the County Clerk - Mark the record set with an "X") If more than one tract please indicate multiple deeds			
Volume / Document #	Page	<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)
Inst. 102250		<input checked="" type="checkbox"/>	Walker County Official Public Records (WCOPR)
		<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)
Volume / Document #	Page	<input type="checkbox"/>	Walker County Official Public Records (WCOPR)
		<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)
Volume / Document #	Page	<input type="checkbox"/>	Walker County Official Public Records (WCOPR)
		<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)
Volume / Document #	Page	<input type="checkbox"/>	Walker County Official Public Records (WCOPR)
		<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)
Volume / Document #	Page	<input type="checkbox"/>	Walker County Official Public Records (WCOPR)
		<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)
SECTION D – APPLICATION TYPE <i>Please choose a single application type from the list below and mark with an "X".</i>			
D1. _____ Plat Application (This application is required for all plat applications including improvements or including more than 4 lots)			
D2. _____ Minor Plat Application (This application is required for minor subdivisions with no proposed infrastructure and 4 or less lots.)			
D3. _____ Re-Plat / Amending Plat Application (This application is required to alter or amend a previously platted subdivision)			
D4. <u>A2.2.1</u> Exception Application (This application is required in order to obtain approval for subdivisions excepted from the WCSR)			
SECTION E - REQUEST FOR A GUIDANCE REVIEW			
The request for a guidance review is only allowable if an application is submitted incomplete. The guidance review is voluntary and must be requested by the owner/applicant below and authorized by the County. This review of the submitted documents prior to a complete application is outside the standard review timelines, however the applicant/ owner may proceed to submit a complete application without awaiting the results of this review. If at any time during the Guidance Review process a completed application is submitted then the Guidance Review will cease, and the incomplete results of the review will not be forwarded to the applicant. Any deficiencies or comments released as part of the guidance review are not to be considered as a final review, but are collected to assist the owner and owner's agents in their efforts to comply with the regulations.			
E1. The Developer/Owner does hereby voluntarily make a request for a "Guidance Review" of the application if the application is found to be incomplete.		X	Yes, a review is requested
			No, a review is not requested

SECTION F – SUBDIVISION APPLICATION DETAILS <small>(The # of Proposed Lots shall include any Reserve or Remainders Created by the Subdivision)</small>			
F1. Original Acreage 2011.085	F2. Original # of Tracts 1	F3. # of Proposed Lots 2	F4. Proposed Name of Subdivision
SECTION G – ENGINEERING AND PROPOSED IMPROVEMENTS			
G1. Will the proposed subdivision utilize a public water system?			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
G2. Will the proposed subdivision utilize individual on-site sewage facilities?			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
G3. Will the proposed subdivision include the construction of road, drainage, or other improvements regulated by the WCSR?			<input type="checkbox"/> Yes * <input checked="" type="checkbox"/> No
G4. If the answer to G3 is "Yes" then what is the estimated cost of construction of all regulated improvements?			
G5. If the answer to G3 is "Yes" then what is the approximate length of all proposed roads in linear feet?			
G6. Will the proposed subdivision access from or across a Texas Department of Transportation system road?			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SECTION H – CERTIFICATIONS AND ACKNOWLEDGEMENTS			
<p>I, the below signed individual, am the legal owner or legal representative of the owner of the property described in this application, and do hereby certify that the information contained in this application is a true and correct under penalty of law. The below signature further represents my understanding, agreement, and acceptance of the following items:</p> <ol style="list-style-type: none"> 1. Authorization is hereby given to Walker County and its representatives to enter onto the private property described in the application for the purpose of inspection and regulation related to this application and the applicable regulations. 2. I have read and understand the requirements of the Walker County Subdivision Regulations, and understand it is my responsibility to comply with all the requirements therein. 3. The completion and acceptance of this application by Walker County in no way shall be construed as a guarantee that the proposed construction will be approved for installation. This application may be rejected as incomplete for 10 business days after the original submittal of the application at any point without any refund of the application fee. This includes that no refund shall be given for applications submitted incomplete or applications withdrawn. The applicant also recognizes that additional resubmittals, applications, or responses after the initial application may result in a fee increase to the original application fee, and that any increase in the fee must be paid when the additional submittal is submitted. 4. The completion and acceptance of this application is not an authorization to perform any activity. A final approval of the application and approval of the plat for filing must be made in writing prior to any subdivision of property or filing of any plat. I understand that any approvals made related to this application are made subject to the minimum requirements of the Walker County Subdivision Regulations. 5. If no direct variance is granted to the Walker County Subdivision Regulations or other State or Federal requirements then no approval under this application shall be construed to provide a waiver to compliance with those regulations and the Owner/Applicant is still fully responsible for compliance with said regulations. 6. The fee for the subdivision applications may be calculated based on variable factors including cost of construction, number of lots, length of road centerline, and the quantity of revisions, replacement applications, and responses. The initial calculated fee charged at the original submittal may increase during the application timeline if any of these variables change or are calculated in error. Any increase in the fee must be paid as part of any submittal of a revision, replacement, or response to an application. 7. I hereby release, indemnify, and hold harmless Walker County and its employees and agents for any and all claims, costs, or liabilities, expressly including alleged negligence, or for any damages to property or persons arising from the inspection, construction, development design, or review related to this application or occurring under any permit issued in relation to this application. I understand that I and my agents are completely and wholly responsible for the design and construction of all necessary improvements to local, State, and Federal Standards. 8. <u>I certify that all necessary permits from those Federal, State, or local government agencies (including but not limited to Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334 (Corps of Engineers), Texas Commission on Environmental Quality, Texas Historical Commission, United States Fish and Wildlife (Endangered Species), Texas Water Development Board, TXDOT, and City Approvals, etc.) have been obtained.</u> 			
Signature 		Date 12/17/2025	Printed Name Leonard Polk
THE STATE OF _____ § COUNTY OF _____ § Before me _____ a notary public on this day personally appeared _____ known to me (or proved to me) to be the person whose name is subscribed to the forgoing instrument and acknowledged to me that he executed the same for purposes and consideration there in expressed. Given under my hand and seal of officer this _____ Day of _____ 20__		Initials of Applicant 	



TEXAS PROFESSIONAL SURVEYING, LLC.

3032 N. FRAZIER STREET, CONROE, TEXAS 77303
(936)756-7447 FAX (936)756-7448
FIRM REGISTRATION No. 100834-00

FIELD NOTE DESCRIPTION
TRACT 62
10.01 ACRES
IN THE JOHN BETHEA SURVEY, ABSTRACT NUMBER 90
WALKER COUNTY, TEXAS

BEING a 10.01 acre tract of land situated in the John Bethea Survey, Abstract Number 90, Walker County, Texas, being a portion of that certain called 2011.085 acre tract described in instrument to Pineywoods Ranch Partners, LLC, recorded under Instrument Number 72834 of the Official Records of Walker County, Texas, (O.R.W.C.T.), said 10.01 acre tract being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod with cap stamped "TPS 100834-00" set in the approximate centerline of Bo Brown Road and an easterly line of said 2011.085 acre tract, being the northeasterly corner of the herein described 10.01 acre tract for the **POINT OF BEGINNING**, from which a 4 inch round concrete monument with 3 inch disk found in the apparent northwesterly line of the John Bethea Survey, Abstract Number 89, for the apparent common easterly corner of the Harry G. Cern Survey, Abstract Number 123 and the James J. Holcomb Survey, Abstract Number 475, a common corner between said 2011.085 acre tract and that certain called 100 acre tract described in instrument to Pitts 2007 Properties, LTD, recorded under Clerk's File Number 801721 of the Official Public Records of Houston County, Texas (O.P.R.H.C.T.), bears South 75°38'14" West, 9012.81 feet;

THENCE with the approximate centerline of said Bo Brown Road and an easterly line of said 2011.085 acre tract, the following two (2) courses and distances:

1. South 00°46'32" East, 114.05 feet, to a calculated point for corner;
2. South 01°32'25" East, 183.27 feet, to a 1/2 inch iron rod with cap stamped "TPS 100834-00" set for the southeasterly corner of the herein described 10.01 acre tract;

THENCE severing over and across said 2011.085 acre tract, the following three (3) courses and distances:

1. South 87°48'44" West, at a distance of 25.00 feet, pass a 1/2 inch iron rod with cap stamped "TPS 100834-00" set in the westerly margin of said Bo Brown Road for reference, in all, a total distance of 1464.82 feet, to a 1/2 inch iron rod with cap stamped "TPS 100834-00" set for the southwesterly corner of the herein described 10.01 acre tract;
2. North 02°11'16" West, 297.27 feet, to a 1/2 inch iron rod with cap stamped "TPS 100834-00" set for the northwesterly corner of the herein described 10.01 acre tract;

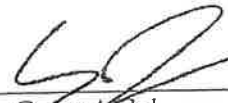
3. North 87°48'44" East, at a distance of 1444.70 feet, pass a 1/2 inch iron rod with cap stamped "TPS 100834-00" set in the westerly margin of said Bo Brown Road for reference, in all, a total distance of 1469.70 feet, to the **POINT OF BEGINNING**, containing a computed area of 10.01 acres of land within this Field Note Description.

This Field Note Description was prepared from a survey performed on the ground on January 20, 2023, by Texas Professional Surveying, LLC., Registered Professional Land Surveyors and is referenced to Survey Drawing Project Number 20794_TR62.

Bearings and distances recited herein are based on GPS observations and are referenced to the North American Datum of 1983 (NAD83), Texas State Plane Coordinate System, Central Zone (4203), grid measurements.

January 27, 2023
Date




Carey A. Johnson
R.P.L.S. No. 6524

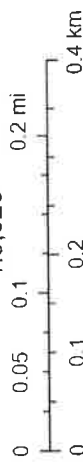
Walker CAD Web Map



9/29/2025, 4:21:31 PM

- ☒ Parcels
- ☐ Texas Counties
- ☐ Abstracts

1:9,028



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

Walker County Appraisal District, BIS Consulting - www.bisconsulting.com
Disclaimer: This product is for informational purposes only and has not been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of boundaries.

VARIANCE REQUEST TO THE SUBDIVISION REGULATIONS
OF WALKER COUNTY, TEXAS

Copy all pages of this form and all attachments for (1) community official, (2) building owner.
If any section is not applicable to the proposed development project please mark that section "NA"

SECTION A – PROPERTY INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Name Waxhaw Premier Properties		Application Number: P-2021-028
A2. Property Owner's Street Address [REDACTED]		Date of Submittal: 10-6-25
City [REDACTED]	State	ZIP Code
A3. Property Owner's Email Address [REDACTED]	A4. Property Owner's Telephone Number [REDACTED]	
A5. Property Description of Parent Tract (Lot and Block Numbers, Legal Description, etc.) Part of the E. C. Alexnder Survey, A-63; the Charles Bowman Survey, A-91 and the John Roark Survey, A-39, Walker County, Texas		
SECTION B – INFORMATION FOR PROPOSED SUBDIVISION TRACT		
(For projects involving multiple map panels an additional sheet may be listed below or included in an additional attachment)		
B1. Survey and Abstract	B2. Tax ID Number(s) of Parent Tract HCAD Property ID: 15766	B3. Deed Volume/Page Instrument No. 2021-64976
B4. Existing or Proposed Name of Subdivision Royal Pines	B5. Is the application for a division of a lot in an Existing Platted Subdivision? (Yes/No) No	
THE ABOVE NAMED APPLICANT DOES HEREBY MAKE AN APPEAL TO THE COMMISSIONER'S COURT OF WALKER COUNTY FOR A VARIANCE TO THE REGULATORY REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF WALKER COUNTY, TEXAS.		
SECTION C – LIST OF ATTACHMENTS		
Please list any supporting documents or submittals included with the variance request as attachments.		
Description of Attachment(s)		Exhibit #
C.1		
C.2		
C.3		
C.4		

SECTION D –VARIANCE REQUEST

(All Variance requests need to include the specific variance along with the Section(s) of the Regulation to which they apply)

D.1 A Variance is requested to Section(s) 6.3 page 16 of the Subdivision Regulations of Walker County, Texas as follows:

All streets without curb and gutters shall have drainage ditches adjacent to and running
parallel to said street or road. Said drainage ditches shall have a usual depth of 18"
below finished roadway with a minimum depth of 12" for short distances on top of hills.
In areas where roadway is in fill section ditches are not required.

SECTION E – APPLICANT'S JUSTIFICATION AND PRESENTATION FACTORS EFFECTING VARIANCE

(All variance requests to the Walker County Subdivision Regulations need to be included along with the Section(s) of the Regulation to which they apply)

E.1 Is the variance related to the design or construction of improvements to be constructed within the subdivision?
Yes ☒ No ☐

If "Yes" the request should be accompanied by an engineer's opinion and justification for the variance.

E.2 Please explain the cause or reason the variance is being requested (attach additional pages as "Exhibit E.2"):
The electric and fiberoptic cables were installed prior to final grading. In an effort to not

compromise these utilities the contractor needed a more shallow ditch. The ditch still carries the
10-year storm runoff required for structures under roadways from section 6.5. The developer
requests to provide 12" ditch depth, at a few isolated locations for short lengths, instead of the
18" depth stated in the regulations.

Engineer's opinion is this does not adversely impact the development and functions hydraulically.

E.3 Will the failure to grant the variance requested result in any exceptional hardship to the applicant?

Yes ☒ No ☐

If yes please explain below:

The power and fiberoptic would have to be uninstalled and then reinstalled.

We have several owners living in the community.

E.4 Does the applicant propose any additional conditions, mitigation, or additional requirements not addressed within the Walker County Subdivision Regulations that will or have been met by the applicant as a condition of the variance being granted?

Yes ☐ No ☒ Please list the additional measures below.

SECTION F –VARIANCE(S) GRANTED		
F.1 A VARIANCE TO THE WALKER COUNTY SUBDIVISION REGULATIONS IS GRANTED AS FOLLOWS:		
<div></div> <div></div> <div></div> <div></div>		
F.2 THE FOLLOWING CONDITIONS ARE ATTACHED TO THE VARIANCE:		
<div></div> <div></div> <div></div> <div></div>		
SECTION G - NOTICE, ACKNOWLEDGEMENT, AND CERTIFICATIONS		
NOTICE		
ALL DEVELOPMENT MUST BE IN STRICT COMPLIANCE WITH THE CONDITIONS STATED HEREIN AND ANY OTHER CONDITIONS STATED WITHIN THE APPLICATION OR DURING THE PRESENTATION TO COMMISSIONERS COURT. ANY VARIATION MAY RESULT IN THE IMMEDIATE SUSPENSION OR CANCELLATION OF THIS VARIANCE. VIOLATION OF THE CONDITIONS OF THIS VARIANCE MAY ALSO RESULT IN THE COMMISSIONERS COURT SEEKING INJUNCTIVE RELIEF, CIVIL, OR CRIMINAL PENALTIES.		
WARNING		
THE APPLICANT ACKNOWLEDGES THAT HE/SHE IS RESPONSIBLE TO ENSURE THAT ANY VARIANCE DOES NOT DAMAGE OR THREATEN THE PUBLIC OR ADJACENT PROPERTIES AND COMPLIES WITH LOCAL, STATE, AND FEDERAL REGULATIONS.		
DISCLAIMER		
THE COMMISSIONER'S COURT OF WALKER COUNTY AND ANY OFFICER OR EMPLOYEE OF WALKER COUNTY ARE <u>NOT</u> LIABLE FOR DAMAGES OR LOSS RESULTING FROM THE GRANTING OF THIS VARIANCE. THIS VARIANCE IS GRANTED IN RELIANCE UPON THE STATEMENTS AND EVIDENCE SUPPLIED BY THE APPLICANT AND HIS/HER AGENTS IN THE APPLICATION AND PRESENTATION TO COMMISSIONERS COURT.		
I, <u>Loren Dickey</u> , do hereby acknowledge that I have reviewed the provisions, notices, warnings and disclaimers stated above and that I understand them, agree with them and intend to fully comply with them.		
Signature of Owner/Applicant		Date
<div>Loren Dickey</div>		10/05/25
SECTION H – ACTION ON VARIANCE BY COMMISSIONER'S COURT		
After careful consideration of the reason(s) for the request of variance, the Commissioner's Court of Walker County, Texas has determined that it is within the scope of the variance procedures as outlined in the Walker County Subdivision Regulations to _____ this request for variance.		
Commissioner's Court Signature	Printed Name	Date
Signature of Owner/Applicant acknowledging conditions after court action.		Date



October 15, 2025

Waxhaw Premier Properties, LLC
5150 Tamiami Trail North, #500
Naples, Florida 34103

239.263.3922

**RE: Royal Pines Subdivision
Walker County, Texas
Variance Request Letter
Benchmark Job No. 2020.027**

To whom it may concern:

Benchmark Design Group, LLC (Benchmark) is the engineer of record for the above-mentioned subdivision. The owner is requesting a variance from section 6.3 of the Subdivision Regulation related to the depth of the ditches. The owner is requesting to allow for 12" ditch depth in a few isolated locations for shorth lengths instead of the 18" minimum stated in the regulations. The electric poles located on-site were installed prior to final grading of the streets and ditches. Due to this, there are a few limited areas where the poles were preventing the full ditch depth required from being constructed without compromising the utility poles. After reviewing the as-built data and running the hydraulic calculations, there is not an adverse impact to the development as a whole or to the hydraulics of the ditches as they exist. Additionally, the ditch still carries the 10-year stormwater runoff required for structures under roadways from section 6.5.

Benchmark appreciates this opportunity to be of service and welcome any questions or comments.

Respectfully submitted,
BENCHMARK DESIGN GROUP, LLC

Ryan Davis, PE



10-16-2025

"Achieving Goals by Design"



*** STOP! CALL BEFORE YOU DIG! ***
AS REQUIRED BY THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT (TUDFSA) MUST BE COMPLETED AT LEAST 3 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM. THE CONTRACTOR SHALL ALSO CALL 811 AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

NOTICE TO CONTRACTORS

- These plans are subject to review and approval by all jurisdictions having authority.
- Contractor shall appropriately notify all relevant entities prior to digging on this project.
- The contractor shall notify the engineer, at writing, of any errors or discrepancies discovered in the construction documents immediately.
- The topographic information shown herein is a reflection of the information provided by FREEMAN SURVEYING AND MAPPING, LLC.
- If the contractor discovers any errors in the information, he shall notify the engineer, at writing, immediately. The engineer and owner shall be responsible for any problems and/or associated costs resulting from lack of notification.
- The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including but not limited to the following:

Telephone Lines	Cable	Pipes
Sanitary Sewer Lines	Water Lines	Gas Lines
Tension Cables	Sanitary Sewer Lines	Oil Production Lines
Subwater Lines		

Note: If discrepancies occur between what is shown in the plans and conditions found in the field, the contractor shall notify the engineer, at writing immediately. Plans to do so shall include owner and engineer of record and associated costs.

BENCHMARK
DESIGN GROUP



THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF REVIEW AND COMMENTS UNDER THE AUTHORITY OF
RYAN W. DAVIS, P.E.
REGISTRATION NO. 121182
THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

ROYAL PINES
WALKER COUNTY, TEXAS

VARIANCE EXHIBIT -
LESS THAN 18" DITCH LOCATIONS

BENCHMARK
DESIGN GROUP

DRAWN BY: RWD

CHECKED BY: ELS

DATE: APRIL 2020

JOB NO: 2020.027

SHEET NO
EX-1

SUBMITTAL / REVISIONS	DATE	BY
INITIAL SUBMITTAL	6-22-2021	RWD
SECOND SUBMITTAL	9-23-2021	RWD
THIRD SUBMITTAL	10-26-2021	RWD
FOURTH SUBMITTAL	11-5-2021	RWD
FIFTH SUBMITTAL	11-10-2021	RWD
SIXTH SUBMITTAL	11-18-2021	RWD
SEVENTH SUBMITTAL	11-30-2021	RWD
AS-BUILT	9-23-2025	RWD

VARIANCE REQUEST TO THE SUBDIVISION REGULATIONS
OF WALKER COUNTY, TEXAS

Copy all pages of this form and all attachments for (1) community official, (2) building owner.
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SECTION A – PROPERTY INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Name Waxhaw Premier Properties		Application Number: P-2021-028
A2. Property Owner's Street Address [REDACTED]		Date of Submittal: 10-6-25
City [REDACTED]	State	ZIP Code
A3. Property Owner's Email Address [REDACTED]	A4. Property Owner's Telephone Number [REDACTED]	
A5. Property Description of Parent Tract (Lot and Block Numbers, Legal Description, etc.) Part of the E. C. Alexnder Survey, A-63; the Charles Bowman Survey, A-91 and the John Roark Survey, A-39, Walker County, Texas		
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SECTION C – LIST OF ATTACHMENTS		
Please list any supporting documents or submittals included with the variance request as attachments.		
Description of Attachment(s)		Exhibit #
C.1		
C.2		
C.3		
C.4		

SECTION D –VARIANCE REQUEST

(All Variance requests need to include the specific variance along with the Section(s) of the Regulation to which they apply)

- D.1 A Variance is requested to Section(s) 6.8 Page 17 of the Subdivision Regulations of Walker County, Texas as follows:
- Open drainage channels and ditches should be constructed with proper cross section,
- grade and alignment which will facilitate property functioning without destructive
- velocities of drainage waters. Channels will be designed by accepted engineering
- methods.

SECTION E – APPLICANT’S JUSTIFICATION AND PRESENTATION FACTORS EFFECTING VARIANCE

(All variance requests to the Walker County Subdivision Regulations need to be included along with the Section(s) of the Regulation to which they apply)

- E.1 Is the variance related to the design or construction of improvements to be constructed within the subdivision?
- Yes ☒ No ☐

If “Yes” the request should be accompanied by an engineer’s opinion and justification for the variance.

- E.2 Please explain the cause or reason the variance is being requested (attach additional pages as “Exhibit E.2”):
- The electric poles and fiberoptic cables were installed prior to final grading. In an effort to not
- compromise these utilities the contractor needed to tighten up the slope. The ditch still carries
- the 10-year storm runoff required for structures under roadways from section 6.5. Variance
- requested to allow for a 4 to 1 front slope in limited areas instead of the previously granted 6 to 1
- front slope.
- Engineer’s opinion is this does not adversely impact the development and functions hydraulically.

- E.3 Will the failure to grant the variance requested result in any exceptional hardship to the applicant?

Yes ☒ No ☐

If yes please explain below:

The power and fiberoptic would have to be uninstalled and then reinstalled.

We have several owners living in the community.

- E.4 Does the applicant propose any additional conditions, mitigation, or additional requirements not addressed within the Walker County Subdivision Regulations that will or have been met by the applicant as a condition of the variance being granted?

Yes ☐ No ☒ Please list the additional measures below.

SECTION F –VARIANCE(S) GRANTED		
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I, Loren Dickey, do hereby acknowledge that I have reviewed the provisions, notices, warnings and disclaimers stated above and that I understand them, agree with them and intend to fully comply with them.		
Signature of Owner/Applicant		Date
<div>Loren Dickey</div>		10/05/25
SECTION H – ACTION ON VARIANCE BY COMMISSIONER’S COURT		
After careful consideration of the reason(s) for the request of variance, the Commissioner’s Court of Walker County, Texas has determined that it is within the scope of the variance procedures as outlined in the Walker County Subdivision Regulations to _____ this request for variance.		
Commissioner’s Court Signature	Printed Name	Date
Signature of Owner/Applicant acknowledging conditions after court action.		Date



October 15, 2025

Waxhaw Premier Properties, LLC
5150 Tamiami Trail North, #500
Naples, Florida 34103

239.263.3922

**RE: Royal Pines Subdivision
Walker County, Texas
Variance Request Letter
Benchmark Job No. 2020.027**

To whom it may concern:

Benchmark Design Group, LLC (Benchmark) is the engineer of record for the above-mentioned subdivision. The owner is requesting a variance from section 6.8 of the Subdivision Regulation related to the front slope of the ditches. The electric poles located on-site were installed prior to final grading of the streets and ditches. Due to this, there are a few limited areas where the poles were preventing the 6:1 front slopes with 4:1 back slopes from being constructed as previously granted. Because of this, the contractor had to modify a few of the front slopes to construct the ditch between the roadway and utility pole. After reviewing the as-built data and running the hydraulic calculations, there is not an adverse impact to the development as a whole or to the hydraulics of the ditches as they exist.

Benchmark appreciates this opportunity to be of service and welcome any questions or comments.

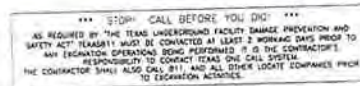
Respectfully submitted,
BENCHMARK DESIGN GROUP, LLC

Ryan Davis, PE



10-16-2025

"Achieving Goals by Design"

[illegible]

SUBMITAL / REVISIONS	DATE	BY
INITIAL SUBMITAL	6-22-2021	RWD
SECOND SUBMITAL	9-23-2021	RWD
THIRD SUBMITAL	10-26-2021	RWD
FOURTH SUBMITAL	11-5-2021	RWD
FIFTH SUBMITAL	11-10-2021	RWD
SIXTH SUBMITAL	11-18-2021	RWD
SEVENTH SUBMITAL	11-30-2022	RWD
AS-BUILT	9-23-2025	RWD

BENCHMARK



THIS DOCUMENT IS RELEASED FOR
PURPOSES OF INTERNAL REVIEW AND
COMMENTS UNDER THE AUTHORITY OF
RYAN W. DAVIS, P.E.
REGISTRATION NO. 12119.7
THIS DOCUMENT IS NOT TO
BE USED FOR CONSTRUCTION
OR JUDICIAL PURPOSES.

ROYAL PINES
WALKER COUNTY, TEXAS

VARIANCE EXHIBIT -
MORE THAN 6:1 SLOPE LOCATIONS



DRAWN BY: *RWD*

CHECKED BY: ELS

DATE: APRIL 2020

JOB NO: 2020.027

SHEET NO
EX-2



Utility Installation Request

To the Commissioner's Court of Walker County

Date 12/3/25

Application is hereby made by Ezee Fiber Texas, LLC c/o LightSett

to place Fiber Optic Cabinet with accessories

and/or perform the following described work _____ within the Right of Way of that Walker County road known as Ponderosa Dr at the following approximate coordinates (lat/long) 30.533480/-95.436282.

The exact location and extent of the proposed work shall be as shown on the attached specifications and drawings.

We will construct and maintain the line on the road right of way as shown on the attached drawing and in accordance with the rules, regulations and policies of Walker County, the Texas Department of Transportation (TXDOT), and all governing laws, including, but not limited to, the "Texas Engineering Practice Act," "Federal Clean Water Act," the "National Endangered Species Act," "Americans with Disabilities Act," and the "Federal Historic Preservation Act." Upon request by Walker County, we will submit to Walker County proof of compliance with all governing laws, rules and regulations before commencement of construction. Plans shall include the design, proposed location, vertical elevations, and horizontal alignments of the facility based on the department's survey datum, the relationship to existing highway facilities and the right of way line, traffic safety and access procedures, and location of existing utilities that may be affected by the proposed utility facility. The location and description of the proposed line and appurtenances is more fully shown by a complete set of drawings attached to this Utility Installation Request. We will give plans to Walker County for each future proposed modification or expansion to our facility and all Walker County to review and approve submittals prior to commencement of the work.

A new request may be required as a condition of approval.

Our organization will use Best Management Practices to minimize erosion and sedimentation resulting from the proposed installation, and we will re-vegetate the project area as indicated under "Re-vegetation Special Provisions."

Our organization will ensure that traffic control measures complying with applicable portions of the *Texas Manual on Uniform Traffic Control Devices* will be installed and maintained for the duration of this installation.

When installing our utility on controlled access facilities, we shall conform to the Texas Transportation Code, Title 6 Roadways, Chapter 203, Subchapter C, Control of Access, §203.031. We shall limit access for servicing this installation to access via (a) frontage roads where provided, (b) nearby or adjacent public roads or streets, (c) trails along or near the highway right of way lines, connecting only to an intersecting road; from any one or all of which entry may be made to the outer portion of the highway right of way for normal service and maintenance operations. Our rights of access to the through traffic roadways and ramps shall be subject to the same rules and regulations that apply to the general public.

It is expressly understood that Walker County does not purport, hereby, to grant any right, claim, title or easement in or upon this road; and it is further understood that Walker County may require us to relocate this line and any associated infrastructure, at the total expense of the applicant/utility owner, by giving thirty (30) days written notice prior to the date that the relocation shall be completed. We understand that a new Request will be required for the relocation.

We will notify Walker County prior to commencement of any routine or periodic maintenance which requires pruning of trees within the highway right of way, so that Walker County may provide specifications for the extent and methods to govern in, but not limited to, trimming, topping, tree balance, type of cuts, painting cuts and clean up.

Our installation shall not damage any part of the roadway structure or associated appurtenances and we will make adequate provisions to minimize inconveniences to the traveling public, and adjacent property owners. In the event we fail to comply with any or all of the requirements as set forth herein, the County may take such action as it deems appropriate to compel our compliance.

Following approval, we will begin construction on or after 12/8/25 (month/day/yr)

Additional Provisions and Requirements (for TxDOT input only)

General Special Provisions:

- ☒ Are attached.
☐ Are not attached

As-built Plans/Certifications of Construction:

- ☐ Are required and shall be certified as accurate by an authorized representative of the company.
☒ Are required and shall be signed and sealed by a State of Texas Licensed Professional Engineer.
☒ Certification that utility was installed as approved
☐ Are not required

Re-vegetation Special Provisions: In order to minimize erosion and sedimentation resulting from the proposed installation, the project area will be re-vegetated:

- ☒ In accordance with TxDOT's Standard Specification Item 164 which specifies the appropriate grass seed mix to be used, or:
☐ As indicated on the attachment.

The Precinct Commissioner or his/her representative is to be notified 48 hours prior to beginning construction.

If approved, we understand that we will assume all risks associated with this installation within the Walker County right of way. These risks include, but are not limited to, injuries to our workers, damage to contiguous utility lines that may be in the area, injuries or damage resulting from our failure to properly install and maintain the line as shown on plans.

We understand Walker County may place additional provisions and requirements as listed above, based upon, but not limited to, the type of utility being installed, local site conditions, soil types and traffic.

We acknowledge that this Utility Installation Request approval **expires** on the **91st** calendar day from the date of issuance, unless otherwise approved, if we do not begin our installation by this date. If we do not begin our installation within this time frame and still wish to continue, we will resubmit our request in accordance with the prevailing governing laws, rules, regulations and policies at the time of resubmission.

By signing as/for the requestor below, I certify that I am authorized to represent the requestor, that I agree to the provisions and requirements included in this Utility Installation Request, and our commencement of construction will further attest to our review and acceptance of said additional provisions and requirements

Requestor:

Approved By:

Date: 12/3/25

Date: _____

By: Diedra Burkle

By: _____

Signature: Diedra Burkle

Signature: _____

Title: Permit Specialist

Title: _____

Address: 780 N. Church St.

Address: _____

Hendersonville, NC 28792

Telephone: (828) 388-7105

Telephone: _____

PROJECT INFO

NEW WAVERLY, TX
WALKER COUNTY

OLT DRAWING
THE MANORS

WORK ORDER:
THE MANORS OLT DRAWING

OLT LOCATION:
12 PONDEROSA DR

FDA LOCATION OVERVIEW



REQUIRES 2 BUSINESS
DAYS NOTICE BEFORE YOU
EXCAVATE

COPIES OF ALL ENCROACHMENT AGREEMENTS TO BE KEPT
ON SITE AT ALL TIMES BY CONTRACTOR.

OWNER: 5959 CORPORATE DRIVE HOUSTON, TX 77036 OFFICE: (713) 255-7500	
CONTRACTOR: 780 N CHURCH ST HENDERSONVILLE, NC 28792 OFFICE: (828) 333-7249	
PROJECT TYPE: OUTSIDE PLANT - FIBER OPTIC BUILD	
PROJECT NAME: THE MANORS	
OLT LOCATION: 12 PONDEROSA DR	FDA: THE MANORS OLT PERMIT
SHEET TITLE: Cover	FILE NAME: PD
DRAWN BY: LS	DATE DRAWN: 12/3/2023
NO.	DATE
DESCRIPTION	BY
REVISIONS	
SCALE X: 1:265 FT	SCALE Y: 1:265 FT
CURRENT SHEET: Cover	

OWNER:

eze

F I B E R

5959 CORPORATE DRIVE
HOUSTON, TX 77036
OFFICE: (713) 255-7500

CONTRACTOR:

Light Sett

780 N CHURCH ST
HENDERSONVILLE, NC 28792
OFFICE: (828) 333-7249

PROJECT TYPE:

OUTSIDE PLANT - FIBER OPTIC BUILD

PROJECT NAME:

THE MANORS

OLT LOC:

12 PONDEROSA DR

FDA:

THE MANORS OLT PERMIT

SHEET TITLE:

PlanView_PD (OLT)

FILE NAME:

PD

DRAWN BY:

LS

DATE DRAWN:

12/3/2025

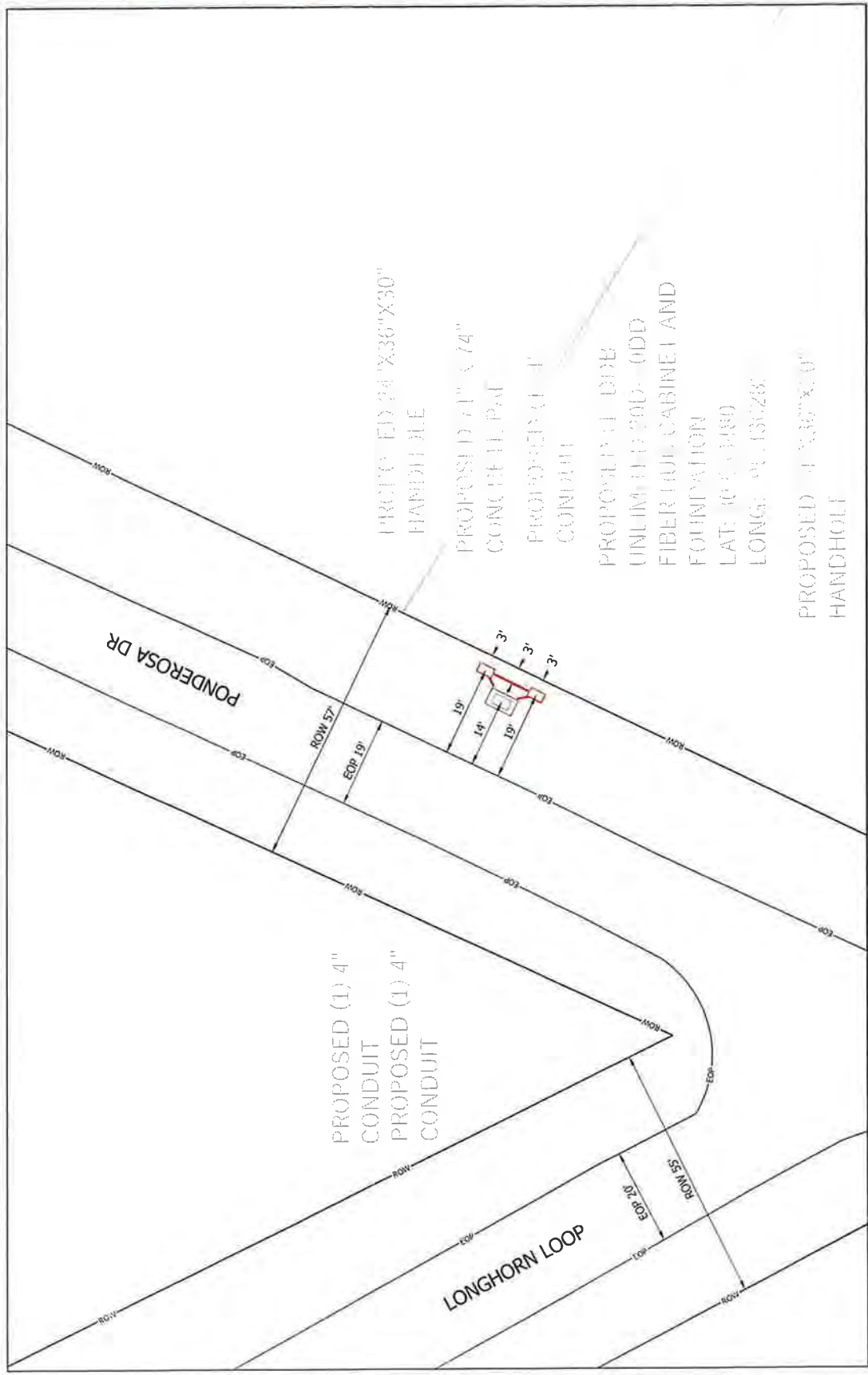
NO.	DATE	DESCRIPTION	BY

REVISIONS

0 10 20 40

SCALE X: 1:20 FT

SCALE Y: 1:20 FT



Legend

UG Structure

Build Path

Medium HH

4.00" Conduit

OLT Location and Pad

Construction Notes

RESTORATION NOTE:
All disturbed areas to be restored to pre-existing condition or better.

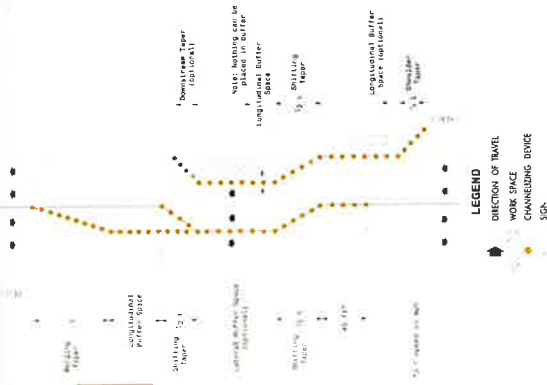
811

Know what's Below.
Call before you dig.

REQUIRES 2 BUSINESS DAYS NOTICE BEFORE ANY EXCAVATE.

Copies of all encroachment agreements to be kept on site at all times by contractor.

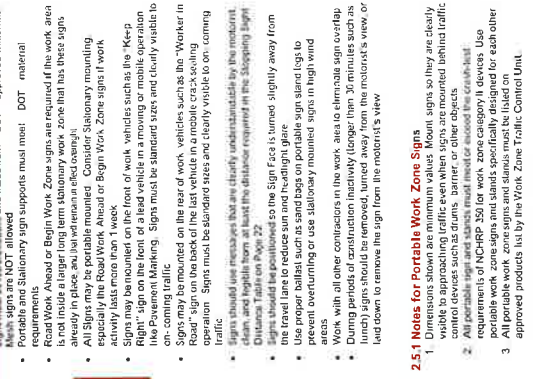
Types of Tapers and Buffer Spaces



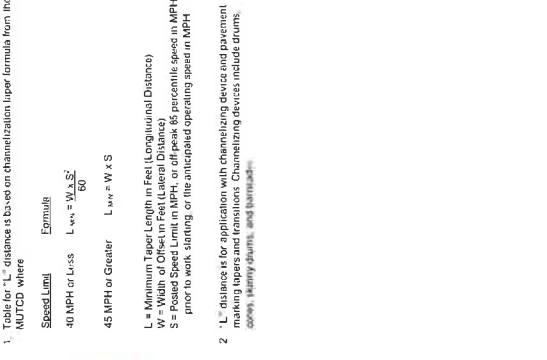
Flaggers



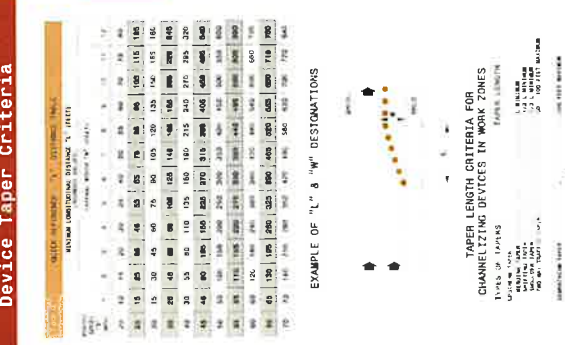
Spacing of Temporary Signs in Series



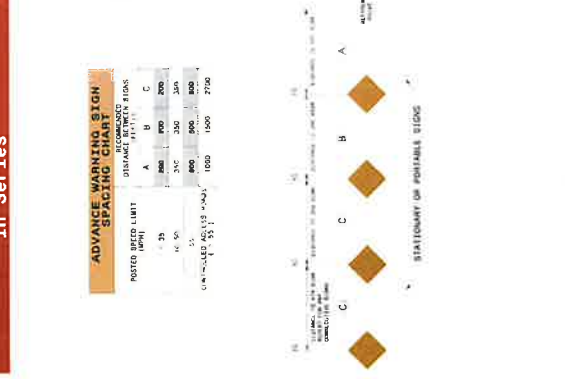
Distance and Channelizing Device Taper



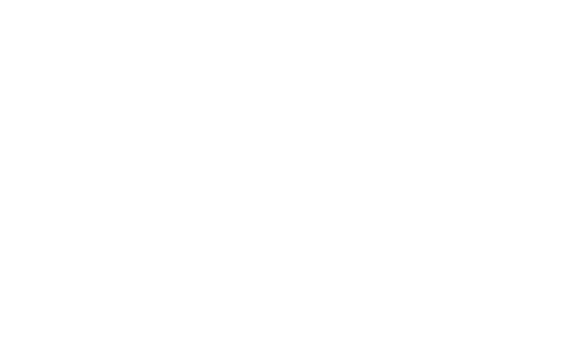
"L" Distance and Channelizing Device Taper Criteria



Spacing of Temporary Signs in Series



Distance and Channelizing Device Taper



OWNER:

eze

F I B E R

5559 CORPORATE DRIVE SUITE 2000
HOUSTON, TX 77036
OFFICE: (346) 768-3001

CONTRACTOR:

Light Sett

780 N CHURCH ST
HENDERSONVILLE, NC 28792
OFFICE: (828) 333-7249

PROJECT TYPE:

OUTSIDE PLANT - FIBER OPTIC BUILD

OUT LOC.:

N/A

FDA:

N/A

SHEET TITLE:

Traffic Control Plan (1)

FILE NAME:

N/A

DRAWN BY:

N/A

DATE DRAWN:

N/A

SCALE X:

N/A

SCALE Y:

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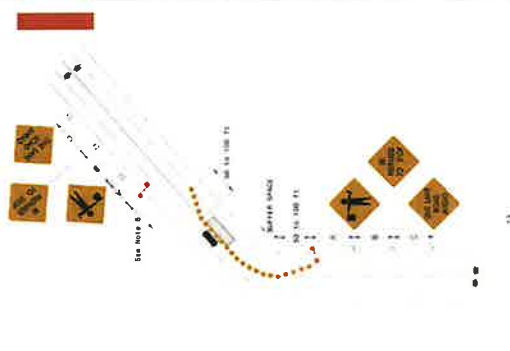
CURRENT SHEET:

TCP-1

2.1.2 Notes for Lane Closure on a Two-Lane Road Using Two Flaggers

- [illegible]

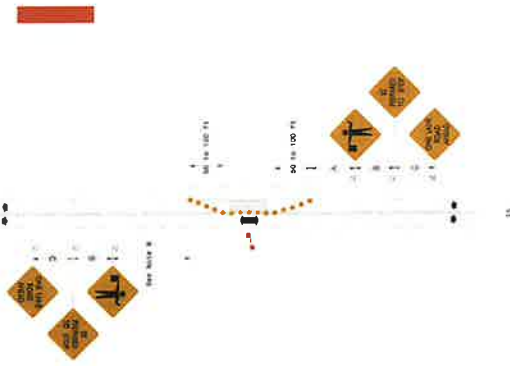
Lane Closure on a Two-Lane Road with Curve Using Two Flaggers



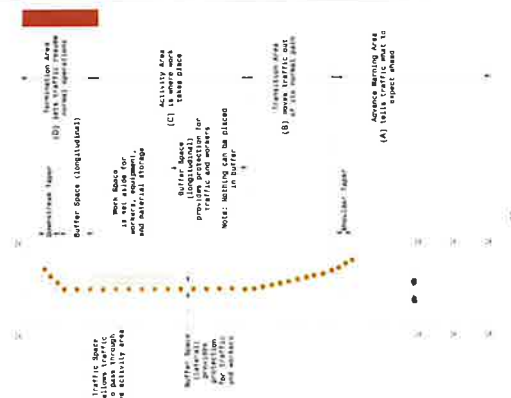
2.1.3 Notes for Lane Closure on a Two-Lane Road – Straight Road Using One Flagger 45 MPH or Less

- For low-volume situations with short work zones on straight overpasses where the flagger is visible to road users approaching from both directions, a single Flagger, positioned to be visible to road users approaching from both directions may be used. (See Figure 10, Single Flagger, and Table 10, Single Flagger.) (Note: Traffic lights are NOT approved for use.) (See note on page 10.)
- When a grade crossing exists within or upstream of the transition area and a grade crossing sign is required, the Traffic Control Plan should be amended so that the transition area is temporary. Traffic control signs should be placed within the transition area. (See page 15 for standard signs.)
- When a grade crossing exists downstream of the transition area, provisions should be made for warning Flaggers informed as to the activation status of these warning devices.
- When a grade crossing exists within the activity area, drivers operating on the mainline should be alerted to the presence of the grade crossing by a variable message sign (VMS) or other appropriate means of communication.
- When a grade crossing exists downstream of the transition area, the normal warning devices at the grade crossing should be used to alert drivers of the grade crossing. The VMS should be used to alert drivers of the grade crossing within the limits of a TTC zone.

Lane Closure



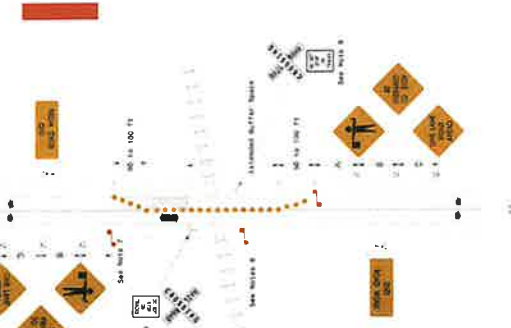
Component Parts of a Temporary Traffic Control Zone



2.1.4 Notes for Lane Closure on a Two-Lane Road – In the

- For free-flow situations with their own lanes, drivers on right shoulders 1
- When the flagger is visible to road users approaching from both 2
- directions, a single flagger positioned to be visible to road users 3
- approaching from both directions may be used to control traffic. 4
- When a single flagger is used, the flagger must be visible to 5
- approaching traffic from both directions. Traffic lights are NOT 6
- approved for use. (See note on page 10). 7
- When a grade crossing exists within or upstream of the transition area 8
- and is unattended and/or a passing train is present, the flagger must 9
- be stationed past the crossing and the transition area. The flagger 10
- should be extended so that the transition area controls the grade crossing 11
- (Do not allow grade traffic to back up over a crossing). 12
- When the grade crossing equipment with active warning devices exists 13
- upstream of the transition area, the flagger should be stationed 14
- upstream of the transition area. The flagger should be extended 15
- informed as to the activation status of these warning devices. 16
- When a grade crossing exists within the activity area, drivers operating 17
- in the activity area should be informed of the crossing status. 18
- When a grade crossing exists within the activity area, drivers operating 19
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- When a grade crossing exists within the activity area, drivers operating 99
- in the activity area should be informed of the crossing status. 100

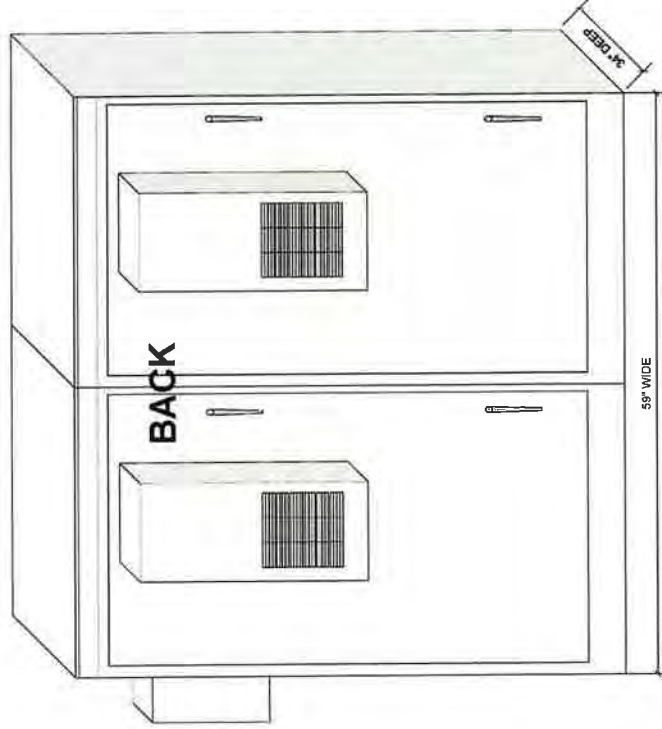
Lane Closure



3.2 Component of Temporary Traffic Control Zone

- These components are discussed in order in which the motorist will encounter them along a highway. These components apply to stationary, moving, or moving work zone operations.
- a. Advance Warning Area.** This is the section of highway at the beginning of the work zone where motorists are informed about the upcoming work zone or incident area. Vehicle warning lights (see page 3) and signs are used for the advance warning area (see pages 17, 20 for information on advance warning signs).
- b. Transition Area.** This is the section of highway after the Advance Warning Area when motorists are redirected out of their normal path to a different path using a taper of cones, slurry drums, drums or barriers or other means. Tapers are shown and discussed on pages 17 and 18.
- c. Activity Area.** This is the section of highway after the Transition Area where workers use the work, not the limited space or lane of the highway. The Activity Area is broken in to two areas called the Buffer Space and the Work Space (see pages 17 thru 22).
- d. Breakdown Area.** This is a longitudinal and Lateral. Longitudinal buffer space must be completely open to allow an errant motorist to come to a full stop before hitting an object.
- e. Work Space.** This is the workers' equipment (including the TMA's and materials).
- f. Termination Area.** This is the section of highway after the Activity Area where motorists are returned to their normal driving path. (See page 16).

EZEE FIBER HUB-LARGE FACE

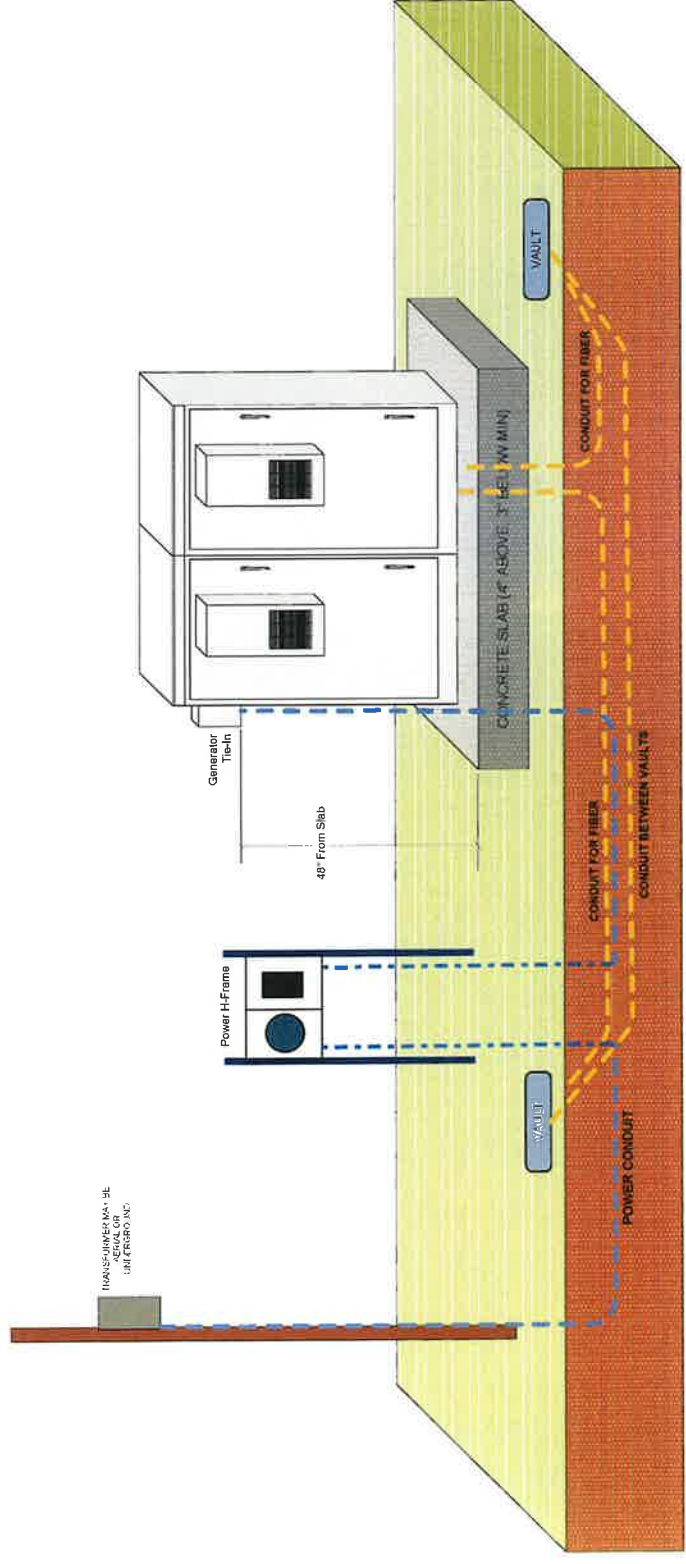


PAGE	DATE	DATE	DATE
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SCALE	SCALE	SCALE	SCALE
1"			

OWNER: ezee F I B E R 5959 CORPORATE DRIVE HOUSTON, TX 77036 OFFICE: (713) 255-7500	CONTRACTOR: Light Sett 780 N CHURCH ST HENDERSONVILLE, NC 28792 OFFICE: (828) 333-7249	PROJECT TYPE: OUTSIDE PLANT - FIBER OPTIC BUILD	PROJECT NAME: EZEE FIBER	QTY LOC: N/A	FDA: N/A	SHEET TITLE: EZEE FIBER HUB-LARGE FACE FILE: N/A NAME: N/A DRAWN BY: DATE DRAWN: 5/2/20			SCALE X: SCALE Y: N/A N/A	CURRENT SHEET: OLT-1
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TYPICAL DEPLOYMENT

EZEE FIBER HUB-LARGE CONDUIT



CONDUIT CONTAINING FIBER & POWER - ALL EXISTING UTILITIES
PR. OF TO CONSTRUCTION

ALL MINIMUM CONDUIT SHALL BE PLACED IN SEQUENCE SHOWN AT A MINIMUM DEPTH OF 48\"/>

PAGE	DATE	EZEE FIBER HUB
1 OF 2	5/25/22	
SCALE	DRAWN BY	TRIT
FEEDLINE	TRIT	DESCRIPTION
1-1000	1-1000	1-1000

OWNER: **eze** F I B E R
5959 CORPORATE DRIVE
HOUSTON, TX 77036
OFFICE: (713) 255-7500

CONTRACTOR: **LightSett**
780 N CHURCH ST
HEIDENSOHNVILLE, NC 28792
OFFICE: (828) 333-7249

PROJECT TYPE: OUTSIDE PLANT - FIBER OPTIC BUILD

PROJECT NAME: EZEE FIBER

OUT LOC: N/A

FDA: N/A

SHEET TITLE: EZEE FIBER HUB-LARGE CONDUIT

FILE NAME: N/A

DRAWN BY: DATE DRAWN:

SCALE X: N/A

SCALE Y: N/A

CURRENT SHEET: OLT-2

EZEE FIBER HUB-SLAB

The drawing illustrates the EZEE FIBER HUB-SLAB installation. The top view shows a rectangular slab with a front side facing the road and a back side with an air conditioner. Dimensions include a total width of 71 inches, a front side width of 45 inches, and a back side width of 30 inches. A 4-inch generator rebar loop is shown 6 inches from the front edge. The side view shows the slab's depth of 74 inches, with a 20-inch front edge and a 5-inch gap from the back edge. The cross-section view shows the slab's profile, including a 3-inch deep front edge, a 5-inch wide top, and a 3-inch wide bottom. A 4-inch generator rebar loop is shown 6 inches from the front edge. The slab is labeled 'CONCRETE SLAB 4" ABOVE GRADE (CONCRETE SLAB)'. A 3-inch minimum below grade section is shown. Two 4-inch conduits are shown, one on each side of the slab. A power meter / power supply is shown connected to the slab. The drawing is titled 'EZEE FIBER HUB-SLAB'.

NO.	DATE	BY	CHKD	APP'D
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eZee
F I B E R
5959 CORPORATE DRIVE
HOUSTON, TX 77036
OFFICE: (713) 255-7500



780 N CHURCH ST
ENDERSONVILLE, NC 287
OFFICE: (828) 333-7249

OUTSIDE PLANT - FIBER OPTIC BUILD

EZE FIBER

LOC.: N/A

SHEET 133HS

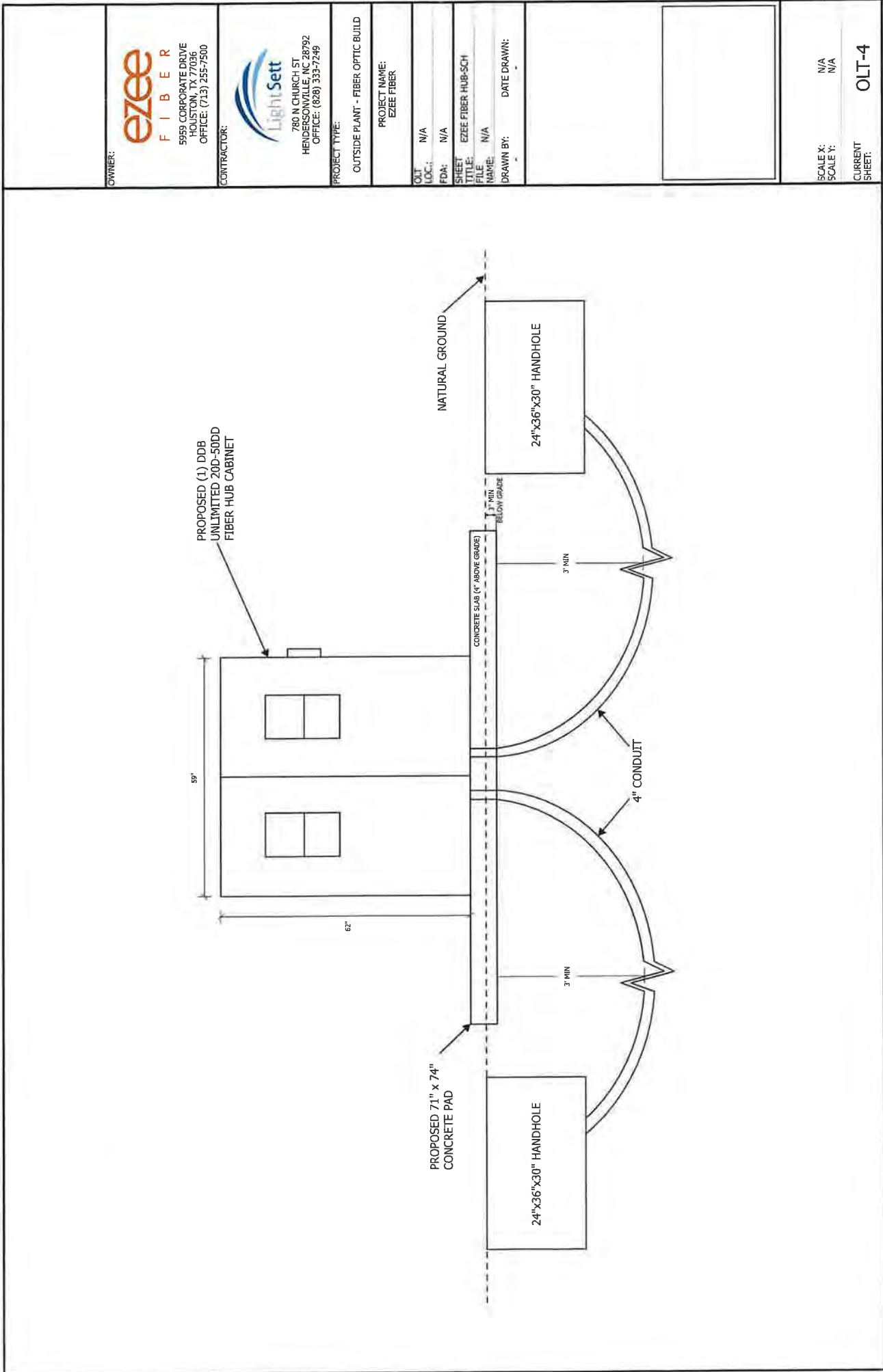
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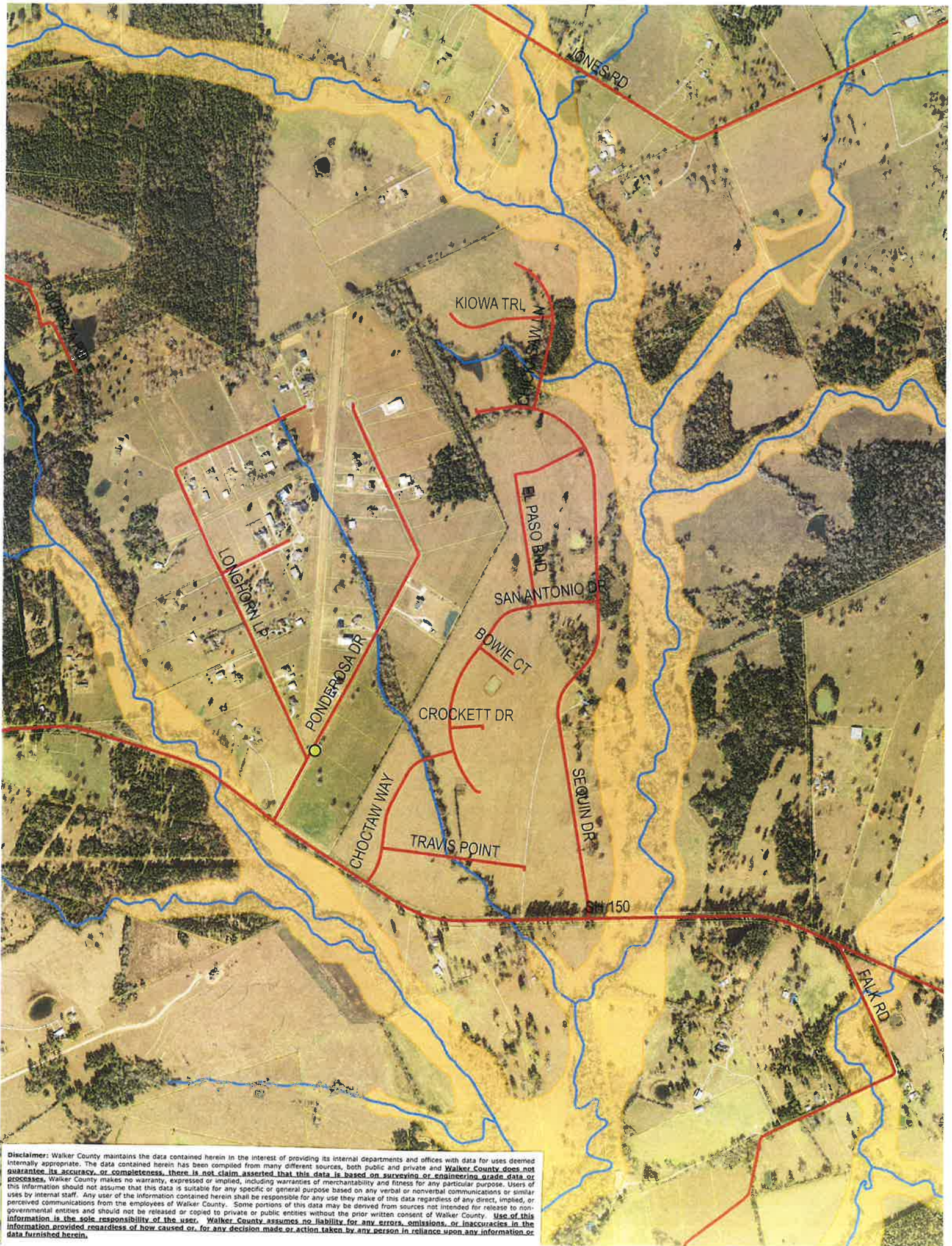
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N/A	N/A
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OLT-3





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To the Commissioner's Court of Walker County

Date _____

Application is hereby made by Trident Intrastate Pipeline LLC
to place Natural Gas Pipeline

and/or perform the following described work _____ within the Right of Way of that Walker County road known as Louis Voan Road at the following approximate coordinates (lat/long) 30.837283, -95.491119.

The exact location and extent of the proposed work shall be as shown on the attached specifications and drawings.

We will construct and maintain the line on the road right of way as shown on the attached drawing and in accordance with the rules, regulations and policies of Walker County, the Texas Department of Transportation (TXDOT), and all governing laws, including, but not limited to, the "Texas Engineering Practice Act," "Federal Clean Water Act," the "National Endangered Species Act," "Americans with Disabilities Act," and the "Federal Historic Preservation Act." Upon request by Walker County, we will submit to Walker County proof of compliance with all governing laws, rules and regulations before commencement of construction. Plans shall include the design, proposed location, vertical elevations, and horizontal alignments of the facility based on the department's survey datum, the relationship to existing highway facilities and the right of way line, traffic safety and access procedures, and location of existing utilities that may be affected by the proposed utility facility. The location and description of the proposed line and appurtenances is more fully shown by a complete set of drawings attached to this Utility Installation Request. We will give plans to Walker County for each future proposed modification or expansion to our facility and all Walker County to review and approve submittals prior to commencement of the work.

A new request may be required as a condition of approval.

Our organization will use Best Management Practices to minimize erosion and sedimentation resulting from the proposed installation, and we will re-vegetate the project area as indicated under "Re-vegetation Special Provisions."

Our organization will ensure that traffic control measures complying with applicable portions of the *Texas Manual on Uniform Traffic Control Devices* will be installed and maintained for the duration of this installation.

When installing our utility on controlled access facilities, we shall conform to the Texas Transportation Code, Title 6 Roadways, Chapter 203, Subchapter C, Control of Access, §203.031. We shall limit access for servicing this installation to access via (a) frontage roads where provided, (b) nearby or adjacent public roads or streets, (c) trails along or near the highway right of way lines, connecting only to an intersecting road; from any one or all of which entry may be made to the outer portion of the highway right of way for normal service and maintenance operations. Our rights of access to the through traffic roadways and ramps shall be subject to the same rules and regulations that apply to the general public.

It is expressly understood that Walker County does not purport, hereby, to grant any right, claim, title or easement in or upon this road; and it is further understood that Walker County may require us to relocate this line and any associated infrastructure, at the total expense of the applicant/utility owner, by giving thirty (30) days written notice prior to the date that the relocation shall be completed. We understand that a new Request will be required for the relocation.

We will notify Walker County prior to commencement of any routine or periodic maintenance which requires pruning of trees within the highway right of way, so that Walker County may provide specifications for the extent and methods to govern in, but not limited to, trimming, topping, tree balance, type of cuts, painting cuts and clean up.

Our installation shall not damage any part of the roadway structure or associated appurtenances and we will make adequate provisions to minimize inconveniences to the traveling public, and adjacent property owners. In the event we fail to comply with any or all of the requirements as set forth herein, the County may take such action as it deems appropriate to compel our compliance.

Following approval, we will begin construction on or after January 2, 2026 (month/day/yr)

Additional Provisions and Requirements (for TxDOT input only)

General Special Provisions:

- ☒ Are attached.
☐ Are not attached

As-built Plans/Certifications of Construction:

- ☐ Are required and shall be certified as accurate by an authorized representative of the company.
☒ Are required and shall be signed and sealed by a State of Texas Licensed Professional Engineer.
☒ Certification that utility was installed as approved
☐ Are not required

Re-vegetation Special Provisions: In order to minimize erosion and sedimentation resulting from the proposed installation, the project area will be re-vegetated:

- ☒ In accordance with TxDOT's Standard Specification Item 164 which specifies the appropriate grass seed mix to be used, or:
☐ As indicated on the attachment.

The Precinct Commissioner or his/her representative is to be notified 48 hours prior to beginning construction.

If approved, we understand that we will assume all risks associated with this installation within the Walker County right of way. These risks include, but are not limited to, injuries to our workers, damage to contiguous utility lines that may be in the area, injuries or damage resulting from our failure to properly install and maintain the line as shown on plans.

We understand Walker County may place additional provisions and requirements as listed above, based upon, but not limited to, the type of utility being installed, local site conditions, soil types and traffic.

We acknowledge that this Utility Installation Request approval expires on the 91st calendar day from the date of issuance, unless otherwise approved, if we do not begin our installation by this date. If we do not begin our installation within this time frame and still wish to continue, we will resubmit our request in accordance with the prevailing governing laws, rules, regulations and policies at the time of resubmission.

By signing as/for the requestor below, I certify that I am authorized to represent the requestor, that I agree to the provisions and requirements included in this Utility Installation Request, and our commencement of construction will further attest to our review and acceptance of said additional provisions and requirements

Requestor:

Date:

8/22/05

By: Brittany Stolte

Signature:

Brittany Stolte

Title: Land and ROW Manager and Attorney-in-Fact

Address:

[REDACTED]

Telephone:

[REDACTED]

[REDACTED]

Approved By:

Date:

By:

Signature:

Title:

Address:

Telephone:

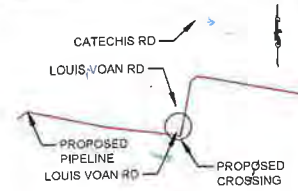
WALKER COUNTY, TEXAS

LEGEND

R/W	RIGHT OF WAY
FM	FARM TO MARKET
MIN	MINIMUM
CLR	CLEARANCE
---	EXISTING PIPELINE
---	POWER LINE
-x-x-	FENCE
-e-e-	PROPERTY LINE
●	POWER POLE

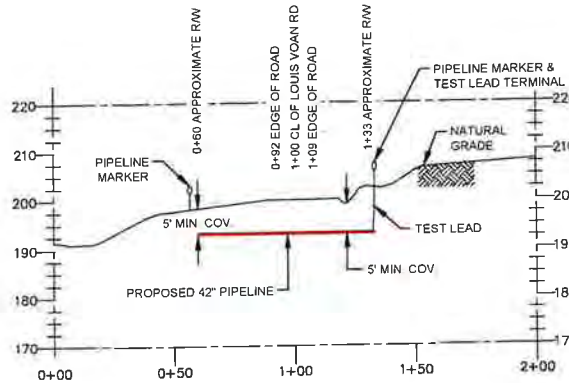
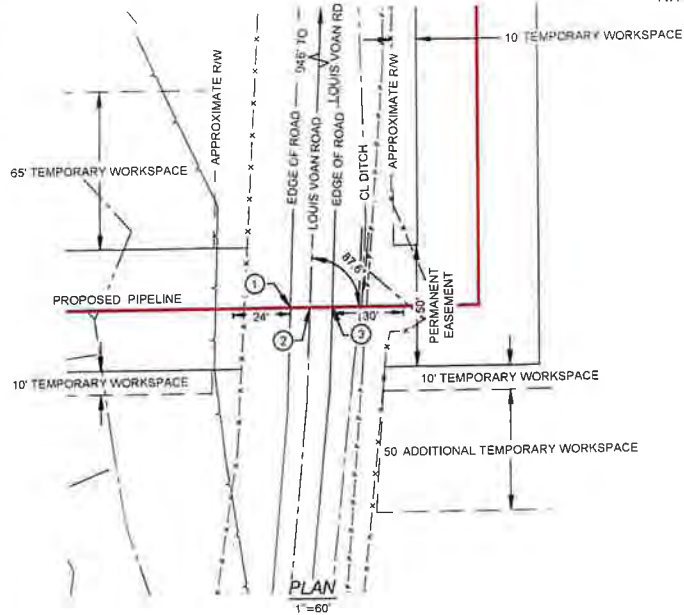
LOCATION COORDINATES

1 X= 3815721.91
Y= 10301320.41
2 X= 3815729.92
Y= 10301318.84
3 X= 3815738.81
Y= 10301317.08



VICINITY MAP

N.T.S.

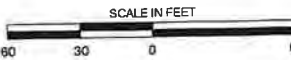


10 - DEC - 2025

CROSSING LENGTH - 73' (APPROX. R/W TO APPROX. R/W)

PROFILE

1"=60' H
1"=30' V



NOTE

- DATUM BASED ON NAD83 TEXAS STATE PLANE, CENTRAL ZONE, U.S. FOOT
- EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS GENERATED FROM PREVIOUS MAPS AND SURVEY. CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES IN AREA OF WORK PRIOR TO CONSTRUCTION AND CALL TEXAS ONE CALL SYSTEM AT 1-800-245-4545 AND ALL OTHER UTILITY COMPANIES AT LEAST 2 WORKING DAYS (48 HOURS) PRIOR TO CONSTRUCTION.
- ALL MINIMUM DEPTH REQUIREMENTS MEASURED AT THE TOP OF PIPE OR CASING.
- CROSSING PIPE TO EXTEND AT A MINIMUM FROM EDGE OF R/W TO EDGE OF R/W.
- CROSSING PIPE TO MAINTAIN 2' MIN. CLR. FROM EXISTING UTILITIES/PIPELINES.

CROSSING PIPE SPECIFICATIONS

CONTENTS: NATURAL GAS
CODE: 49 CFR PART 192.111/ASME B31.8
CLASS LOCATION: 1
DESIGN FACTOR: 0.60
PIPE: 42"Ø, 0.720" W.L. SAW, API 5L X70 PS2, E=1
CASING: NOT APPLICABLE
COATING: 14-16 MILS FBE 30-40 MILS ARO
M.A.O.P.: 1,440 PSIG
PIPELINE CATHODICALLY PROTECTED
METHOD OF INSTALLATION: BORE

NO.	DATE	REVISION	BY	CHK	APPR	APPR	APPR
B	12/09/25	ISSUED FOR PERMIT	VLG	JW	GLC		
A	11/03/25	ISSUED FOR PERMIT	VLG	JW	GLC		

KINDER MORGAN



DRAWING ISSUES	CONSTRUCTION		LAST DIOC				
	BIDS		LAST ORIG				
				LAST ORIG			
	APPROVAL			LAST ORIG			
				LAST ORIG			
INFORMATION			LAST DIOC				
	ISSUED FOR:		SIGNATURE		DATE	REV.	
DRAWING APPROVALS	DRAWN: VLG			DATE: 05/01/25			
	CHECKED: JW			DATE: 05/01/25			
	ENGINEER:			DATE			
	TRC:			DATE:			
	CLIENT			DATE:			
	CLIENT:			DATE:			

ROAD CROSSING PERMIT

TRIDENT PIPELINE
LOUIS VOAN ROAD
WALKER COUNTY, TEXAS

SCALE	PROJECT NO.	DRAWING NO.	SHEET	REV.
AS SHOWN	630450	630450-34WA-004	OF 1	B

05-Nov-2025 : 9:58 AM



Huntsville, TX 77338
(936) 441-7833

December 3, 2025

Mr. Andrew Isbell
Walker County Planning & Development
1313 University Avenue
Huntsville, TX 77340

Re: Review No. 2
Trident Natural Gas Pipeline Installation Application – Louis Voan Road (90500-304)
Walker County

Mr. Isbell:

Bleyl Engineering reviewed the application submitted on behalf of Trident Interstate Pipeline, LLC, for the installation of the natural gas pipeline related to Louis Voan Road, and we offer the comments below. Please note that comments prefaced with an "R2" are issued for this review, which follows the related, previously issued comment.

- R2.2. Comment remains. A "Pipe Class," as referenced in Table 1 of Title 49 CFR §192.113, is not on the plans.
- R1.2. Provide the "Pipe Class" used for determining required joint factor in Pressure Balance Calculations per Table 1 in Title 49 CFR §192.113.
- R1.3. Include the manufacturer's name, color on all sealed sheets, including back and is, per Board Rules §137.22(a) & §137.77(b).
- R2.3. Comment satisfied.
- R1.4. Top of the construction shall be a minimum of 12" lanes, including loading, and shall be used to. Provide a traffic control plan that complies to the subject roadway. Traffic control signs should be signed and sealed in accordance with Board Rules §137.22 & §137.77(b).
- R2.4. Comment satisfied.
- R1.5. See existing utilities, including existing pipeline, and ensure they are properly marked.
- R2.5. Comment satisfied.
- R1.6. All borings shall extend ten feet beyond the travel lanes for uncurbed roads (speed limits of 40 mph or less). Please add dimension callouts for this distance to the crossing detail to ensure compliance with 43 TAC §21.40(a)(4)(E)(iv).
- R2.6. Comment satisfied.
- R1.7. No recording information was provided for the rights-of-way. It is the applicant's responsibility to confirm the rights-of-way widths and obtain approval/easements from all applicable jurisdictional/property owners before installation.
- R2.7. Comment satisfied.

Bleyl Engineering has conducted this review on behalf of Walker County, and this review is subject to further comments upon receipt of additional information requested above. Bleyl Engineering and Walker County do not accept any responsibility for the design or accuracy of the construction drawings. All construction shall

meet the regulations adopted by Walker County. This letter is not intended to propose specific alterations to the construction drawings or waive the applicant's responsibility to comply with applicable laws, regulations, and orders.

Sincerely,

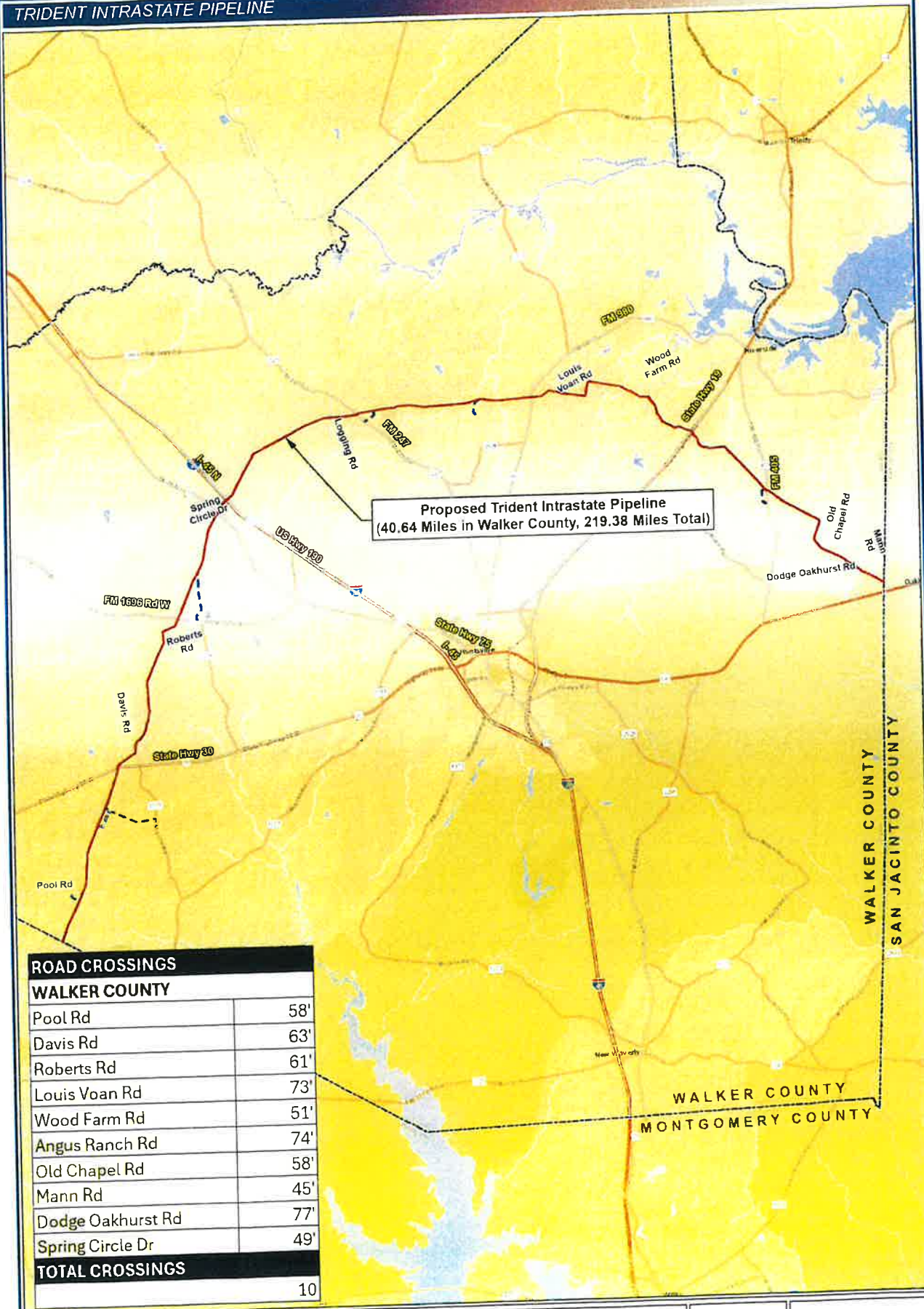
Steffanie M. DeLoss, P.E., CFM

Sr. Engineering Manager

Bleyl Engineering

E:\304 UIR Trident - Louis Voan Rd, Pct 1\R2\Out\251203 UIR Trident - Louis Voan Rd, Pct 1.docx

TRIDENT INTRASTATE PIPELINE



ROAD CROSSINGS

WALKER COUNTY

Pool Rd	58'
Davis Rd	63'
Roberts Rd	61'
Louis Voan Rd	73'
Wood Farm Rd	51'
Angus Ranch Rd	74'
Old Chapel Rd	58'
Mann Rd	45'
Dodge Oakhurst Rd	77'
Spring Circle Dr	49'

TOTAL CROSSINGS

10

VICINITY MAP



LEGEND

- Access Roads
- Trident Intrastate Pipeline
- County Boundary



KINDER MORGAN

DATE: 10/27/2021 SHEET: 2005 OF 1

**General Special Provisions
Walker County Utility Installation Request**

1. Effective Period of Permit Approval. All approvals are void if installation does not begin within 3 months from the date of approval.
2. ALL UTILITY INSTALLATIONS SHALL CONFORM WITH THE STANDARDS DESCRIBED IN TITLE 43, PART 1, CHAPTER 21, SUBCHAPTER C, OF THE TEXAS ADMINISTRATIVE CODE (UTILITY ACCOMODATIONS)
3. A FINAL AS-BUILT SET OF PLANS SHALL BE SUBMITTED AND CERTIFIED BY A PROFESSIONAL ENGINEER, INCLUDING A CERTIFICATION THAT THE INSTALLATION WAS COMPLETED IN CONFORMANCE AND COMPLIANCE WITH THE ABOVE DESCRIBED SECTIONS OF THE TEXAS ADMINISTRATIVE CODE AND TEXAS DEPARTMENT OF TRANSPORTATION MINIMUM SPECIFICATIONS. A statement must be included certifying that any pipe/casing installed is properly designed for the application and the installation meets the minimum standards for TxDOT and Title 43 of the Texas Administrative Code.
4. Minimum Depth of Cover. The minimum depth of cover for any underground utility line shall be as shown on the "Minimum Depth of Cover Table" for the TxDOT District or attached schematic whichever is deeper.
5. Locating Utilities. Applicant shall take all reasonable and necessary steps to locate existing utilities and address them in accordance with all state, local, and or federal requirements.
6. Aerial Electric Lines. Aerial electric power lines crossing over the highway shall be installed and maintained a minimum of twenty-two (22) feet above the surface of the traffic lanes. For electric power lines with greater than 50,000 volts, the clearance shall be increased in accordance with National Electric Safety Code as published in the National Bureau of Standards, Handbook 30.
7. Aerial Communication Lines. Aerial communication lines crossing over the highway shall be installed and maintained a minimum of eighteen (18) feet above the surface of the traffic lanes.
8. Open Trenching or Boring Operations for Utility Work. To insure that disturbed areas are restored and revegetated properly and in a reasonable period as the utility work progresses, the following requirements shall apply:

Unless otherwise approved or directed by Walker County, the length of "active utility work" shall not exceed one mile in length. "Active utility work" shall be defined as the total disturbed area measured from the beginning of open trenching to the point where backfill has been compacted, the right of way has been restored to its original line and grade, any structures damaged by the utility work have been repaired, erosion control measures have been placed and are being properly maintained, approved topsoil seed and compost has been placed uniformly, and watering for revegetation has begun. "Active utility work" also includes areas of bore pits and receiving pits; however, it does not include the underground boring length. When any area of "active utility work" is substantially complete (i.e., watering of seeded areas has begun), that area is no longer considered to be "active utility work", and "active utility work" can proceed further within the right of way as long as it does not exceed the above appropriate limits. Areas where Walker County determines that the "active utility work" is substantially complete does not mean that Walker County considers that area totally acceptable and complete.

9. Backfill, Erosion Control, and Re-vegetation. All excavations within the right-of-way (ROW) and not under pavement shall be backfilled by tamping in six (6) inch horizontal layers to the density of the surrounding



**General Special Provisions
Walker County Utility Installation Request**

soil or as directed by the Walker County. All surplus material shall be removed and the ROW shall be reshaped to its original condition or better. This work shall be done in accordance with Item 164 of the Texas Department of Transportation (TxDOT) "Standard Specifications for Construction and Maintenance of Highways, Streets, and Bridges." Erosion control measures such as soil retention blankets, rock berms, and silt fences shall be installed and maintained until permanent perennial vegetation is established over 70% of the disturbed area. The amount of revegetation is considered acceptable when it resembles the amount of existing vegetation in the surrounding undisturbed area. **If erosion control and/or storm water run-off requirements of other State, Federal, or Local Jurisdictions exceed these requirements then the more stringent requirements would prevail.**

8. Boring and Jacking. Boring and jacking of utility lines shall be provided as specified below.

- a. Under Paved County Roads. Utility lines to be constructed under an existing paved (asphalt pavement or concrete pavement) county road shall be installed by boring and jacking with casing.
- b. Under Paved Driveways. Utility lines to be constructed under existing paved (asphalt pavement or concrete pavement) driveways shall be installed by boring and jacking methods, unless the utility company furnishes Walker County with a "Letter of No Objection" signed by the driveway owner to allow open cutting of their driveway.
- c. Under Unpaved County Roads or Driveways. Utility lines to be constructed under an existing unpaved county road or under existing unpaved driveways may be open cut only when approved in advance by Walker County, and after the driveway owner is notified. Any open cuts should be repaired and restored to a minimum of pre-cut conditions as quickly as possible so as not to impact road and/or driveway traffic. Applicant shall take all necessary precautions to insure safety as site of open cut.
- d. Under Desirable Trees. To preserve the natural environment and protect wildlife habitat, boring may be required when underground utility lines are to be placed within the "protected root area" of "desirable trees" located within road ROW or on adjacent property. The "protected root area" is defined as the area between the tree trunk and five (5) feet from the tree trunk or 2/3 the actual distance from the tree trunk to the dripline, whichever is greater. "Desirable trees" include (but are not limited to) any tree with a trunk diameter of six (6) inches or more that Walker County or the Owner of the tree determines to be of environmental and aesthetic value. Boring under all "desirable trees" will be required with the following exceptions: (1) in areas where planned highway construction/maintenance work would require tree removal, or (2) when the Walker County approves of open trenching for the utility installation or removal of the tree.

9. Manhole Covers. All manhole covers shall be installed flush with the ground surface.

10. Traffic Control. Traffic control in utility work zones shall conform to applicable requirements of the "Texas Manual on Uniform Traffic Control Devices for Streets and Highways, Part VI". Adequate signs, barricades, flag personnel, etc. shall be erected and maintained in complete compliance with the Texas Manual on Uniform Traffic Control Devices. Any travel lane closures are only permitted after a traffic control plan is approved by Walker County prior to beginning any construction activities.

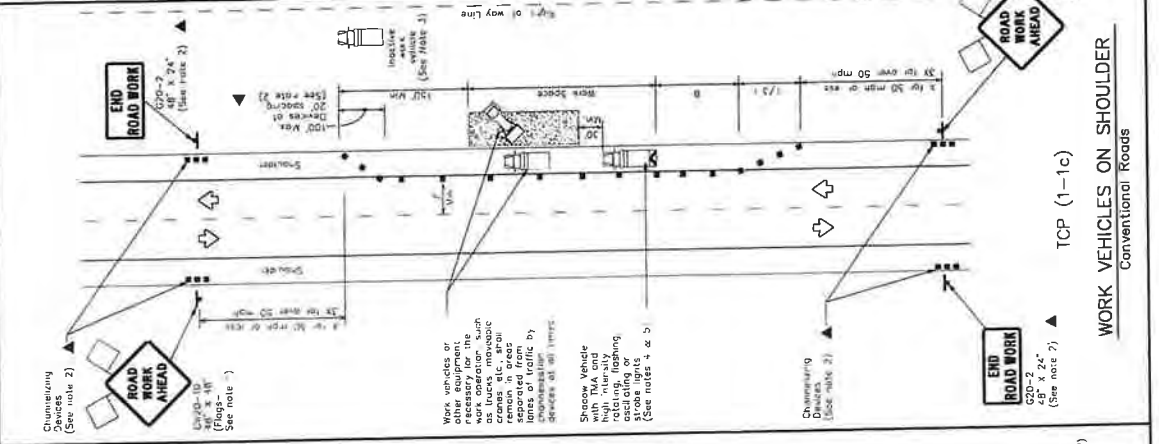
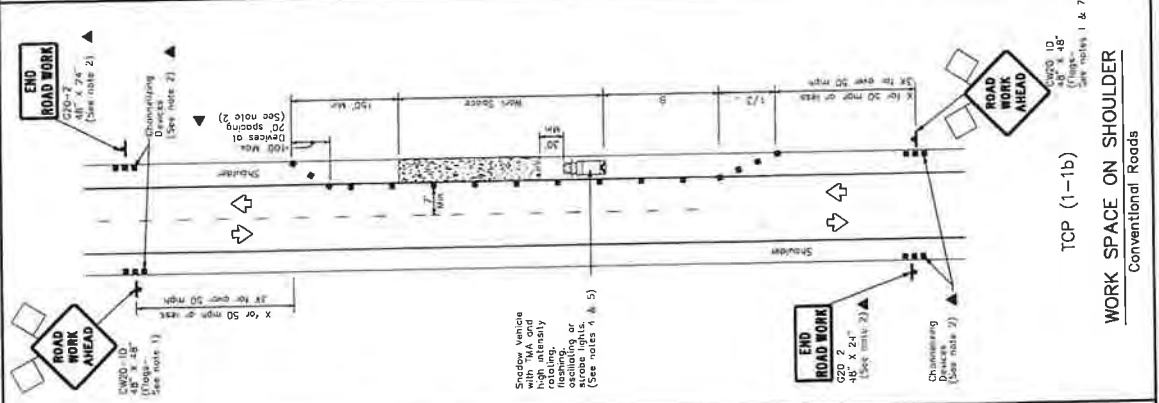
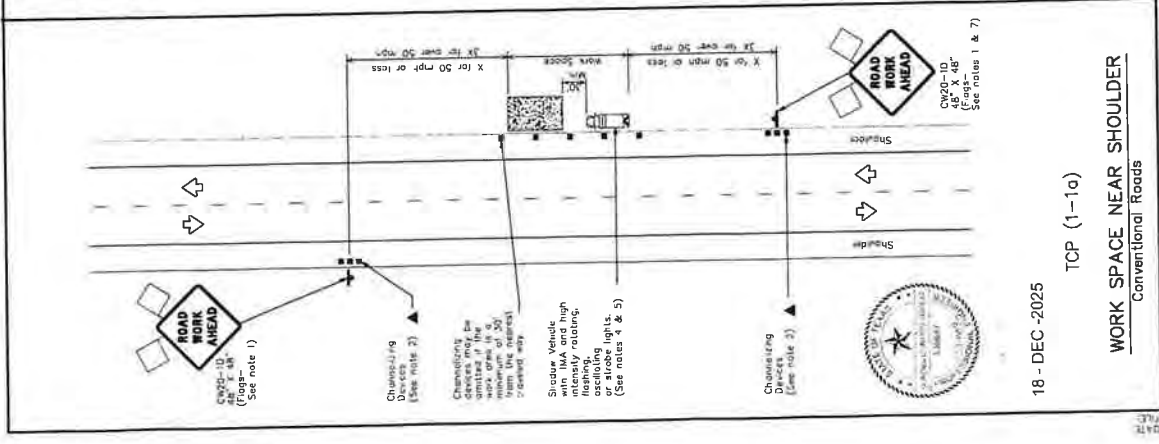
11. Sunday or Holiday Work. Sunday or Holiday work will not be permitted for the installation of any utility line unless directed or approved by Walker County.



**General Special Provisions
Walker County Utility Installation Request**

12. The approval of this utility installation request shall in no way be taken as a waiver or variance to any other existing local, state, or federal permits or requirements that may be required by the applicant.
13. Please note that Walker County will be making no verification through this process of the actual location of the public right of way as to width or location. The responsibility to locate the bounds of any public right of way that your project will utilize is the responsibility of your company. Walker County's approval of the request is not an agreement as to location of the public right of way, nor does it confer any easement, right of way, or property right for the project area.
14. **Protection of Trees and Landscaping.** Existing trees and landscaping within the ROW shall be protected as specified below. Removal of trees from the ROW will require prior Walker County approval.
- a. **Tree Pruning.** All tree pruning within the ROW will require prior TxDOT approval. All oak trees that are damaged or pruned shall be treated with an approved tree wound dressing within 20 minutes of causing the damage or making the pruning cut.
- b. **Landscaping.** When existing landscaping is located near the proposed utility alignment, the utility contractor shall notify Walker County and the owner of the landscaping prior to the proposed utility installation. Walker County may require underground utilities to be installed by: (1) boring under such landscaping or (2) by replacement of specific landscape items. Landscaping is defined as, but not limited to, trees, shrubs, grass, irrigation lines, landscape pavers, sidewalks, and other ROW improvements.





LEGEND

Type	Barriers	Channelizing Devices
Heavy W. Vehicle	W20-10	W20-10
Portable Channelizing Device	W20-2	W20-2
Flashing Arrow Board	W20-10	W20-10
Sign	W20-10	W20-10
Flag	W20-10	W20-10

GENERAL NOTES

1. All work shall be done within the limits of the work zone.
2. All work shall be done within the limits of the work zone.
3. All work shall be done within the limits of the work zone.
4. All work shall be done within the limits of the work zone.
5. All work shall be done within the limits of the work zone.
6. All work shall be done within the limits of the work zone.
7. All work shall be done within the limits of the work zone.

TRIDENT PIPELINE PROJECT

TRAFFIC CONTROL PLAN

7', 8', and 9' Width lanes

Rev: A Issued for Permit Date: 11/11/2025

Drawn by: JW Rev by: DE Approved by: GC

To the Commissioner's Court of Walker County

Date _____

Application is hereby made by Trident Intrastate Pipeline LLC
to place Natural Gas Pipeline

and/or perform the following described work _____ within the Right of Way of that Walker
County road known as Spring Circle Road at the following approximate coordinates
(lat/long) 30.792081 -95.693682

The exact location and extent of the proposed work shall be as shown on the attached
specifications and drawings.

We will construct and maintain the line on the road right of way as shown on the attached drawing and in accordance with the rules, regulations and policies of Walker County, the Texas Department of Transportation (TXDOT), and all governing laws, including, but not limited to, the "Texas Engineering Practice Act," "Federal Clean Water Act," the "National Endangered Species Act," "Americans with Disabilities Act," and the "Federal Historic Preservation Act." Upon request by Walker County, we will submit to Walker County proof of compliance with all governing laws, rules and regulations before commencement of construction. Plans shall include the design, proposed location, vertical elevations, and horizontal alignments of the facility based on the department's survey datum, the relationship to existing highway facilities and the right of way line, traffic safety and access procedures, and location of existing utilities that may be affected by the proposed utility facility. The location and description of the proposed line and appurtenances is more fully shown by a complete set of drawings attached to this Utility Installation Request. We will give plans to Walker County for each future proposed modification or expansion to our facility and all Walker County to review and approve submittals prior to commencement of the work.

A new request may be required as a condition of approval.

Our organization will use Best Management Practices to minimize erosion and sedimentation resulting from the proposed installation, and we will re-vegetate the project area as indicated under "Re-vegetation Special Provisions."

Our organization will ensure that traffic control measures complying with applicable portions of the *Texas Manual on Uniform Traffic Control Devices* will be installed and maintained for the duration of this installation.

When installing our utility on controlled access facilities, we shall conform to the Texas Transportation Code, Title 6 Roadways, Chapter 203, Subchapter C, Control of Access, §203.031. We shall limit access for servicing this installation to access via (a) frontage roads where provided, (b) nearby or adjacent public roads or streets, (c) trails along or near the highway right of way lines, connecting only to an intersecting road; from any one or all of which entry may be made to the outer portion of the highway right of way for normal service and maintenance operations. Our rights of access to the through traffic roadways and ramps shall be subject to the same rules and regulations that apply to the general public.

It is expressly understood that Walker County does not purport, hereby, to grant any right, claim, title or easement in or upon this road; and it is further understood that Walker County may require us to relocate this line and any associated infrastructure, at the total expense of the applicant/utility owner, by giving thirty (30) days written notice prior to the date that the relocation shall be completed. We understand that a new Request will be required for the relocation.

We will notify Walker County prior to commencement of any routine or periodic maintenance which requires pruning of trees within the highway right of way, so that Walker County may provide specifications for the extent and methods to govern in, but not limited to, trimming, topping, tree balance, type of cuts, painting cuts and clean up.

Our installation shall not damage any part of the roadway structure or associated appurtenances and we will make adequate provisions to minimize inconveniences to the traveling public, and adjacent property owners. In the event we fail to comply with any or all of the requirements as set forth herein, the County may take such action as it deems appropriate to compel our compliance.

Following approval, we will begin construction on or after January 2, 2026 (month/day/yr)

Additional Provisions and Requirements (for TxDOT input only)

General Special Provisions:

- ☒ Are attached.
☐ Are not attached

As-built Plans/Certifications of Construction:

- ☐ Are required and shall be certified as accurate by an authorized representative of the company.
☒ Are required and shall be signed and sealed by a State of Texas Licensed Professional Engineer.
☒ Certification that utility was installed as approved
☐ Are not required

Re-vegetation Special Provisions: In order to minimize erosion and sedimentation resulting from the proposed installation, the project area will be re-vegetated:

- ☒ In accordance with TxDOT's Standard Specification Item 164 which specifies the appropriate grass seed mix to be used, or:
☐ As indicated on the attachment.

The Precinct Commissioner or his/her representative is to be notified 48 hours prior to beginning construction.

If approved, we understand that we will assume all risks associated with this installation within the Walker County right of way. These risks include, but are not limited to, injuries to our workers, damage to contiguous utility lines that may be in the area, injuries or damage resulting from our failure to properly install and maintain the line as shown on plans.

We understand Walker County may place additional provisions and requirements as listed above, based upon, but not limited to, the type of utility being installed, local site conditions, soil types and traffic.

We acknowledge that this Utility Installation Request approval expires on the 91st calendar day from the date of issuance, unless otherwise approved, if we do not begin our installation by this date. If we do not begin our installation within this time frame and still wish to continue, we will resubmit our request in accordance with the prevailing governing laws, rules, regulations and policies at the time of resubmission.

By signing as/for the requestor below, I certify that I am authorized to represent the requestor, that I agree to the provisions and requirements included in this Utility Installation Request, and our commencement of construction will further attest to our review and acceptance of said additional provisions and requirements

Requestor:

Date:

By: Brittany Stolte

Signature:

Title: Land and ROW Manager and Attorney-in-Fact

Address:

Telephone:

Approved By:

Date:

By:

Signature:

Title:

Address:

Telephone:

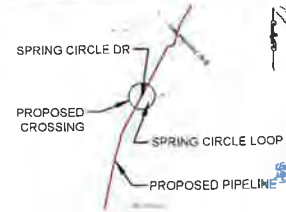
WALKER COUNTY, TEXAS

LEGEND

R/W	RIGHT OF WAY
FM	FARM TO MARKET
MIN	MINIMUM
CLR	CLEARANCE
---	EXISTING PIPELINE
---	POWER LINE
---	FENCE
---	PROPERTY LINE
●	POWER POLE

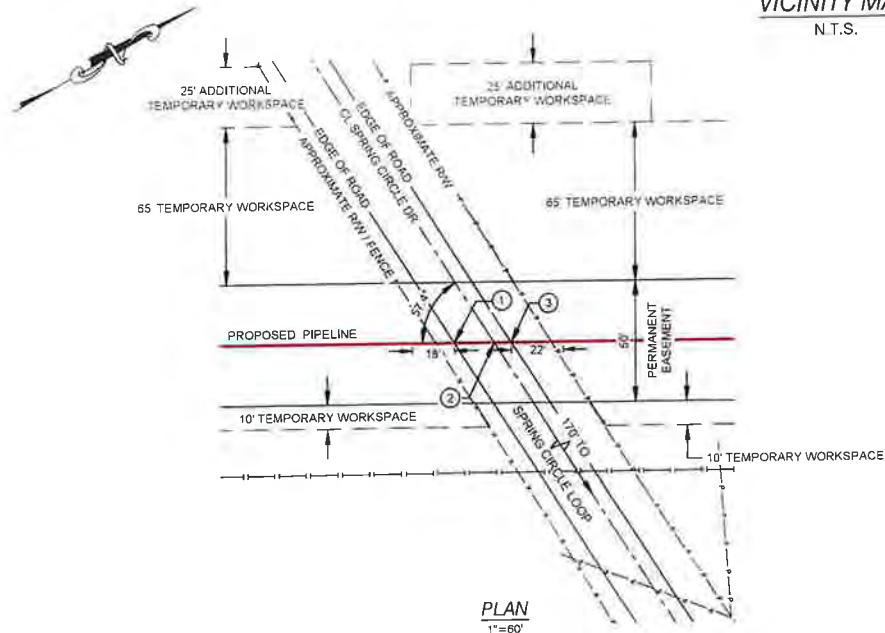
LOCATION COORDINATES

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Y = 10282174.47
2. X = 3752905.53
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3. X = 3752909.02
Y = 10282195.05



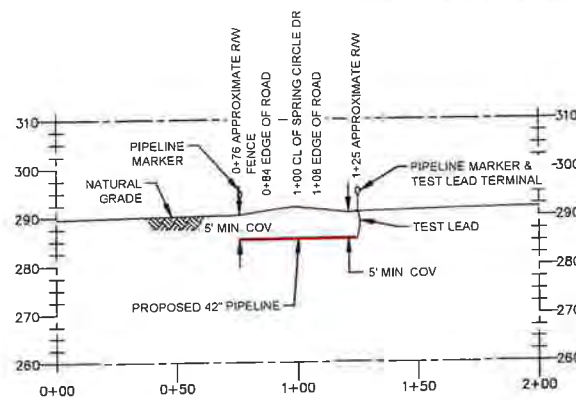
VICINITY MAP

N.T.S.



PLAN

1"=60'

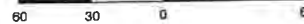


CROSSING LENGTH - 49' (APPROX R/W TO APPROX R/W)

PROFILE

1"=80' H
1"=30' V

SCALE IN FEET



NOTE

1. DATUM BASED ON NAD83 TEXAS STATE PLANE, CENTRAL ZONE, U.S. FOOT
2. EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS GENERATED FROM PREVIOUS MAPS AND SURVEY. CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES IN AREA OF WORK PRIOR TO CONSTRUCTION AND CALL TEXAS ONE CALL SYSTEM AT 1-800-245-4545 AND ALL OTHER UTILITY COMPANIES AT LEAST 2 WORKING DAYS (48 HOURS) PRIOR TO CONSTRUCTION.
3. ALL MINIMUM DEPTH REQUIREMENTS MEASURED AT THE TOP OF PIPE OR CASING.
4. CROSSING PIPE TO EXTEND AT A MINIMUM FROM EDGE OF R/W TO EDGE OF R/W.
5. CROSSING PIPE TO MAINTAIN 2' MIN. CLR. FROM EXISTING UTILITIES/PIPELINES.

CROSSING PIPE SPECIFICATIONS

CONTENTS: NATURAL GAS
CODE: 49 CFR PART 192.111/ASME B31.8
CLASS LOCATION: 2
DESIGN FACTOR: 0.50
PIPE: 42"Ø, 0.864" w.t., SAW, API 5L X70, PS2 E=1
CASING: NOT APPLICABLE
COATING: 14-16 MILS FBE, 30-40 MILS ARO
M.A.O.P. 1,440 PSIG
PIPELINE CATHODICALLY PROTECTED
METHOD OF INSTALLATION: BORE



10 - DEC - 2025

NO.	DATE	REVISION	BY	CHK	APPR	APPR	APPR
B	12/09/25	ISSUED FOR PERMIT	VLG	JW	GLC		
A	11/03/25	ISSUED FOR PERMIT	VLG	JW	GLC		

KINDER MORGAN



DRAWING
ISSUES

CONSTRUCTION	LAST			
BIDS	LAST			
APPROVAL	LAST			
INFORMATION	LAST			
ISSUED FOR:	SIGNATURE	DATE	REV.	
DRAWN:	MEH	DATE: 06/10/25		
CHECKED:	JRW	DATE: 06/10/25		
ENGINEER:		DATE:		
TRC:		DATE:		
CLIENT:		DATE:		
CLIENT:		DATE:		

ROAD CROSSING PERMIT

TRIDENT PIPELINE
SPRING CIRCLE DRIVE
WALKER COUNTY, TEXAS

SCALE	PROJECT NO	DRAWING NO	SHEET	REV
AS SHOWN	630450	630450-34WA-010	1 OF 1	B

05-Nov-2025 : 10:00 AM

VARIANCE REQUEST

OF WALKER COUNTY, TEXAS

Copy all pages of this form and all attachments for (1) community official, (2) building owner.
If any section is not applicable to the proposed development project please mark that section "NA"

SECTION A – PROPERTY INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Name Trident Intrastate Pipeline LLC		Application Number:
A2. Property Owner's Street Address <div style="background-color: black; height: 20px; width: 100%;"></div>		Date of Submittal
City <div style="background-color: black; height: 20px; width: 100%;"></div>	State <div style="background-color: black; height: 20px; width: 100%;"></div>	ZIP Code <div style="background-color: black; height: 20px; width: 100%;"></div>
A3. Property Owner's Email Address <div style="background-color: black; height: 20px; width: 100%;"></div>	A4. Property Owner's Telephone Number <div style="background-color: black; height: 20px; width: 100%;"></div>	
A5. Property Description of Parent Tract (Lot and Block Numbers, Legal Description, etc.) Spring Circle Drive Pipeline Crossing location 30.792081 -95.693682		
SECTION B – INFORMATION FOR PROPOSED SUBDIVISION TRACT		
(For projects involving multiple map panels an additional sheet may be listed below or included in an additional attachment)		
B1. Survey and Abstract N/A	B2. Tax ID Number(s) of Parent Tract N/A	B3. Deed Volume/Page N/A
B4. Existing or Proposed Name of Subdivision N/A	B5. Is the application for a division of a lot in an Existing Platted Subdivision? (Yes/No) N/A	
THE ABOVE NAMED APPLICANT DOES HEREBY MAKE AN APPEAL TO THE COMMISSIONER'S COURT OF WALKER COUNTY FOR A VARIANCE TO THE REGULATORY REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF WALKER COUNTY, TEXAS.		
SECTION C – LIST OF ATTACHMENTS		
Please list any supporting documents or submittals included with the variance request as attachments.		
Description of Attachment(s)		Exhibit #
C.1 630450-34WA-010 SPRING CIRCLE DRIVE PLAN AND PROFILE DRAWING		1
C.2		
C.3		
C.4		

SECTION D –VARIANCE REQUEST

(All Variance requests need to include the specific variance along with the Section(s) of the Regulation to which they apply)

- D.1 A Variance is requested to Section(s) 43 TAC §21.37(b)(4) of the Subdivision Regulations of Walker County, Texas as follows:

We request a variance to allow our pipeline to cross Spring Circle Drive at 57.4°.

SECTION E – APPLICANT’S JUSTIFICATION AND PRESENTATION FACTORS EFFECTING VARIANCE

(All variance requests to the Walker County Subdivision Regulations need to be included along with the Section(s) of the Regulation to which they apply)

- E.1 Is the variance related to the design or construction of improvements to be constructed within the subdivision?
Yes _____ No x _____

If “Yes” the request should be accompanied by an engineer’s opinion and justification for the variance.

- E.2 Please explain the cause or reason the variance is being requested (attach additional pages as “Exhibit E.2”):

The proposed alignment for our pipeline parallels existing utilities and
installing a 90° crossing would cause additional utilities congestion in the area.

- E.3 Will the failure to grant the variance requested result in any exceptional hardship to the applicant?

Yes X _____ No _____

If yes please explain below:

- E.4 Does the applicant propose any additional conditions, mitigation, or additional requirements not addressed within the Walker County Subdivision Regulations that will or have been met by the applicant as a condition of the variance being granted?

Yes _____ No _____ Please list the additional measures below.

SECTION F –VARIANCE(S) GRANTED

F.1 A VARIANCE TO THE WALKER COUNTY SUBDIVISION REGULATIONS IS GRANTED AS FOLLOWS:

F.2 THE FOLLOWING CONDITIONS ARE ATTACHED TO THE VARIANCE:

SECTION G - NOTICE, ACKNOWLEDGEMENT, AND CERTIFICATIONS

NOTICE

ALL DEVELOPMENT MUST BE IN STRICT COMPLIANCE WITH THE CONDITIONS STATED HEREIN AND ANY OTHER CONDITIONS STATED WITHIN THE APPLICATION OR DURING THE PRESENTATION TO COMMISSIONERS COURT. ANY VARIATION MAY RESULT IN THE IMMEDIATE SUSPENSION OR CANCELLATION OF THIS VARIANCE. VIOLATION OF THE CONDITIONS OF THIS VARIANCE MAY ALSO RESULT IN THE COMMISSIONERS COURT SEEKING INJUNCTIVE RELIEF, CIVIL, OR CRIMINAL PENALTIES.

WARNING

THE APPLICANT ACKNOWLEDGES THAT HE/SHE IS RESPONSIBLE TO ENSURE THAT ANY VARIANCE DOES NOT DAMAGE OR THREATEN THE PUBLIC OR ADJACENT PROPERTIES AND COMPLIES WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

DISCLAIMER

THE COMMISSIONER'S COURT OF WALKER COUNTY AND ANY OFFICER OR EMPLOYEE OF WALKER COUNTY ARE **NOT** LIABLE FOR DAMAGES OR LOSS RESULTING FROM THE GRANTING OF THIS VARIANCE. THIS VARIANCE IS GRANTED IN RELIANCE UPON THE STATEMENTS AND EVIDENCE SUPPLIED BY THE APPLICANT AND HIS/HER AGENTS IN THE APPLICATION AND PRESENTATION TO COMMISSIONERS COURT.

I, Gonzalo Cabrera, do hereby acknowledge that I have reviewed the provisions, notices, warnings and disclaimers stated above and that I understand them, agree with them and intend to fully comply with them.

Signature of Owner/Applicant

Gonzalo L. Cabrera

Digitally signed by Gonzalo L. Cabrera
DN: C=US, E=gonicab2024@gmail.com, CN=Gonzalo L.
Cabrera
Reason: I am the author of this document
Date: 2025.12.16 17:22:12-05'00'

Date

12/16/2025

SECTION H – ACTION ON VARIANCE BY COMMISSIONER'S COURT

After careful consideration of the reason(s) for the request of variance, the Commissioner's Court of Walker County, Texas has determined that it is within the scope of the variance procedures as outlined in the Walker County Subdivision Regulations to _____ this request for variance.

Commissioner's Court Signature

Printed Name

Date

Signature of Owner/Applicant acknowledging conditions after court action.

Date



bleylengineering.com
(936) 441-7833

December 3, 2025

Mr. Andrew Isbell
Walker County Planning & Development
1313 University Avenue
Huntsville, TX 77340

Re: Review No. 2
Trident Natural Gas Pipeline Installation Application – Spring Circle Drive (90500-296)
Walker County

Mr. Isbell:

Bleyl Engineering reviewed the application submitted on behalf of Trident Intrastate Pipeline, LLC, for the installation of the natural gas pipeline related to Spring Circle Drive, and we offer the comments below. Please note that comments prefaced with an “R2” are issued for this review, which follows the related, previously issued comment.

- R2.1. Comment remains. A “Pipe Class,” as referenced in Table 1 of Title 49 CFR §192.113, is not on the plans.
- R1.2. New utility facilities crossing the highway shall be installed at approximately 90 degrees to the centerline of the highway (43 TAC 821.37(b)(4)).
- R2.2. Comment remains. You may submit a variance request for the Commissioners Court's consideration regarding any crossings that are not approximately 90 degrees to the centerline of the roadway.
- R1.3. Include the engineer's firm number and all signed sheets, including calculations, per Board Rules §137.33(h) & §137.77(h).
- R2.3. Comment satisfied.
- R1.4. The traffic control plan calls for a minimum of 10' lanes, but the roadway has lanes less than 12'. Provide a traffic control plan that is suited to the subject roadway. Traffic control signs should be signed and secured in accordance with Board Rules §137.33 & §137.77(h).
- R2.4. Comment satisfied.
- R1.5. Show existing utilities, including existing pipelines, in the vicinity of the proposed work.
- R2.5. Comment satisfied.
- R1.6. All borings shall extend ten feet beyond the travel lanes for undisturbed roads (road limits of 40 mph or less). Please add dimension callouts for this distance to the crossing detail to ensure compliance with 43 TAC 821.40(a)(4)(E)(iv).
- R2.6. Comment satisfied.
- R1.7. No recording information was provided for the rights-of-way. It is the applicant's responsibility to confirm the rights-of-way widths and obtain approvals/assessments from all applicable jurisdictions/property owners before installation.
- R2.7. Comment satisfied.

bleylengineering.com

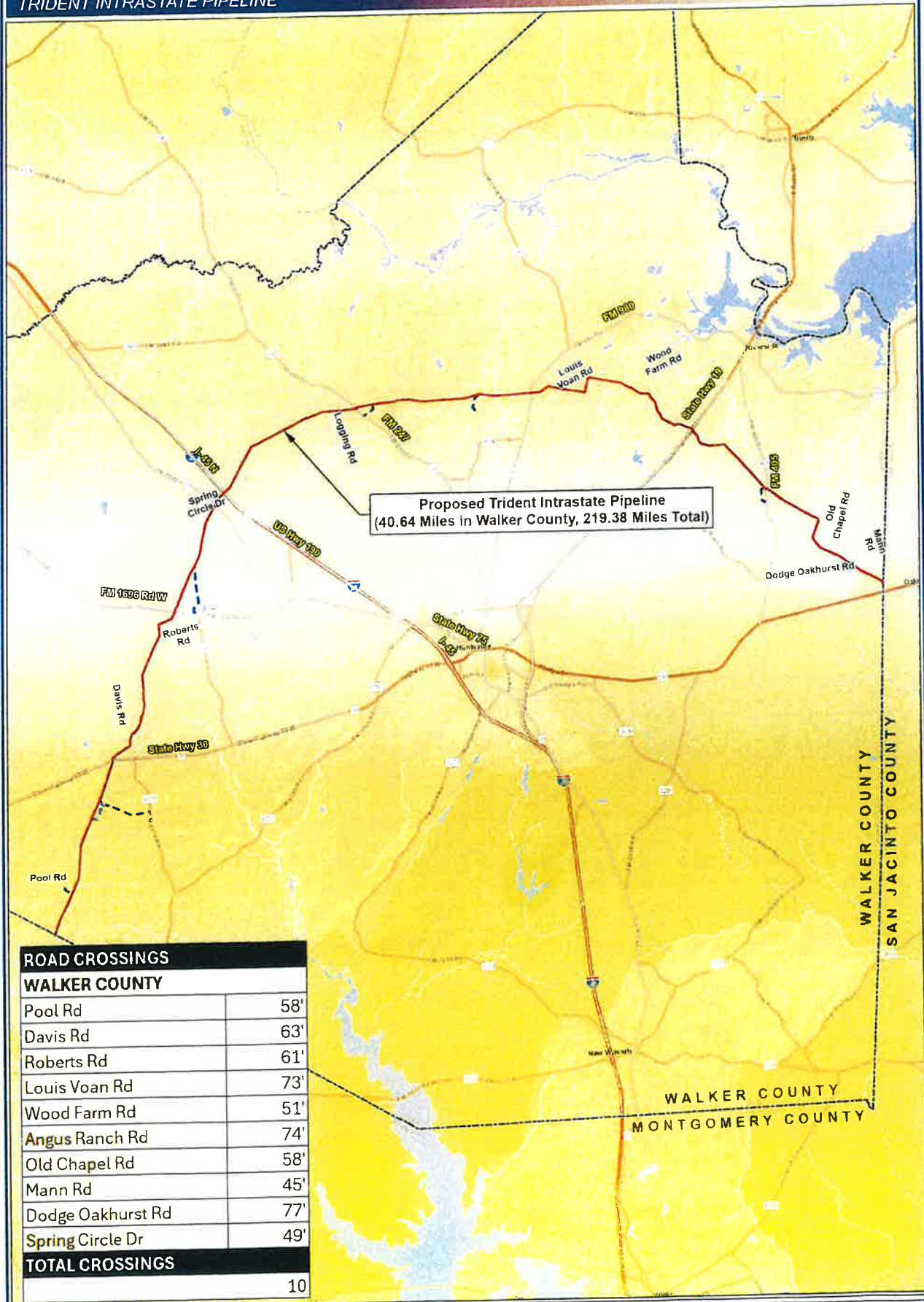
Advancing stronger, safer communities across Texas since 1997.

Bleyl Engineering has conducted this review on behalf of Walker County, and this review is subject to further comments upon receipt of additional information requested above. Bleyl Engineering and Walker County do not accept any responsibility for the design or accuracy of the construction drawings. All construction shall meet the regulations adopted by Walker County. This letter is not intended to propose specific alterations to the construction drawings or waive the applicant's responsibility to comply with applicable laws, regulations, and orders.

Sincerely,

Steffanie M. DeLoss, P.E., CFM
Sr. Engineering Manager
Bleyl Engineering

E:\296 UIR Trident - Spring Circle Dr, Pct 1\R2\Out\251203 UIR Trident - Spring Circle Dr, Pct 1.docx



ROAD CROSSINGS

WALKER COUNTY

Pool Rd	58'
Davis Rd	63'
Roberts Rd	61'
Louis Voan Rd	73'
Wood Farm Rd	51'
Angus Ranch Rd	74'
Old Chapel Rd	58'
Mann Rd	45'
Dodge Oakhurst Rd	77'
Spring Circle Dr	49'

TOTAL CROSSINGS

10



LEGEND

- Access Roads
- Trident Intrastate Pipeline
- County Boundary



KINDER MORGAN

DATE: 10-27-2024 SHEET: PAGE 1 OF 1

**General Special Provisions
Walker County Utility Installation Request**

1. Effective Period of Permit Approval. All approvals are void if installation does not begin within 3 months from the date of approval.
2. ALL UTILITY INSTALLATIONS SHALL CONFORM WITH THE STANDARDS DESCRIBED IN TITLE 43, PART 1, CHAPTER 21, SUBCHAPTER C, OF THE TEXAS ADMINISTRATIVE CODE (UTILITY ACCOMODATIONS)
3. A FINAL AS-BUILT SET OF PLANS SHALL BE SUBMITTED AND CERTIFIED BY A PROFESSIONAL ENGINEER, INCLUDING A CERTIFICATION THAT THE INSTALLATION WAS COMPLETED IN CONFORMANCE AND COMPLIANCE WITH THE ABOVE DESCRIBED SECTIONS OF THE TEXAS ADMINISTRATIVE CODE AND TEXAS DEPARTMENT OF TRANSPORTATION MINIMUM SPECIFICATIONS. A statement must be included certifying that any pipe/casing installed is properly designed for the application and the installation meets the minimum standards for TxDOT and Title 43 of the Texas Administrative Code.
4. Minimum Depth of Cover. The minimum depth of cover for any underground utility line shall be as shown on the "Minimum Depth of Cover Table" for the TXDOT District or attached schematic whichever is deeper.
5. Locating Utilities. Applicant shall take all reasonable and necessary steps to locate existing utilities and address them in accordance with all state, local, and or federal requirements.
6. Aerial Electric Lines. Aerial electric power lines crossing over the highway shall be installed and maintained a minimum of twenty-two (22) feet above the surface of the traffic lanes. For electric power lines with greater than 50,000 volts, the clearance shall be increased in accordance with National Electric Safety Code as published in the National Bureau of Standards, Handbook 30.
7. Aerial Communication Lines. Aerial communication lines crossing over the highway shall be installed and maintained a minimum of eighteen (18) feet above the surface of the traffic lanes.
8. Open Trenching or Boring Operations for Utility Work. To insure that disturbed areas are restored and revegetated properly and in a reasonable period as the utility work progresses, the following requirements shall apply:

Unless otherwise approved or directed by Walker County, the length of "active utility work" shall not exceed one mile in length. "Active utility work" shall be defined as the total disturbed area measured from the beginning of open trenching to the point where backfill has been compacted, the right of way has been restored to its original line and grade, any structures damaged by the utility work have been repaired, erosion control measures have been placed and are being properly maintained, approved topsoil seed and compost has been placed uniformly, and watering for revegetation has begun. "Active utility work" also includes areas of bore pits and receiving pits; however, it does not include the underground boring length. When any area of "active utility work" is substantially complete (i.e., watering of seeded areas has begun), that area is no longer considered to be "active utility work", and "active utility work" can proceed further within the right of way as long as it does not exceed the above appropriate limits. Areas where Walker County determines that the "active utility work" is substantially complete does not mean that Walker County considers that area totally acceptable and complete.

9. Backfill, Erosion Control, and Re-vegetation. All excavations within the right-of-way (ROW) and not under pavement shall be backfilled by tamping in six (6) inch horizontal layers to the density of the surrounding



**General Special Provisions
Walker County Utility Installation Request**

soil or as directed by the Walker County. All surplus material shall be removed and the ROW shall be reshaped to its original condition or better. This work shall be done in accordance with Item 164 of the Texas Department of Transportation (TxDOT) "Standard Specifications for Construction and Maintenance of Highways, Streets, and Bridges." Erosion control measures such as soil retention blankets, rock berms, and silt fences shall be installed and maintained until permanent perennial vegetation is established over 70% of the disturbed area. The amount of revegetation is considered acceptable when it resembles the amount of existing vegetation in the surrounding undisturbed area. **If erosion control and/or storm water run-off requirements of other State, Federal, or Local Jurisdictions exceed these requirements then the more stringent requirements would prevail.**

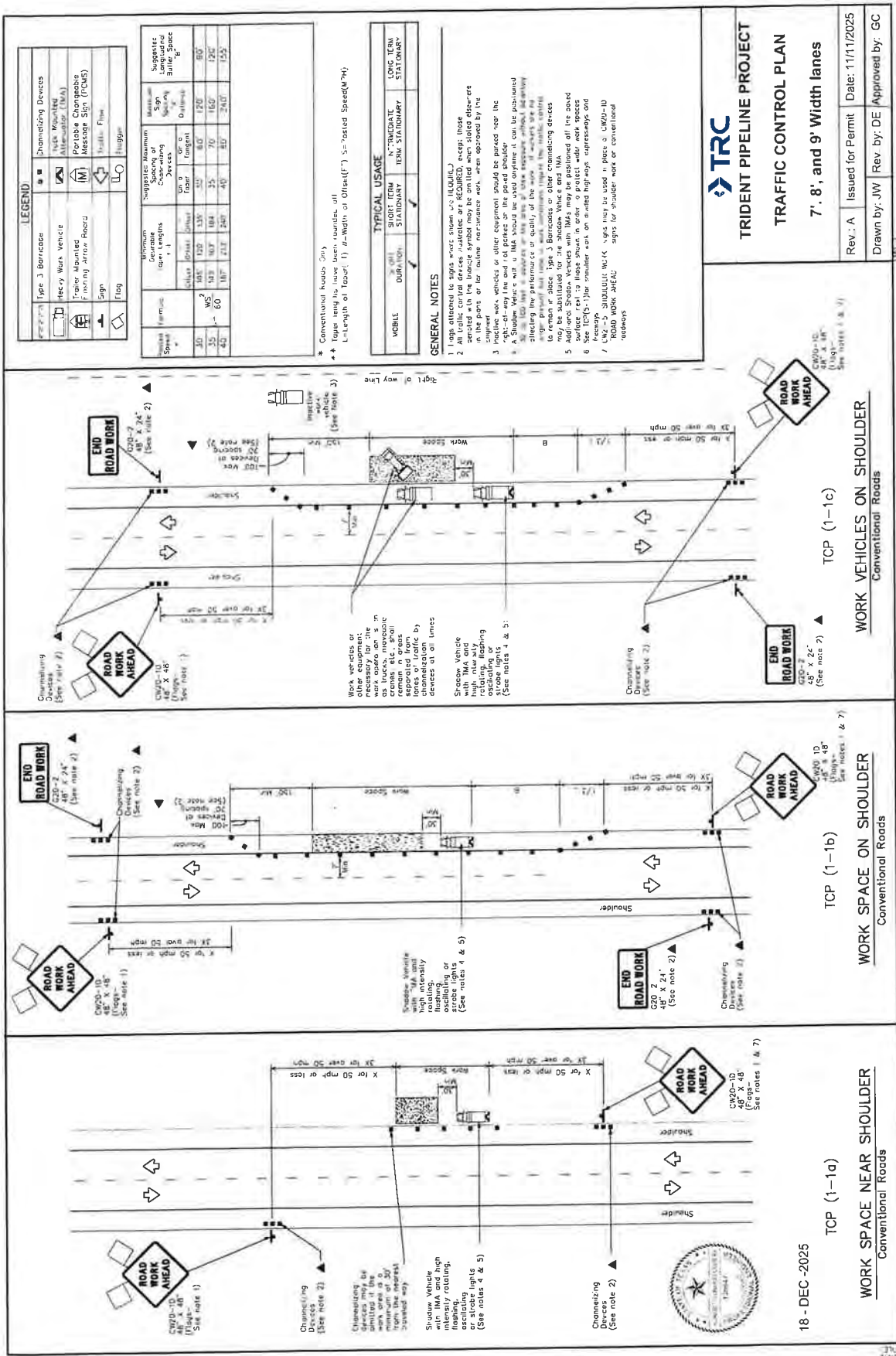
8. Boring and Jacking. Boring and jacking of utility lines shall be provided as specified below.
- a. Under Paved County Roads. Utility lines to be constructed under an existing paved (asphalt pavement or concrete pavement) county road shall be installed by boring and jacking with casing.
 - b. Under Paved Driveways. Utility lines to be constructed under existing paved (asphalt pavement or concrete pavement) driveways shall be installed by boring and jacking methods, unless the utility company furnishes Walker County with a "Letter of No Objection" signed by the driveway owner to allow open cutting of their driveway.
 - c. Under Unpaved County Roads or Driveways. Utility lines to be constructed under an existing unpaved county road or under existing unpaved driveways may be open cut only when approved in advance by Walker County, and after the driveway owner is notified. Any open cuts should be repaired and restored to a minimum of pre-cut conditions as quickly as possible so as not to impact road and/or driveway traffic. Applicant shall take all necessary precautions to insure safety as site of open cut.
 - d. Under Desirable Trees. To preserve the natural environment and protect wildlife habitat, boring may be required when underground utility lines are to be placed within the "protected root area" of "desirable trees" located within road ROW or on adjacent property. The "protected root area" is defined as the area between the tree trunk and five (5) feet from the tree trunk or 2/3 the actual distance from the tree trunk to the dripline, whichever is greater. "Desirable trees" include (but are not limited to) any tree with a trunk diameter of six (6) inches or more that Walker County or the Owner of the tree determines to be of environmental and aesthetic value. Boring under all "desirable trees" will be required with the following exceptions: (1) in areas where planned highway construction/maintenance work would require tree removal, or (2) when the Walker County approves of open trenching for the utility installation or removal of the tree.
9. Manhole Covers. All manhole covers shall be installed flush with the ground surface.
10. Traffic Control. Traffic control in utility work zones shall conform to applicable requirements of the "Texas Manual on Uniform Traffic Control Devices for Streets and Highways, Part VI". Adequate signs, barricades, flag personnel, etc. shall be erected and maintained in complete compliance with the Texas Manual on Uniform Traffic Control Devices. Any travel lane closures are only permitted after a traffic control plan is approved by Walker County prior to beginning any construction activities.
11. Sunday or Holiday Work. Sunday or Holiday work will not be permitted for the installation of any utility line unless directed or approved by Walker County.



**General Special Provisions
Walker County Utility Installation Request**

12. The approval of this utility installation request shall in no way be taken as a waiver or variance to any other existing local, state, or federal permits or requirements that may be required by the applicant.
13. Please note that Walker County will be making no verification through this process of the actual location of the public right of way as to width or location. The responsibility to locate the bounds of any public right of way that your project will utilize is the responsibility of your company. Walker County's approval of the request is not an agreement as to location of the public right of way, nor does it confer any easement, right of way, or property right for the project area.
14. Protection of Trees and Landscaping. Existing trees and landscaping within the ROW shall be protected as specified below. Removal of trees from the ROW will require prior Walker County approval.
- a. Tree Pruning. All tree pruning within the ROW will require prior TxDOT approval. All oak trees that are damaged or pruned shall be treated with an approved tree wound dressing within 20 minutes of causing the damage or making the pruning cut.
- b. Landscaping. When existing landscaping is located near the proposed utility alignment, the utility contractor shall notify Walker County and the owner of the landscaping prior to the proposed utility installation. Walker County may require underground utilities to be installed by: (1) boring under such landscaping or (2) by replacement of specific landscape items. Landscaping is defined as, but not limited to, trees, shrubs, grass, irrigation lines, landscape pavers, sidewalks, and other ROW improvements.





TRIDENT PIPELINE PROJECT

TRAFFIC CONTROL PLAN

7', 8', and 9' Width lanes

Rev: A	Issued for Permit	Date: 11/11/2025
Drawn by: JW	Rev. by: DE	Approved by: GC

18 - DEC -2025

TCP (1-1a)

WORK SPACE NEAR SHOULDER

Conventional Roads

TCP (1-1b)

WORK SPACE ON SHOULDER

Conventional Roads

TCP (1-1c)

WORK VEHICLES ON SHOULDER

Conventional Roads

To the Commissioner's Court of Walker County

Date _____

Application is hereby made by Trident Intrastate Pipeline LLC
to place Natural Gas Pipeline

and/or perform the following described work _____ within the Right of Way of that Walker
County road known as Davis Road at the following approximate coordinates
(lat/long) 30.692875, -95.740453.

The exact location and extent of the proposed work shall be as shown on the attached
specifications and drawings.

We will construct and maintain the line on the road right of way as shown on the attached drawing and in accordance with the rules, regulations and policies of Walker County, the Texas Department of Transportation (TXDOT), and all governing laws, including, but not limited to, the "Texas Engineering Practice Act," "Federal Clean Water Act," the "National Endangered Species Act," "Americans with Disabilities Act," and the "Federal Historic Preservation Act." Upon request by Walker County, we will submit to Walker County proof of compliance with all governing laws, rules and regulations before commencement of construction. Plans shall include the design, proposed location, vertical elevations, and horizontal alignments of the facility based on the department's survey datum, the relationship to existing highway facilities and the right of way line, traffic safety and access procedures, and location of existing utilities that may be affected by the proposed utility facility. The location and description of the proposed line and appurtenances is more fully shown by a complete set of drawings attached to this Utility Installation Request. We will give plans to Walker County for each future proposed modification or expansion to our facility and all Walker County to review and approve submittals prior to commencement of the work.

A new request may be required as a condition of approval.

Our organization will use Best Management Practices to minimize erosion and sedimentation resulting from the proposed installation, and we will re-vegetate the project area as indicated under "Re-vegetation Special Provisions."

Our organization will ensure that traffic control measures complying with applicable portions of the *Texas Manual on Uniform Traffic Control Devices* will be installed and maintained for the duration of this installation.

When installing our utility on controlled access facilities, we shall conform to the Texas Transportation Code, Title 6 Roadways, Chapter 203, Subchapter C, Control of Access, §203.031. We shall limit access for servicing this installation to access via (a) frontage roads where provided, (b) nearby or adjacent public roads or streets, (c) trails along or near the highway right of way lines, connecting only to an intersecting road; from any one or all of which entry may be made to the outer portion of the highway right of way for normal service and maintenance operations. Our rights of access to the through traffic roadways and ramps shall be subject to the same rules and regulations that apply to the general public.

It is expressly understood that Walker County does not purport, hereby, to grant any right, claim, title or easement in or upon this road; and it is further understood that Walker County may require us to relocate this line and any associated infrastructure, at the total expense of the applicant/utility owner, by giving thirty (30) days written notice prior to the date that the relocation shall be completed. We understand that a new Request will be required for the relocation.

We will notify Walker County prior to commencement of any routine or periodic maintenance which requires pruning of trees within the highway right of way, so that Walker County may provide specifications for the extent and methods to govern in, but not limited to, trimming, topping, tree balance, type of cuts, painting cuts and clean up.

Our installation shall not damage any part of the roadway structure or associated appurtenances and we will make adequate provisions to minimize inconveniences to the traveling public, and adjacent property owners. In the event we fail to comply with any or all of the requirements as set forth herein, the County may take such action as it deems appropriate to compel our compliance.

Following approval, we will begin construction on or after January 2, 2026 (month/day/yr)

Additional Provisions and Requirements (for TxDOT input only)

General Special Provisions:

- ☒ Are attached.
☐ Are not attached

As-built Plans/Certifications of Construction:

- ☐ Are required and shall be certified as accurate by an authorized representative of the company.
☒ Are required and shall be signed and sealed by a State of Texas Licensed Professional Engineer
☒ Certification that utility was installed as approved
☐ Are not required

Re-vegetation Special Provisions: In order to minimize erosion and sedimentation resulting from the proposed installation, the project area will be re-vegetated:

- ☒ In accordance with TxDOT's Standard Specification Item 164 which specifies the appropriate grass seed mix to be used, or:
☐ as indicated on the attachment.

The Precinct Commissioner or his/her representative is to be notified 48 hours prior to beginning construction.

If approved, we understand that we will assume all risks associated with this installation within the Walker County right of way. These risks include, but are not limited to, injuries to our workers, damage to contiguous utility lines that may be in the area, injuries or damage resulting from our failure to properly install and maintain the line as shown on plans.

We understand Walker County may place additional provisions and requirements as listed above, based upon, but not limited to, the type of utility being installed, local site conditions, soil types and traffic.

We acknowledge that this Utility Installation Request approval expires on the 91st calendar day from the date of issuance, unless otherwise approved, if we do not begin our installation by this date. If we do not begin our installation within this time frame and still wish to continue, we will resubmit our request in accordance with the prevailing governing laws, rules, regulations and policies at the time of resubmission.

By signing as/for the requestor below, I certify that I am authorized to represent the requestor, that I agree to the provisions and requirements included in this Utility Installation Request, and our commencement of construction will further attest to our review and acceptance of said additional provisions and requirements

Requestor:

Date:

8/20/05

By: Brittany Stoltz

Signature:

Brittany Stoltz

Title: Land and ROW Manager and Attorney-in-Fact

Address:

[Redacted]

[Redacted]

Telephone:

[Redacted]

Approved By:

Date:

By:

Signature:

Title:

Address:

Telephone:

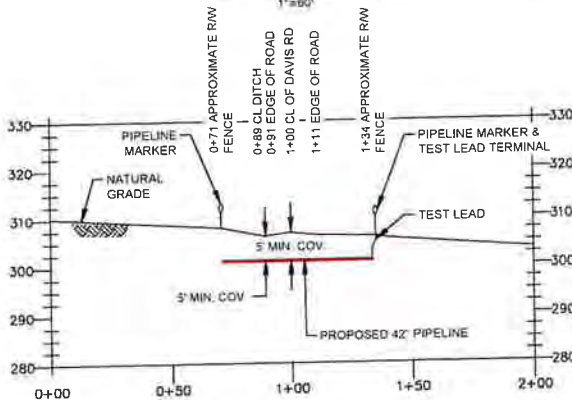
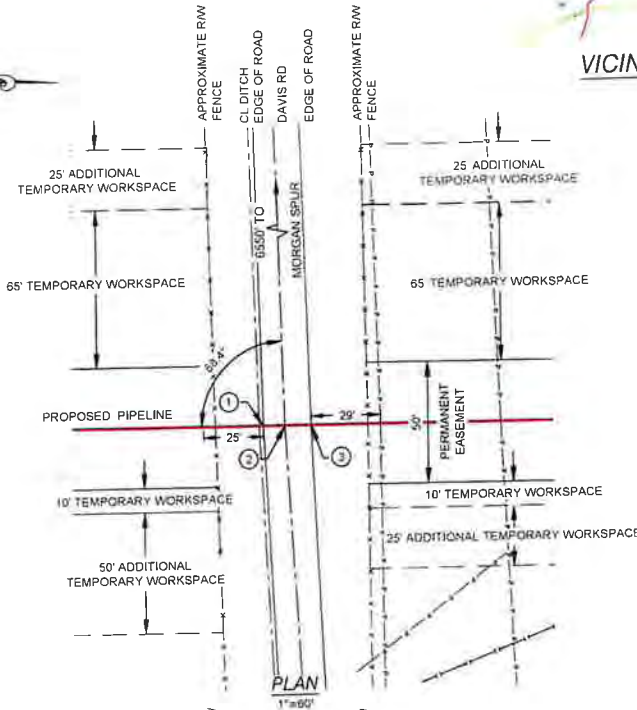
WALKER COUNTY, TEXAS

LEGEND

R/W RIGHT OF WAY
FM FARM TO MARKET
MIN MINIMUM
CLR CLEARANCE
EXISTING PIPELINE
POWER LINE
FENCE
PROPERTY LINE
POWER POLE

LOCATION COORDINATES

1. X= 3739718.47
Y= 10245529.96
2. X= 3739718.40
Y= 10245538.77
3. X= 3739718.30
Y= 10245549.68



10 - DEC - 2025

CROSSING LENGTH - 63' (APPROX R/W TO APPROX R/W)

NOTE:

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COATING: 14-16 MILS FBE, 30-40 MILS ARO
M.A.O.P.: 1,440 PSIG
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METHOD OF INSTALLATION: BORE



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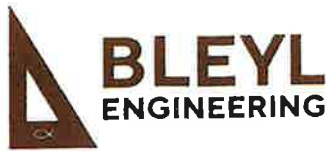
DRAWING ISSUES	CONSTRUCTION	LAST	DATE
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APPROVAL	LAST	DATE	
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ISSUED FOR:	SIGNATURE	DATE	REV.
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CHECKED: JW	DATE: 05/01/25		
ENGINEER:	DATE:		
TRC:	DATE:		
CLIENT:	DATE:		
CLIENT:	DATE:		

ROAD CROSSING PERMIT

TRIDENT PIPELINE
DAVIS RD
WALKER COUNTY, TEXAS

SCALE	PROJECT NO	DRAWING NO	SHEET	REV
AS SHOWN	630450	630450-34WA-002	1 OF 1	B

05-Nov-2025 : 10:00 AM



December 3, 2025

Mr. Andrew Isbell
Walker County Planning & Development
1313 University Avenue
Huntsville, TX 77340

Re: Review No. 2
Trident Natural Gas Pipeline Installation Application – Davis Road (90500-302)
Walker County

Mr. Isbell:

Bleyl Engineering reviewed the application submitted on behalf of Trident Intrastate Pipeline, LLC, for the installation of the natural gas pipeline related to Davis Road, and we offer the comments below. Please note that comments prefaced with an "R2" are issued for this review, which follows the related, previously issued comment.

- R1.1. Comment satisfied.
- R1.2. Provide the "Pipe Class" used for determining longitudinal joint factor in Pipe v/s Thickness Calculations per Table 1 in Title 49 CFR §192.113.
- R2.2. Comment remains. A "Pipe Class," as referenced in Table 1 of Title 49 CFR §192.113, is not on the plans.
- R1.3. Include the engineer's firm number on all sealed sheets, including this one, per Board Rules §137.33(a), §137.77(b).
- R2.3. Comment satisfied.
- R1.4. The traffic control plan does not show the location of the roadways, but the roadways are shown. Provide traffic control plan that shows the location of the roadways. Traffic control plan should be signed and sealed in accordance with Board Rules §137.33(a), §137.77(b).
- R2.4. Comment satisfied.
- R1.5. Show existing utilities, including existing gas lines, on the plan.
- R2.5. Comment satisfied.
- R1.6. All borings shall extend ten feet beyond the travel lanes for unimproved roads (speed limits of 40 mph or less). Please add dimension callouts for this distance to the crossing detail to ensure compliance with 40 TAC §21.40(a)(4)(E)(vi).
- R2.6. Comment satisfied.
- R1.7. No recording information was provided for the rights-of-way. It is the applicant's responsibility to confirm the rights-of-way widths and obtain approvals/easements from all applicable jurisdictions/property owners before installation.
- R2.7. Comment satisfied.

Bleyl Engineering has conducted this review on behalf of Walker County, and this review is subject to further comments upon receipt of additional information requested above. Bleyl Engineering and Walker County do not accept any responsibility for the design or accuracy of the construction drawings. All construction shall

meet the regulations adopted by Walker County. This letter is not intended to propose specific alterations to the construction drawings or waive the applicant's responsibility to comply with applicable laws, regulations, and orders.

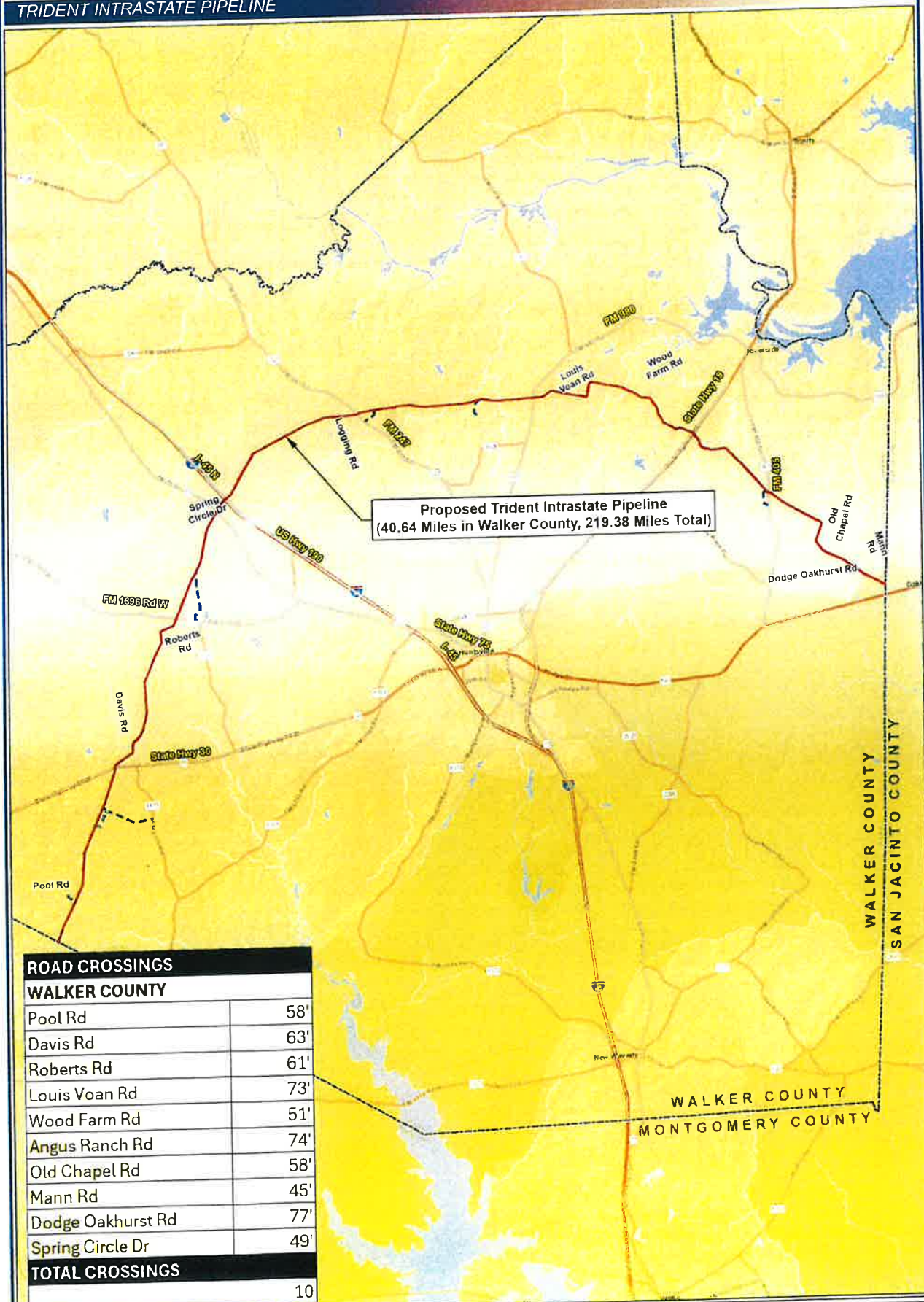
Sincerely,

Steffanie M. DeLoss, P.E., CFM

Sr. Engineering Manager

Bleyl Engineering

E:\302 UIR Trident - Davis Rd, Pct 2\IR2\Out\251203 UIR Trident - Davis Rd, Pct 2.docx



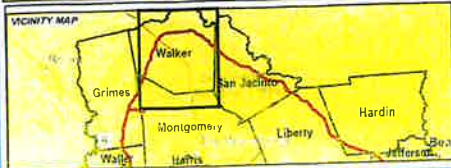
ROAD CROSSINGS

WALKER COUNTY

Pool Rd	58'
Davis Rd	63'
Roberts Rd	61'
Louis Voan Rd	73'
Wood Farm Rd	51'
Angus Ranch Rd	74'
Old Chapel Rd	58'
Mann Rd	45'
Dodge Oakhurst Rd	77'
Spring Circle Dr	49'

TOTAL CROSSINGS

10



LEGEND
 - - - Access Roads
 - - - Trident Intrastate Pipeline
 --- County Boundary



KINDER MORGAN

**General Special Provisions
Walker County Utility Installation Request**

1. Effective Period of Permit Approval. All approvals are void if installation does not begin within 3 months from the date of approval.
2. ALL UTILITY INSTALLATIONS SHALL CONFORM WITH THE STANDARDS DESCRIBED IN TITLE 43, PART 1, CHAPTER 21, SUBCHAPTER C, OF THE TEXAS ADMINISTRATIVE CODE (UTILITY ACCOMODATIONS)
3. A FINAL AS-BUILT SET OF PLANS SHALL BE SUBMITTED AND CERTIFIED BY A PROFESSIONAL ENGINEER, INCLUDING A CERTIFICATION THAT THE INSTALLATION WAS COMPLETED IN CONFORMANCE AND COMPLIANCE WITH THE ABOVE DESCRIBED SECTIONS OF THE TEXAS ADMINISTRATIVE CODE AND TEXAS DEPARTMENT OF TRANSPORTATION MINIMUM SPECIFICATIONS. A statement must be included certifying that any pipe/casing installed is properly designed for the application and the installation meets the minimum standards for TxDOT and Title 43 of the Texas Administrative Code.
4. Minimum Depth of Cover. The minimum depth of cover for any underground utility line shall be as shown on the "Minimum Depth of Cover Table" for the TXDOT District or attached schematic whichever is deeper.
5. Locating Utilities. Applicant shall take all reasonable and necessary steps to locate existing utilities and address them in accordance with all state, local, and or federal requirements
6. Aerial Electric Lines. Aerial electric power lines crossing over the highway shall be installed and maintained a minimum of twenty-two (22) feet above the surface of the traffic lanes. For electric power lines with greater than 50,000 volts, the clearance shall be increased in accordance with National Electric Safety Code as published in the National Bureau of Standards, Handbook 30.
7. Aerial Communication Lines. Aerial communication lines crossing over the highway shall be installed and maintained a minimum of eighteen (18) feet above the surface of the traffic lanes.
8. Open Trenching or Boring Operations for Utility Work. To insure that disturbed areas are restored and revegetated properly and in a reasonable period as the utility work progresses, the following requirements shall apply:

Unless otherwise approved or directed by Walker County, the length of "active utility work" shall not exceed one mile in length. "Active utility work" shall be defined as the total disturbed area measured from the beginning of open trenching to the point where backfill has been compacted, the right of way has been restored to its original line and grade, any structures damaged by the utility work have been repaired, erosion control measures have been placed and are being properly maintained, approved topsoil seed and compost has been placed uniformly, and watering for revegetation has begun. "Active utility work" also includes areas of bore pits and receiving pits; however, it does not include the underground boring length. When any area of "active utility work" is substantially complete (i.e., watering of seeded areas has begun), that area is no longer considered to be "active utility work", and "active utility work" can proceed further within the right of way as long as it does not exceed the above appropriate limits. Areas where Walker County determines that the "active utility work" is substantially complete does not mean that Walker County considers that area totally acceptable and complete.

9. Backfill, Erosion Control, and Re-vegetation. All excavations within the right-of-way (ROW) and not under pavement shall be backfilled by tamping in six (6) inch horizontal layers to the density of the surrounding



**General Special Provisions
Walker County Utility Installation Request**

soil or as directed by the Walker County. All surplus material shall be removed and the ROW shall be reshaped to its original condition or better. This work shall be done in accordance with Item 164 of the Texas Department of Transportation (TxDOT) "Standard Specifications for Construction and Maintenance of Highways, Streets, and Bridges." Erosion control measures such as soil retention blankets, rock berms, and silt fences shall be installed and maintained until permanent perennial vegetation is established over 70% of the disturbed area. The amount of revegetation is considered acceptable when it resembles the amount of existing vegetation in the surrounding undisturbed area. **If erosion control and/or storm water run-off requirements of other State, Federal, or Local Jurisdictions exceed these requirements then the more stringent requirements would prevail.**

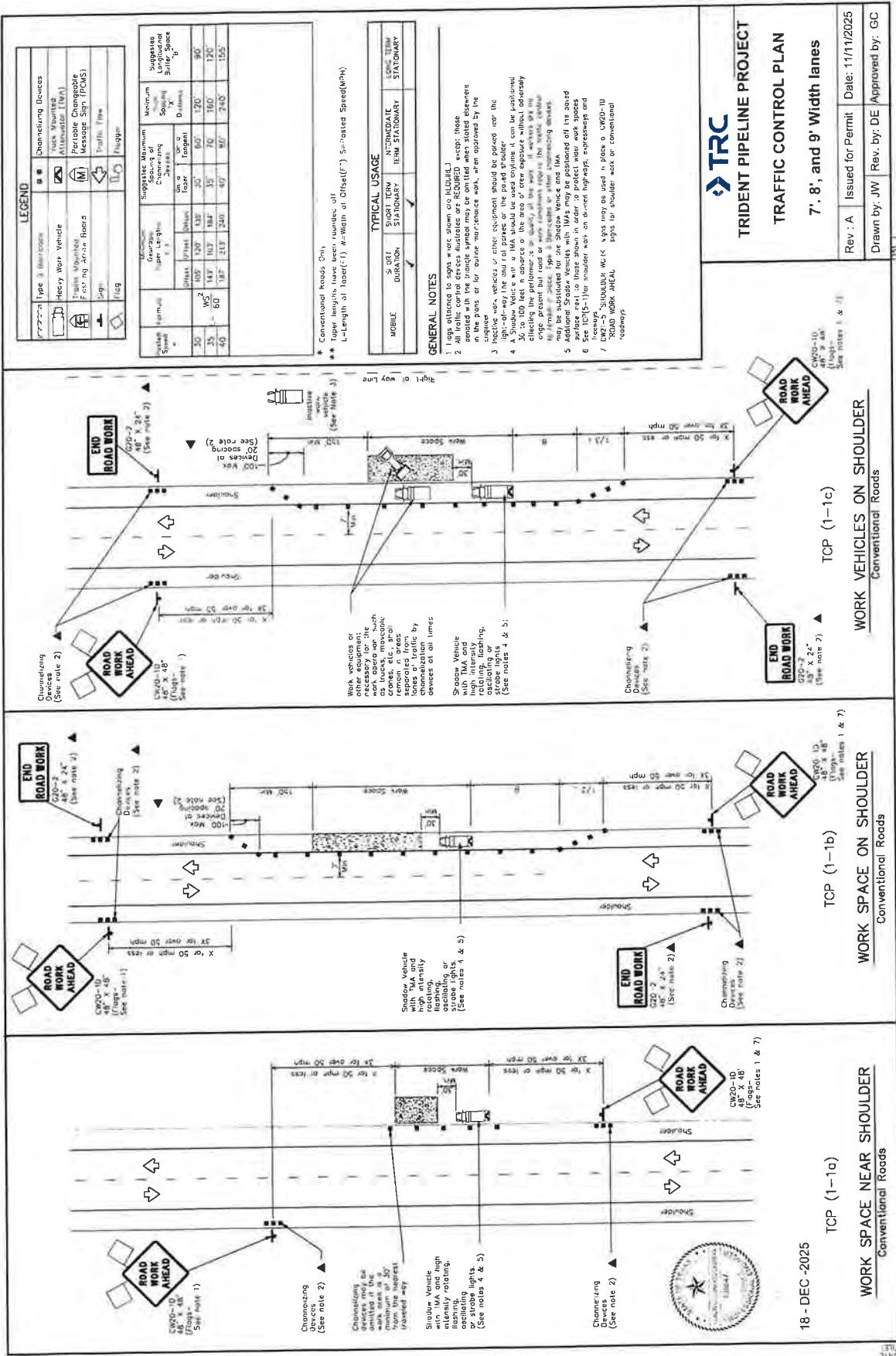
8. Boring and Jacking. Boring and jacking of utility lines shall be provided as specified below.
- a. Under Paved County Roads. Utility lines to be constructed under an existing paved (asphalt pavement or concrete pavement) county road shall be installed by boring and jacking with casing.
 - b. Under Paved Driveways. Utility lines to be constructed under existing paved (asphalt pavement or concrete pavement) driveways shall be installed by boring and jacking methods, unless the utility company furnishes Walker County with a "Letter of No Objection" signed by the driveway owner to allow open cutting of their driveway.
 - c. Under Unpaved County Roads or Driveways. Utility lines to be constructed under an existing unpaved county road or under existing unpaved driveways may be open cut only when approved in advance by Walker County, and after the driveway owner is notified. Any open cuts should be repaired and restored to a minimum of pre-cut conditions as quickly as possible so as not to impact road and/or driveway traffic. Applicant shall take all necessary precautions to insure safety as site of open cut.
 - d. Under Desirable Trees. To preserve the natural environment and protect wildlife habitat, boring may be required when underground utility lines are to be placed within the "protected root area" of "desirable trees" located within road ROW or on adjacent property. The "protected root area" is defined as the area between the tree trunk and five (5) feet from the tree trunk or 2/3 the actual distance from the tree trunk to the dripline, whichever is greater. "Desirable trees" include (but are not limited to) any tree with a trunk diameter of six (6) inches or more that Walker County or the Owner of the tree determines to be of environmental and aesthetic value. Boring under all "desirable trees" will be required with the following exceptions: (1) in areas where planned highway construction/maintenance work would require tree removal, or (2) when the Walker County approves of open trenching for the utility installation or removal of the tree.
9. Manhole Covers. All manhole covers shall be installed flush with the ground surface.
10. Traffic Control. Traffic control in utility work zones shall conform to applicable requirements of the "Texas Manual on Uniform Traffic Control Devices for Streets and Highways, Part VI". Adequate signs, barricades, flag personnel, etc. shall be erected and maintained in complete compliance with the Texas Manual on Uniform Traffic Control Devices. Any travel lane closures are only permitted after a traffic control plan is approved by Walker County prior to beginning any construction activities.
11. Sunday or Holiday Work. Sunday or Holiday work will not be permitted for the installation of any utility line unless directed or approved by Walker County.



**General Special Provisions
Walker County Utility Installation Request**

12. The approval of this utility installation request shall in no way be taken as a waiver or variance to any other existing local, state, or federal permits or requirements that may be required by the applicant.
13. Please note that Walker County will be making no verification through this process of the actual location of the public right of way as to width or location. The responsibility to locate the bounds of any public right of way that your project will utilize is the responsibility of your company. Walker County's approval of the request is not an agreement as to location of the public right of way, nor does it confer any easement, right of way, or property right for the project area.
14. Protection of Trees and Landscaping. Existing trees and landscaping within the ROW shall be protected as specified below. Removal of trees from the ROW will require prior Walker County approval.
- a. Tree Pruning. All tree pruning within the ROW will require prior TxDOT approval. All oak trees that are damaged or pruned shall be treated with an approved tree wound dressing within 20 minutes of causing the damage or making the pruning cut.
 - b. Landscaping. When existing landscaping is located near the proposed utility alignment, the utility contractor shall notify Walker County and the owner of the landscaping prior to the proposed utility installation. Walker County may require underground utilities to be installed by: (1) boring under such landscaping or (2) by replacement of specific landscape items. Landscaping is defined as, but not limited to, trees, shrubs, grass, irrigation lines, landscape pavers, sidewalks, and other ROW improvements.





LEGEND

Type	Symbol	Device
Channelizing Device	Orange Plastic Water Vehicle	Variable Message Sign (VMS)
Channelizing Device	Orange Plastic Water Vehicle	Portable Changeable Message Sign (PCMS)
Channelizing Device	Orange Plastic Water Vehicle	Traffic Light
Channelizing Device	Orange Plastic Water Vehicle	Flagger

Minimum Spacing	Maximum Spacing	Minimum Spacing	Minimum Spacing
30	100	100	100
25	100	100	100
40	100	100	100

TYPICAL USAGE

MOBILE	STATIONARY	INTERMEDIATE	STATIONARY
MOBILE	STATIONARY	INTERMEDIATE	STATIONARY

GENERAL NOTES

1. Signs attached to signs must show one (1) side.
2. All traffic control devices must be used in accordance with the Manual on Uniform Traffic Control Devices (MUTCD).
3. Inactive work vehicles or other equipment should be parked near the work area.
4. A Staggered Vehicle with a TMA should be used anytime it can be positioned 30 to 100 feet in advance of the area of crew exposure without adversely affecting the performance of the work.
5. A Staggered Vehicle with a TMA should be used anytime it can be positioned 30 to 100 feet in advance of the area of crew exposure without adversely affecting the performance of the work.
6. See 100-10 for these signs in order to protect water work spaces.
7. Heavy-duty vehicles may be used in place of 100-10.

TRIDENT PIPELINE PROJECT

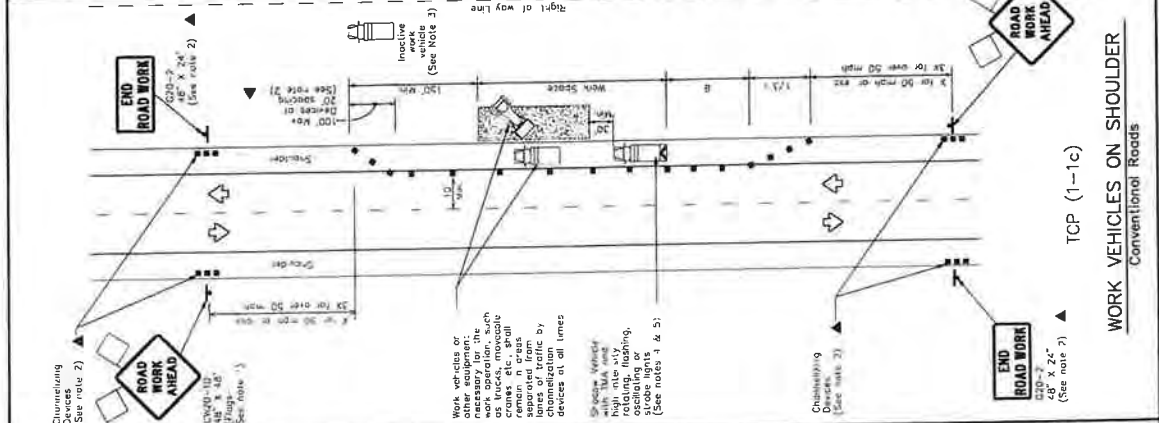
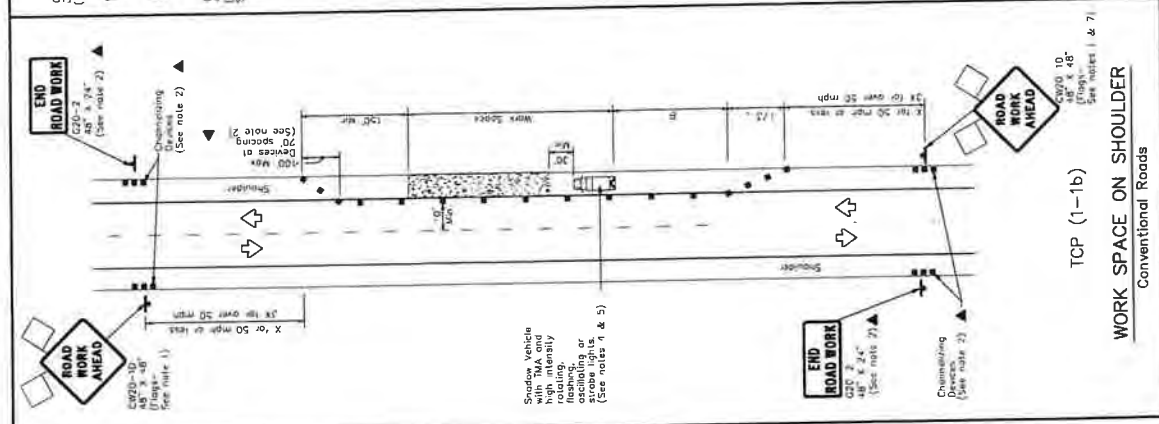
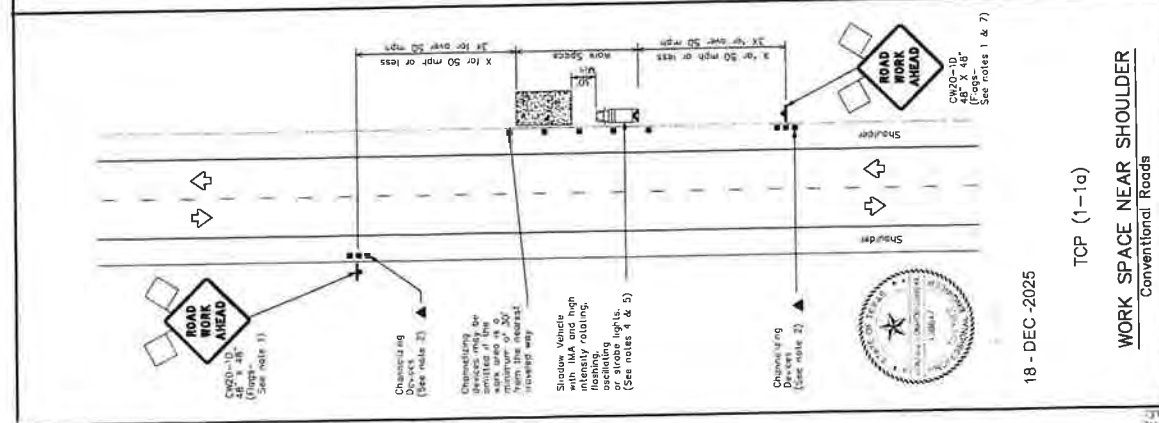
TRAFFIC CONTROL PLAN

7', 8', and 9' Width lanes

Rev: A Issued for Permit Date: 11/11/2025

Drawn by: JW Rev. by: DE Approved by: GC

18 - DEC - 2025



LEGEND

Type	Symbol	Characterizing Devices
Heavy Work Vehicle		Trucks, Trailers, etc.
Light Work Vehicle		Passenger Cars, etc.
Tractor		Tractors, etc.
Tractor Trailer		Tractor Trailers, etc.
Tractor Trailer		Tractor Trailers, etc.

GENERAL NOTES

1. See attached to signs where shown on the drawing.
2. All traffic control devices indicated are REQUIRED, except those indicated with the word "OPTIONAL" which may be used at the discretion of the engineer.
3. Inactive work vehicles or other equipment should be parked near the work area and should not obstruct the travel of traffic.
4. Shadow vehicles should be used at all times and should be positioned in the work area in such a manner as to be visible to approaching traffic.
5. Additional Shadow vehicles with lights may be positioned at the head of the work area to provide additional warning to approaching traffic.
6. See (1-1-1) for number and placement of signs on the work area.
7. "ROAD WORK AHEAD" signs may be used in place of CD-2-U signs for shoulder work or conventional roads.

TYPICAL USAGE

MOBILE	STATIONARY	INTERMEDIATE	LONG TERM
✓	✓	✓	✓

TRIDENT PIPELINE PROJECT

TRAFFIC CONTROL PLAN

10', 11', and 12' Width Lanes

Rev. A Issued for Permit Date: 11/11/2025

Drawn by: JW Rev. by: DE Approved by: GC

18

To the Commissioner's Court of Walker County

Date 07/17/2025

Application is hereby made by Trident Intrastate Pipeline LLC
to place Natural Gas Pipeline

and/or perform the following described work _____ within the Right of Way of that Walker
County road known as Pool Road at the following approximate coordinates
(lat/long) 30.628058, -95.77291.

The exact location and extent of the proposed work shall be as shown on the attached
specifications and drawings.

We will construct and maintain the line on the road right of way as shown on the attached drawing and in accordance with the rules, regulations and policies of Walker County, the Texas Department of Transportation (TXDOT), and all governing laws, including, but not limited to, the "Texas Engineering Practice Act," "Federal Clean Water Act," the "National Endangered Species Act," "Americans with Disabilities Act," and the "Federal Historic Preservation Act." Upon request by Walker County, we will submit to Walker County proof of compliance with all governing laws, rules and regulations before commencement of construction. Plans shall include the design, proposed location, vertical elevations, and horizontal alignments of the facility based on the department's survey datum, the relationship to existing highway facilities and the right of way line, traffic safety and access procedures, and location of existing utilities that may be affected by the proposed utility facility. The location and description of the proposed line and appurtenances is more fully shown by a complete set of drawings attached to this Utility Installation Request. We will give plans to Walker County for each future proposed modification or expansion to our facility and all Walker County to review and approve submittals prior to commencement of the work.

A new request may be required as a condition of approval.

Our organization will use Best Management Practices to minimize erosion and sedimentation resulting from the proposed installation, and we will re-vegetate the project area as indicated under "Re-vegetation Special Provisions."

Our organization will ensure that traffic control measures complying with applicable portions of the *Texas Manual on Uniform Traffic Control Devices* will be installed and maintained for the duration of this installation.

When installing our utility on controlled access facilities, we shall conform to the Texas Transportation Code, Title 6 Roadways, Chapter 203, Subchapter C, Control of Access, §203.031. We shall limit access for servicing this installation to access via (a) frontage roads where provided, (b) nearby or adjacent public roads or streets, (c) trails along or near the highway right of way lines, connecting only to an intersecting road; from any one or all of which entry may be made to the outer portion of the highway right of way for normal service and maintenance operations. Our rights of access to the through traffic roadways and ramps shall be subject to the same rules and regulations that apply to the general public.

It is expressly understood that Walker County does not purport, hereby, to grant any right, claim, title or easement in or upon this road; and it is further understood that Walker County may require us to relocate this line and any associated infrastructure, at the total expense of the applicant/utility owner, by giving thirty (30) days written notice prior to the date that the relocation shall be completed. We understand that a new Request will be required for the relocation.

We will notify Walker County prior to commencement of any routine or periodic maintenance which requires pruning of trees within the highway right of way, so that Walker County may provide specifications for the extent and methods to govern in, but not limited to, trimming, topping, tree balance, type of cuts, painting cuts and clean up.

Our installation shall not damage any part of the roadway structure or associated appurtenances and we will make adequate provisions to minimize inconveniences to the traveling public, and adjacent property owners. In the event we fail to comply with any or all of the requirements as set forth herein, the County may take such action as it deems appropriate to compel our compliance.

Following approval, we will begin construction on or after January 2, 2026 (month/day/yr)

Additional Provisions and Requirements (for TxDOT input only)

General Special Provisions:

- ☒ Are attached.
☐ Are not attached

As-built Plans/Certifications of Construction:

- ☐ Are required and shall be certified as accurate by an authorized representative of the company.
☒ Are required and shall be signed and sealed by a State of Texas Licensed Professional Engineer
☒ Certification that utility was installed as approved
☐ Are not required

Re-vegetation Special Provisions: In order to minimize erosion and sedimentation resulting from the proposed installation, the project area will be re-vegetated:

- ☒ In accordance with TxDOT's Standard Specification Item 164 which specifies the appropriate grass seed mix to be used, or:
☐ As indicated on the attachment.

The Precinct Commissioner or his/her representative is to be notified 48 hours prior to beginning construction.

If approved, we understand that we will assume all risks associated with this installation within the Walker County right of way. These risks include, but are not limited to, injuries to our workers, damage to contiguous utility lines that may be in the area, injuries or damage resulting from our failure to properly install and maintain the line as shown on plans.

We understand Walker County may place additional provisions and requirements as listed above, based upon, but not limited to, the type of utility being installed, local site conditions, soil types and traffic.

We acknowledge that this Utility Installation Request approval expires on the 91st calendar day from the date of issuance, unless otherwise approved, if we do not begin our installation by this date. If we do not begin our installation within this time frame and still wish to continue, we will resubmit our request in accordance with the prevailing governing laws, rules, regulations and policies at the time of resubmission.

By signing as/for the requestor below, I certify that I am authorized to represent the requestor, that I agree to the provisions and requirements included in this Utility Installation Request, and our commencement of construction will further attest to our review and acceptance of said additional provisions and requirements

Requestor:

Date:

3/22/25

By: Brittany Stolte

Signature:

Brittany Stolte

Title: Land and ROW Manager and Attorney-in-Fact

Address:

[REDACTED]

[REDACTED]

Telephone:

[REDACTED]

Approved By:

Date:

By:

Signature:

Title:

Address:

Telephone:

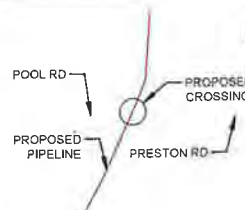
WALKER COUNTY, TEXAS

LEGEND

R/W RIGHT OF WAY
FM FARM TO MARKET
MIN MINIMUM
CLR CLEARANCE
EXISTING PIPELINE
POWER LINE
FENCE
PROPERTY LINE
POWER POLE

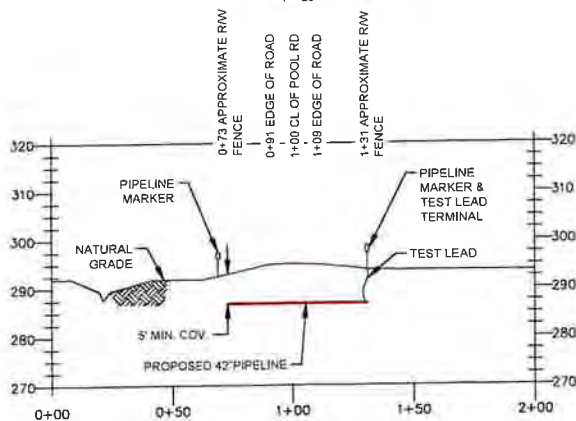
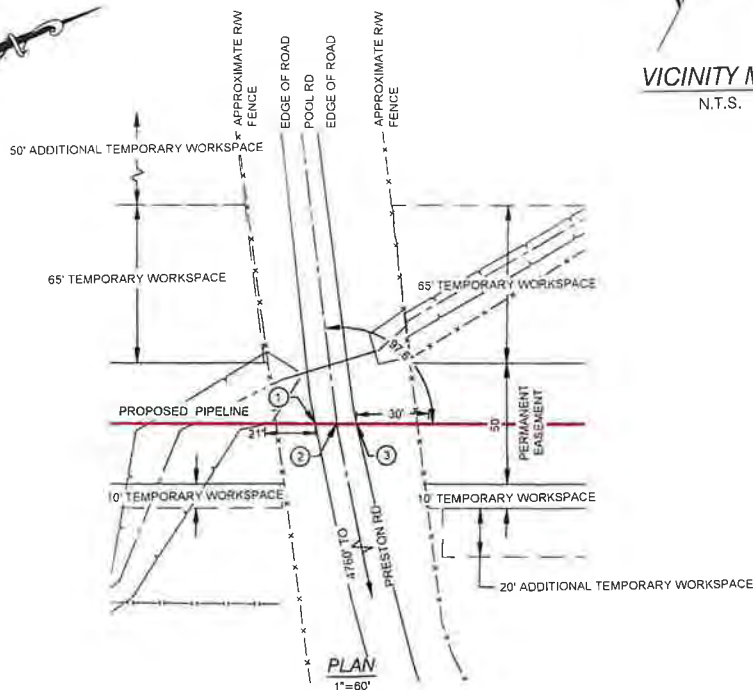
LOCATION COORDINATES

1. X= 3730486.14
Y= 10221563.52
2. X= 3730499.77
Y= 10221571.56
3. X= 3730503.01
Y= 10221578.82



VICINITY MAP

N.T.S.



CROSSING LENGTH - 58' (APPROX. R/W TO APPROX. R/W)

PROFILE

1"=60' H
1"=30' V

CROSSING PIPE SPECIFICATIONS

CONTENTS: NATURAL GAS
CODE: 49 CFR PART 192.111/ASME B31.8
CLASS LOCATION: 1
DESIGN FACTOR: 0.60
PIPE: 42" Ø, 0.720" W.T., SAW, API 5L X70, PS2, E=1
CASING: NOT APPLICABLE
COATING: 14-18 MILS FBE, 30-40 MILS ARO
M A O P: 1,440 PSIG
PIPELINE CATHODICALLY PROTECTED
METHOD OF INSTALLATION: BORE

NOTE:

1. DATUM BASED ON NAD83 TEXAS STATE PLANE, CENTRAL ZONE, U.S. FOOT
2. EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS GENERATED FROM PREVIOUS MAPS AND SURVEY. CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES IN AREA OF WORK PRIOR TO CONSTRUCTION AND CALL TEXAS ONE CALL SYSTEM AT 1-800-245-4545 AND ALL OTHER UTILITY COMPANIES AT LEAST 2 WORKING DAYS (48 HOURS) PRIOR TO CONSTRUCTION.
3. ALL MINIMUM DEPTH REQUIREMENTS MEASURED AT THE TOP OF PIPE OR CASING.
4. CROSSING PIPE TO EXTEND AT A MINIMUM FROM EDGE OF R/W TO EDGE OF R/W.
5. CROSSING PIPE TO MAINTAIN 2' MIN. CLR. FROM EXISTING UTILITIES/PIPELINES.



10 - DEC - 2025

NO.	DATE	REVISION	BY	CHK	APPR	APPR
B	12/09/25	ISSUED FOR PERMIT	VLG	JW	GLC	
A	11/03/25	ISSUED FOR PERMIT	VLG	JW	GLC	

KINDER MORGAN



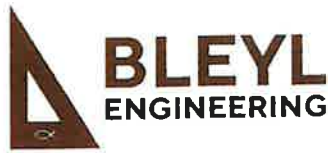
DRAWING ISSUES	CONSTRUCTION		LAST ORG.	DATE	REV.
	BIDS	LAST ORG.			
DRAWING APPROVALS	APPROVAL		LAST ORG.	DATE	REV.
	INFORMATION	LAST ORG.			
	DRAWN:	MEH	DATE:	05/01/25	
	CHECKED:	JW	DATE:	05/01/25	
	ENGINEER:		DATE:		
	TRC:		DATE:		
	CLIENT:		DATE:		
	CLIENT:		DATE:		

ROAD CROSSING PERMIT

TRIDENT PIPELINE
POOL RD
WALKER COUNTY, TEXAS

SCALE	PROJECT NO	DRAWING NO	SHEET	REV
AS SHOWN	630450	630450-34WA-001	1 OF 1	B

05-Nov-2025 : 10:00 AM



Phone: (936) 441-7833
Fax: (936) 441-7833
(936) 441-7833

December 3, 2025

Mr. Andrew Isbell
Walker County Planning & Development
1313 University Avenue
Huntsville, TX 77340

Re: Review No. 2
Trident Natural Gas Pipeline Installation Application – Pool Road (90500-298)
Walker County

Mr. Isbell:

Bleyl Engineering reviewed the application submitted on behalf of Trident Intrastate Pipeline, LLC, for the installation of the natural gas pipeline related to Pool Road, and we offer the comments below. Please note that comments prefaced with an "R2" are issued for this review, which follows the related, previously issued comment.

- R2.1. Comment satisfied.
- R1.2. Provide the "Pipe Class" used for determining longitudinal joint factor in Pipe Wall Thickness Calculations per Table 1 in Title 49 CFR §192.113.
- R2.2. Comment remains. A "Pipe Class," as referenced in Table 1 of Title 49 CFR §192.113, is not on the plans.
- R1.3. Include the engineer's firm number on all sealed sheets, including calculations, per Board Rules §137.35(m) & §137.77(m).
- R2.3. Comment satisfied.
- R1.4. The traffic control plan calls for a minimum of 10' lanes, but the roadway has lanes less than 10'. Provide an off-site control plan that applies to the subject roadway. Traffic control plan should be signed and sealed in accordance with Board Rules §137.33 & §137.77(m).
- R2.4. Comment satisfied.
- R1.5. Show existing utilities, including existing pipelines, in the vicinity of the proposed work.
- R2.5. Comment satisfied.
- R1.6. All borings shall extend ten feet beyond the travel lanes for uncurbed roads (speed limits of 40 mph or less). Please add dimension callouts for this distance to the crossing detail to ensure compliance with 49 TAC §21.40(a)(4)(E)(iv).
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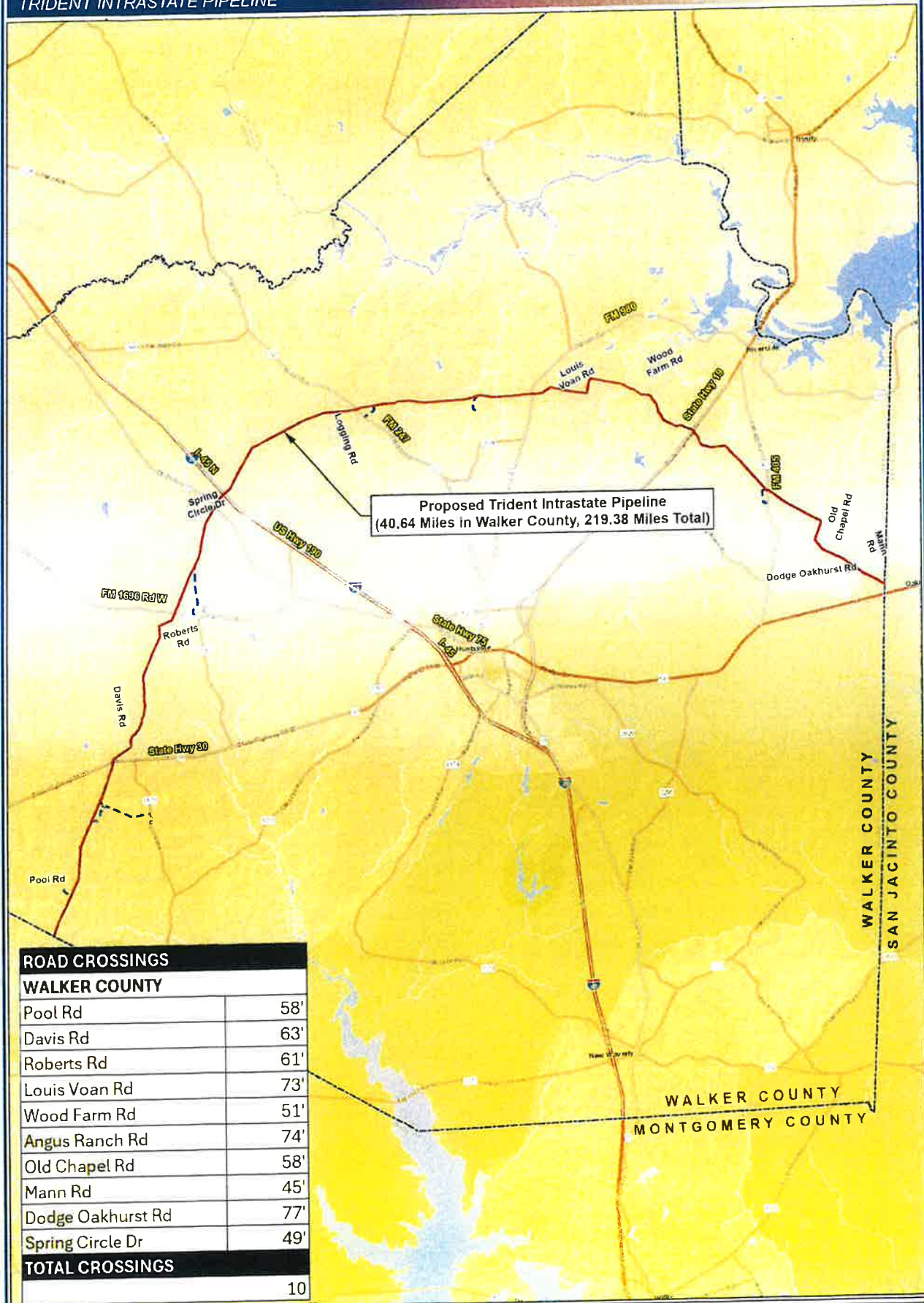
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Sincerely,

Steffanie M. DeLoss, P.E., CFM
Sr. Engineering Manager
Bleyl Engineering

E:\298 UIR Trident - Pool Rd, Pct 2\2\Out\251203 UIR Trident - Pool Rd, Pct 2.docx



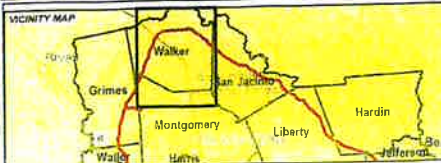
ROAD CROSSINGS

WALKER COUNTY

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Dodge Oakhurst Rd	77'
Spring Circle Dr	49'

TOTAL CROSSINGS

10



LEGEND

- - - Access Roads
- Trident Intrastate Pipeline
- County Boundary



KINDER MORGAN

DATE: 1/27/2023 SHEET: PAGE 1 OF 1

**General Special Provisions
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5. Locating Utilities. Applicant shall take all reasonable and necessary steps to locate existing utilities and address them in accordance with all state, local, and or federal requirements.
6. Aerial Electric Lines. Aerial electric power lines crossing over the highway shall be installed and maintained a minimum of twenty-two (22) feet above the surface of the traffic lanes. For electric power lines with greater than 50,000 volts, the clearance shall be increased in accordance with National Electric Safety Code as published in the National Bureau of Standards, Handbook 30.
7. Aerial Communication Lines. Aerial communication lines crossing over the highway shall be installed and maintained a minimum of eighteen (18) feet above the surface of the traffic lanes.
8. Open Trenching or Boring Operations for Utility Work. To insure that disturbed areas are restored and revegetated properly and in a reasonable period as the utility work progresses, the following requirements shall apply:

Unless otherwise approved or directed by Walker County, the length of "active utility work" shall not exceed one mile in length. "Active utility work" shall be defined as the total disturbed area measured from the beginning of open trenching to the point where backfill has been compacted, the right of way has been restored to its original line and grade, any structures damaged by the utility work have been repaired, erosion control measures have been placed and are being properly maintained, approved topsoil seed and compost has been placed uniformly, and watering for revegetation has begun. "Active utility work" also includes areas of bore pits and receiving pits; however, it does not include the underground boring length. When any area of "active utility work" is substantially complete (i.e., watering of seeded areas has begun), that area is no longer considered to be "active utility work", and "active utility work" can proceed further within the right of way as long as it does not exceed the above appropriate limits. Areas where Walker County determines that the "active utility work" is substantially complete does not mean that Walker County considers that area totally acceptable and complete.

9. Backfill, Erosion Control, and Re-vegetation. All excavations within the right-of-way (ROW) and not under pavement shall be backfilled by tamping in six (6) inch horizontal layers to the density of the surrounding



**General Special Provisions
Walker County Utility Installation Request**

soil or as directed by the Walker County. All surplus material shall be removed and the ROW shall be reshaped to its original condition or better. This work shall be done in accordance with Item 164 of the Texas Department of Transportation (TxDOT) "Standard Specifications for Construction and Maintenance of Highways, Streets, and Bridges." Erosion control measures such as soil retention blankets, rock berms, and silt fences shall be installed and maintained until permanent perennial vegetation is established over 70% of the disturbed area. The amount of revegetation is considered acceptable when it resembles the amount of existing vegetation in the surrounding undisturbed area. **If erosion control and/or storm water run-off requirements of other State, Federal, or Local Jurisdictions exceed these requirements then the more stringent requirements would prevail.**

8. Boring and Jacking. Boring and jacking of utility lines shall be provided as specified below.

- a. Under Paved County Roads. Utility lines to be constructed under an existing paved (asphalt pavement or concrete pavement) county road shall be installed by boring and jacking with casing.
- b. Under Paved Driveways. Utility lines to be constructed under existing paved (asphalt pavement or concrete pavement) driveways shall be installed by boring and jacking methods, unless the utility company furnishes Walker County with a "Letter of No Objection" signed by the driveway owner to allow open cutting of their driveway.
- c. Under Unpaved County Roads or Driveways. Utility lines to be constructed under an existing unpaved county road or under existing unpaved driveways may be open cut only when approved in advance by Walker County, and after the driveway owner is notified. Any open cuts should be repaired and restored to a minimum of pre-cut conditions as quickly as possible so as not to impact road and/or driveway traffic. Applicant shall take all necessary precautions to insure safety as site of open cut.
- d. Under Desirable Trees. To preserve the natural environment and protect wildlife habitat, boring may be required when underground utility lines are to be placed within the "protected root area" of "desirable trees" located within road ROW or on adjacent property. The "protected root area" is defined as the area between the tree trunk and five (5) feet from the tree trunk or 2/3 the actual distance from the tree trunk to the dripline, whichever is greater. "Desirable trees" include (but are not limited to) any tree with a trunk diameter of six (6) inches or more that Walker County or the Owner of the tree determines to be of environmental and aesthetic value. Boring under all "desirable trees" will be required with the following exceptions: (1) in areas where planned highway construction/maintenance work would require tree removal, or (2) when the Walker County approves of open trenching for the utility installation or removal of the tree.

9. Manhole Covers. All manhole covers shall be installed flush with the ground surface.

10. Traffic Control. Traffic control in utility work zones shall conform to applicable requirements of the "Texas Manual on Uniform Traffic Control Devices for Streets and Highways, Part VI". Adequate signs, barricades, flag personnel, etc. shall be erected and maintained in complete compliance with the Texas Manual on Uniform Traffic Control Devices. Any travel lane closures are only permitted after a traffic control plan is approved by Walker County prior to beginning any construction activities.

11. Sunday or Holiday Work. Sunday or Holiday work will not be permitted for the installation of any utility line unless directed or approved by Walker County.



**General Special Provisions
Walker County Utility Installation Request**

12. The approval of this utility installation request shall in no way be taken as a waiver or variance to any other existing local, state, or federal permits or requirements that may be required by the applicant.
13. Please note that Walker County will be making no verification through this process of the actual location of the public right of way as to width or location. The responsibility to locate the bounds of any public right of way that your project will utilize is the responsibility of your company. Walker County's approval of the request is not an agreement as to location of the public right of way, nor does it confer any easement, right of way, or property right for the project area.
14. Protection of Trees and Landscaping. Existing trees and landscaping within the ROW shall be protected as specified below. Removal of trees from the ROW will require prior Walker County approval.
- a. Tree Pruning. All tree pruning within the ROW will require prior TxDOT approval. All oak trees that are damaged or pruned shall be treated with an approved tree wound dressing within 20 minutes of causing the damage or making the pruning cut.
- b. Landscaping. When existing landscaping is located near the proposed utility alignment, the utility contractor shall notify Walker County and the owner of the landscaping prior to the proposed utility installation. Walker County may require underground utilities to be installed by: (1) boring under such landscaping or (2) by replacement of specific landscape items. Landscaping is defined as, but not limited to, trees, shrubs, grass, irrigation lines, landscape pavers, sidewalks, and other ROW improvements.

To the Commissioner's Court of Walker County

Date 07/17/2025

Application is hereby made by Trident Intrastate Pipeline LLC
to place Natural Gas Pipeline
and/or perform the following described work _____ within the Right of Way of that Walker
County road known as Roberts Road at the following approximate coordinates
(lat/long) 30.744405, -95.722197.
The exact location and extent of the proposed work shall be as shown on the attached
specifications and drawings.

We will construct and maintain the line on the road right of way as shown on the attached drawing and in accordance with the rules, regulations and policies of Walker County, the Texas Department of Transportation (TXDOT), and all governing laws, including, but not limited to, the "Texas Engineering Practice Act," "Federal Clean Water Act," the "National Endangered Species Act," "Americans with Disabilities Act," and the "Federal Historic Preservation Act." Upon request by Walker County, we will submit to Walker County proof of compliance with all governing laws, rules and regulations before commencement of construction. Plans shall include the design, proposed location, vertical elevations, and horizontal alignments of the facility based on the department's survey datum, the relationship to existing highway facilities and the right of way line, traffic safety and access procedures, and location of existing utilities that may be affected by the proposed utility facility. The location and description of the proposed line and appurtenances is more fully shown by a complete set of drawings attached to this Utility Installation Request. We will give plans to Walker County for each future proposed modification or expansion to our facility and all Walker County to review and approve submittals prior to commencement of the work.

A new request may be required as a condition of approval.

Our organization will use Best Management Practices to minimize erosion and sedimentation resulting from the proposed installation, and we will re-vegetate the project area as indicated under "Re-vegetation Special Provisions."

Our organization will ensure that traffic control measures complying with applicable portions of the *Texas Manual on Uniform Traffic Control Devices* will be installed and maintained for the duration of this installation.

When installing our utility on controlled access facilities, we shall conform to the Texas Transportation Code, Title 6 Roadways, Chapter 203, Subchapter C, Control of Access, §203.031. We shall limit access for servicing this installation to access via (a) frontage roads where provided, (b) nearby or adjacent public roads or streets, (c) trails along or near the highway right of way lines, connecting only to an intersecting road; from any one or all of which entry may be made to the outer portion of the highway right of way for normal service and maintenance operations. Our rights of access to the through traffic roadways and ramps shall be subject to the same rules and regulations that apply to the general public.

It is expressly understood that Walker County does not purport, hereby, to grant any right, claim, title or easement in or upon this road; and it is further understood that Walker County may require us to relocate this line and any associated infrastructure, at the total expense of the applicant/utility owner, by giving thirty (30) days written notice prior to the date that the relocation shall be completed. We understand that a new Request will be required for the relocation.

We will notify Walker County prior to commencement of any routine or periodic maintenance which requires pruning of trees within the highway right of way, so that Walker County may provide specifications for the extent and methods to govern in, but not limited to, trimming, topping, tree balance, type of cuts, painting cuts and clean up.

Our installation shall not damage any part of the roadway structure or associated appurtenances and we will make adequate provisions to minimize inconveniences to the traveling public, and adjacent property owners. In the event we fail to comply with any or all of the requirements as set forth herein, the County may take such action as it deems appropriate to compel our compliance.

Following approval, we will begin construction on or after January 2, 2026 (month/day/yr)

Additional Provisions and Requirements (for TxDOT input only)

General Special Provisions:

- ☒ Are attached.
☐ Are not attached

As-built Plans/Certifications of Construction:

- ☐ Are required and shall be certified as accurate by an authorized representative of the company.
☒ Are required and shall be signed and sealed by a State of Texas Licensed Professional Engineer.
☒ Certification that utility was installed as approved
☐ Are not required

Re-vegetation Special Provisions: In order to minimize erosion and sedimentation resulting from the proposed installation, the project area will be re-vegetated:

- ☒ In accordance with TxDOT's Standard Specification Item 164 which specifies the appropriate grass seed mix to be used, or:
☐ as indicated on the attachment.

The Precinct Commissioner or his/her representative is to be notified 48 hours prior to beginning construction.

If approved, we understand that we will assume all risks associated with this installation within the Walker County right of way. These risks include, but are not limited to, injuries to our workers, damage to contiguous utility lines that may be in the area, injuries or damage resulting from our failure to properly install and maintain the line as shown on plans.

We understand Walker County may place additional provisions and requirements as listed above, based upon, but not limited to, the type of utility being installed, local site conditions, soil types and traffic.

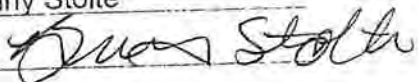
We acknowledge that this Utility Installation Request approval expires on the 91st calendar day from the date of issuance, unless otherwise approved, if we do not begin our installation by this date. If we do not begin our installation within this time frame and still wish to continue, we will resubmit our request in accordance with the prevailing governing laws, rules, regulations and policies at the time of resubmission.

By signing as/for the requestor below, I certify that I am authorized to represent the requestor, that I agree to the provisions and requirements included in this Utility Installation Request, and our commencement of construction will further attest to our review and acceptance of said additional provisions and requirements.

Requestor:

Date: 8/22/25

By: Brittany Stolle

Signature: 

Title: Land and ROW Manager and Attorney-in-Fact

Address: 



Telephone: 

Approved By:

Date: _____

By: _____

Signature: _____

Title: _____

Address: _____

Telephone: _____

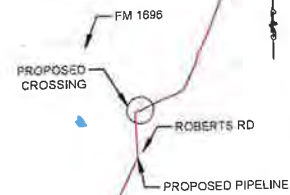
WALKER COUNTY, TEXAS

LEGEND

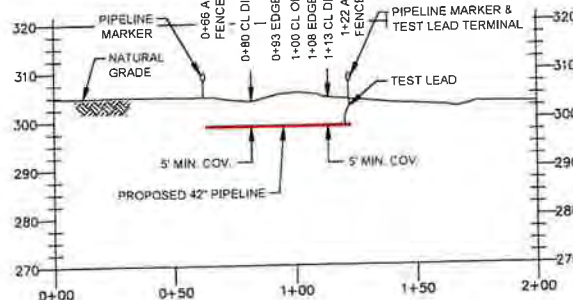
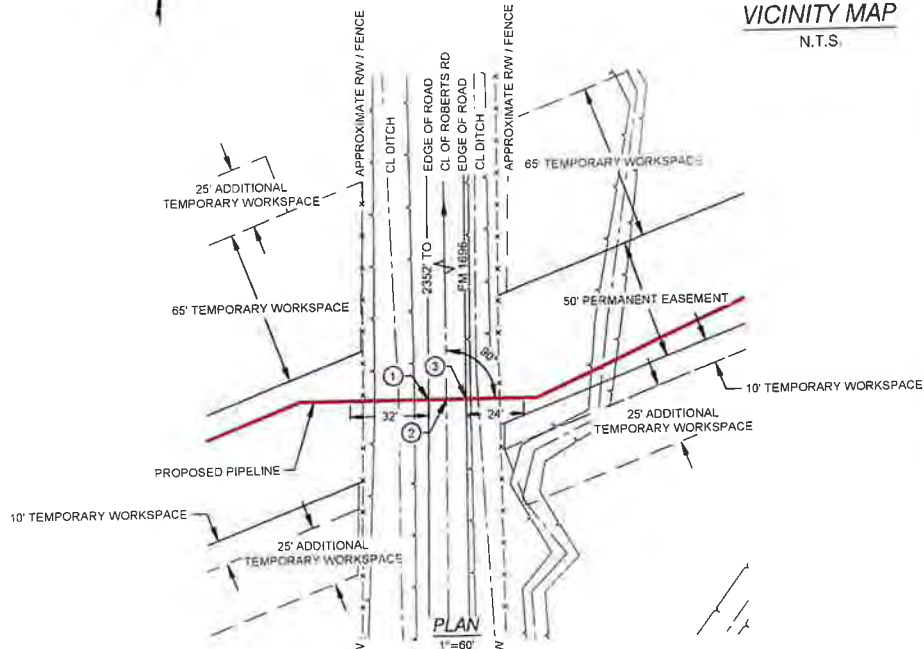
R/W	RIGHT OF WAY
FM	FARM TO MARKET
MIN	MINIMUM
CLR	CLEARANCE
---	EXISTING PIPELINE
---	POWER LINE
---	FENCE
---	PROPERTY LINE
●	POWER POLE

LOCATION COORDINATES

- 1 X= 374466.37
Y= 10264486.62
- 2 X= 3744676.66
Y= 10264486.92
- 3 X= 3744685.03
Y= 10264487.30



VICINITY MAP
N.T.S.



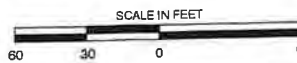
CROSSING LENGTH - 56' (APPROX. R/W TO APPROX. R/W)

PROFILE

1"=60' H
1"=30' V

NOTE

1. DATUM BASED ON NAD83 TEXAS STATE PLANE, CENTRAL ZONE, U.S. FOOT
2. EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS GENERATED FROM PREVIOUS MAPS AND SURVEY. CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES IN AREA OF WORK PRIOR TO CONSTRUCTION AND CALL TEXAS ONE CALL SYSTEM AT 1-800-245-4545 AND ALL OTHER UTILITY COMPANIES AT LEAST 2 WORKING DAYS (48 HOURS) PRIOR TO CONSTRUCTION.
3. ALL MINIMUM DEPTH REQUIREMENTS MEASURED AT THE TOP OF PIPE OR CASING.
4. CROSSING PIPE TO EXTEND AT A MINIMUM FROM EDGE OF R/W TO EDGE OF R/W.
5. CROSSING PIPE TO MAINTAIN 2' MIN. CLR. FROM EXISTING UTILITIES/PIPELINES.



CROSSING PIPE SPECIFICATIONS

CONTENTS: NATURAL GAS
CODE: 49 CFR PART 192.111/ASME B31.8
CLASS LOCATION: 1
DESIGN FACTOR: 0.80
PIPE: 42" Ø, 0.720" w.t., SAW, API 5L X70, PS12 E=1
CASING: NOT APPLICABLE
COATING: 14-18 MILS FBE, 30-40 MILS ARO
M.A.O.P.: 1,440 PSIG
PIPELINE CATHODICALLY PROTECTED
METHOD OF INSTALLATION: BORE



10 - DEC - 2025

NO.	DATE	REVISION	BY	CHK	APPR	APPR	APPR
B	12/09/25	ISSUED FOR PERMIT	VLG	JW	GLC		
A	11/03/25	ISSUED FOR PERMIT	VLG	JW	GLC		

KINDER MORGAN



DRAWING APPROVALS

CONSTRUCTION	LAST			
BIDS	LAST			
APPROVAL	LAST			
INFORMATION	LAST			
ISSUED FOR:	SIGNATURE	DATE	REV.	
DRAWN:	MEH	DATE: 05/01/25		
CHECKED:	JRW	DATE: 05/01/25		
ENGINEER:		DATE:		
TRC:		DATE:		
CLIENT:		DATE:		

ROAD CROSSING PERMIT

TRIDENT PIPELINE
ROBERTS RD
WALKER COUNTY, TEXAS

SCALE	PROJECT NO	DRAWING NO	SHEET	REV
AS SHOWN	630450	630450-34WA-003	1 OF 1	B

08-Dec-2025 : 6:00 PM



Bleyl Engineering
P.O. Box 1111
(936) 441-7833

December 3, 2025

Mr. Andrew Isbell
Walker County Planning & Development
1313 University Avenue
Huntsville, TX 77340

Re: Review No. 2
Trident Natural Gas Pipeline Installation Application – Roberts Road (90500-299)
Walker County

Mr. Isbell:

Bleyl Engineering reviewed the application submitted on behalf of Trident Intrastate Pipeline, LLC, for the installation of the natural gas pipeline related to Roberts Road, and we offer the comments below. Please note that comments prefaced with an "R2" are issued for this review, which follows the related, previously issued comment.

- R2.1. Comment remains.
- R2.2. Comment remains. A "Pipe Class," as referenced in Table 1 of Title 49 CFR §192.113, is not on the plans.
- R2.3. Comment remains. You may submit a variance request for the Commissioners Court's consideration regarding any crossings that are not approximately 90 degrees to the centerline of the roadway. Ensure the variance clearly states how the angle minimizes the impact on the water feature, as this does not appear valid based on the information provided. The water feature appears to parallel to the roadway, and if the crossing were perpendicular to the road, the impacts to the water feature would be slightly less than as they are shown currently.
- R2.4. Comment remains.
- R2.5. Comment remains.
- R2.6. Comment remains.
- R2.7. Comment remains.

bleylengineering.com

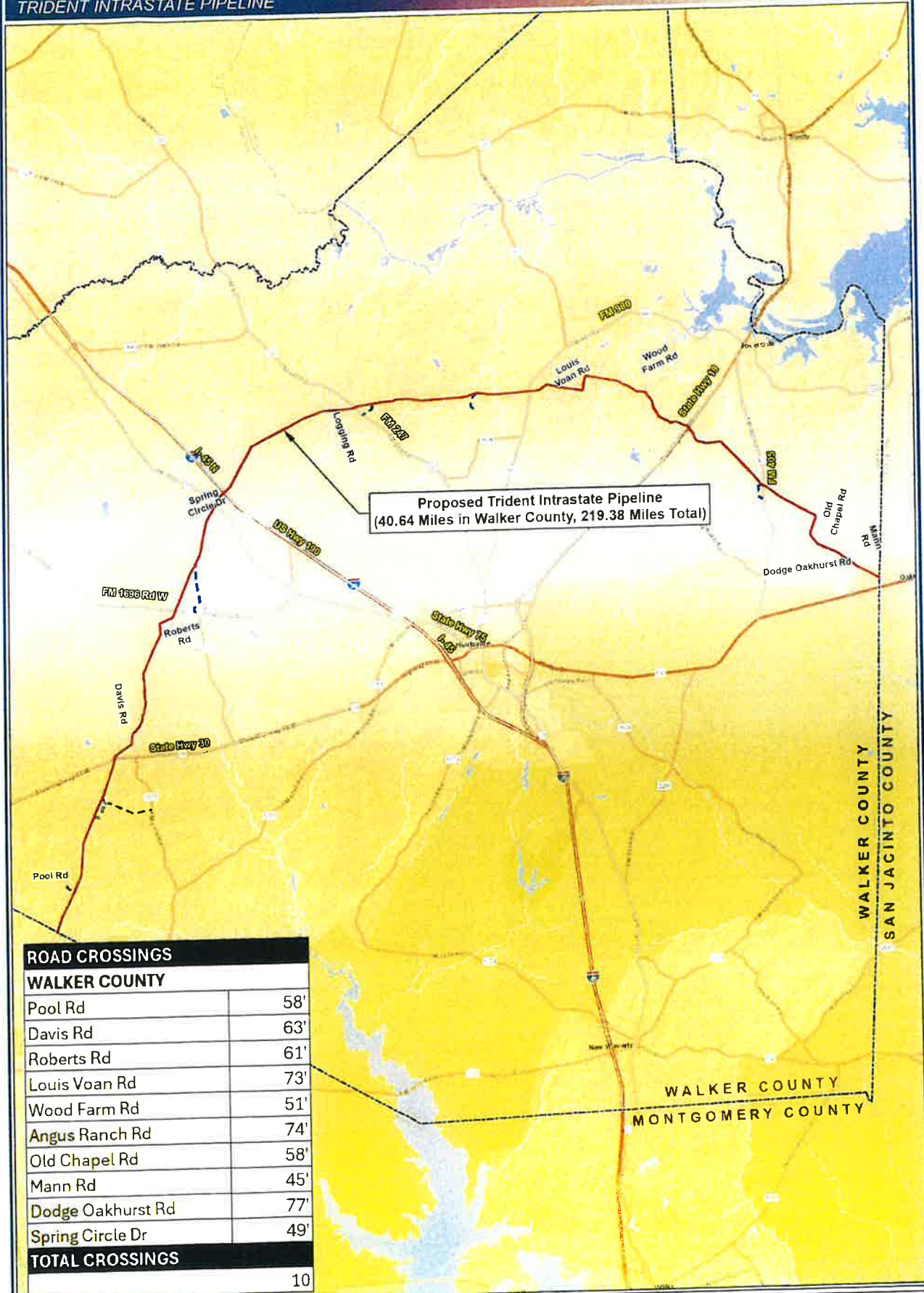
Advancing stronger, safer communities across Texas since 1997.

Bleyl Engineering has conducted this review on behalf of Walker County, and this review is subject to further comments upon receipt of additional information requested above. Bleyl Engineering and Walker County do not accept any responsibility for the design or accuracy of the construction drawings. All construction shall meet the regulations adopted by Walker County. This letter is not intended to propose specific alterations to the construction drawings or waive the applicant's responsibility to comply with applicable laws, regulations, and orders.

Sincerely,

Steffanie M. DeLoss, P.E., CFM
Sr. Engineering Manager
Bleyl Engineering

E:\299 UIR Trident - Roberts Rd, Pct 2\251203 UIR Trident - Roberts Rd, Pct 2.docx



ROAD CROSSINGS

WALKER COUNTY

Pool Rd	58'
Davis Rd	63'
Roberts Rd	61'
Louis Voan Rd	73'
Wood Farm Rd	51'
Angus Ranch Rd	74'
Old Chapel Rd	58'
Mann Rd	45'
Dodge Oakhurst Rd	77'
Spring Circle Dr	49'

TOTAL CROSSINGS

10

VICINITY MAP



LEGEND

- - - Access Roads
- Trident Intrastate Pipeline
- County Boundary



KINDER MORGAN

DATE: 07/21/2011 SHEET: 40.64 OF 10

**General Special Provisions
Walker County Utility Installation Request**

1. Effective Period of Permit Approval. All approvals are void if installation does not begin within 3 months from the date of approval.
2. ALL UTILITY INSTALLATIONS SHALL CONFORM WITH THE STANDARDS DESCRIBED IN TITLE 43, PART 1, CHAPTER 21, SUBCHAPTER C, OF THE TEXAS ADMINISTRATIVE CODE (UTILITY ACCOMODATIONS)
3. A FINAL AS-BUILT SET OF PLANS SHALL BE SUBMITTED AND CERTIFIED BY A PROFESSIONAL ENGINEER, INCLUDING A CERTIFICATION THAT THE INSTALLATION WAS COMPLETED IN CONFORMANCE AND COMPLIANCE WITH THE ABOVE DESCRIBED SECTIONS OF THE TEXAS ADMINISTRATIVE CODE AND TEXAS DEPARTMENT OF TRANSPORTATION MINIMUM SPECIFICATIONS. A statement must be included certifying that any pipe/casing installed is properly designed for the application and the installation meets the minimum standards for TxDOT and Title 43 of the Texas Administrative Code.
4. Minimum Depth of Cover. The minimum depth of cover for any underground utility line shall be as shown on the "Minimum Depth of Cover Table" for the TXDOT District or attached schematic whichever is deeper.
5. Locating Utilities. Applicant shall take all reasonable and necessary steps to locate existing utilities and address them in accordance with all state, local, and or federal requirements.
6. Aerial Electric Lines. Aerial electric power lines crossing over the highway shall be installed and maintained a minimum of twenty-two (22) feet above the surface of the traffic lanes. For electric power lines with greater than 50,000 volts, the clearance shall be increased in accordance with National Electric Safety Code as published in the National Bureau of Standards, Handbook 30.
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**General Special Provisions
Walker County Utility Installation Request**

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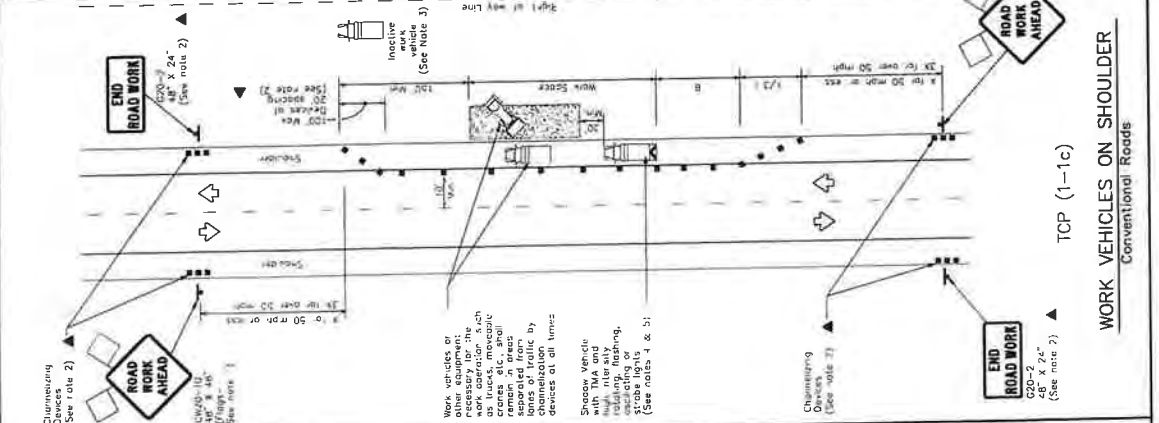
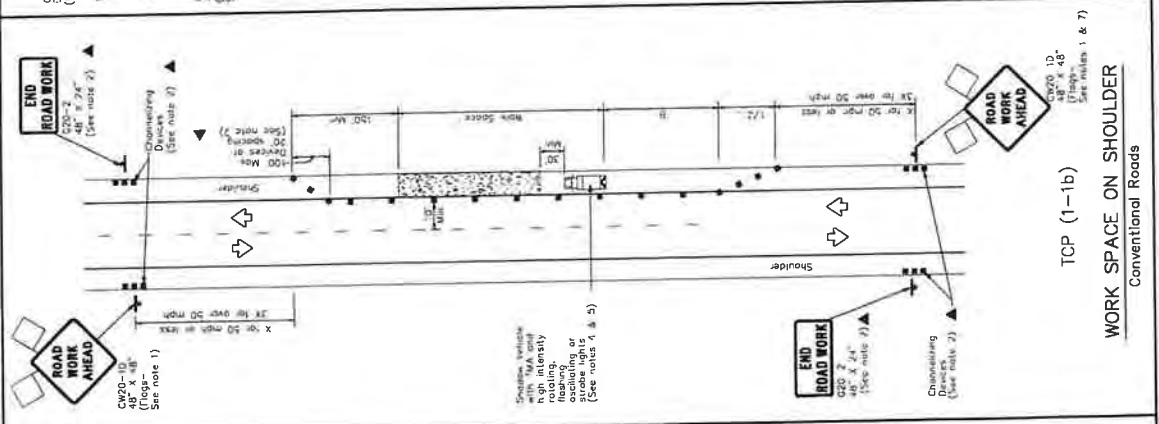
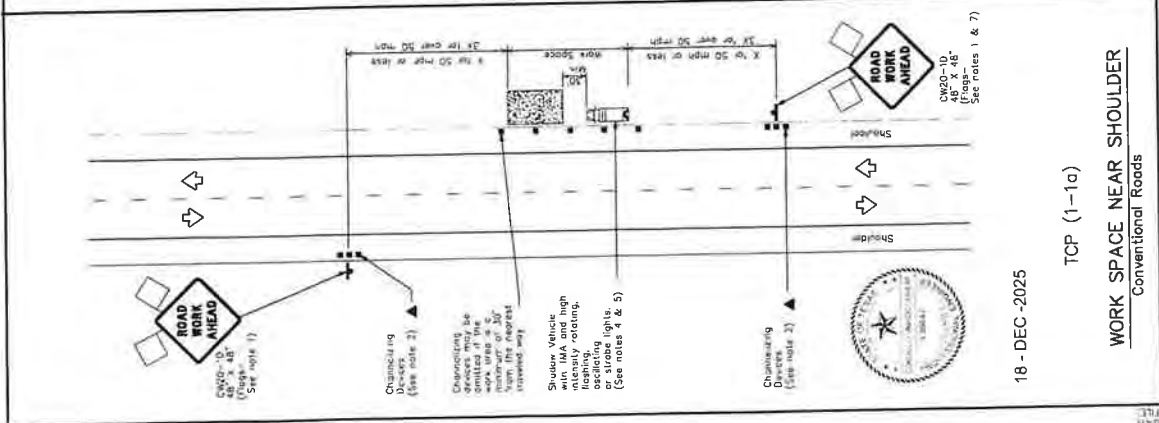
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**General Special Provisions
Walker County Utility Installation Request**

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LEGEND

Symbol	Description	Channelizing Devices
[Symbol]	Type 3 Barricade	Yes
[Symbol]	Heavy Work Vehicle	Yes
[Symbol]	Trailer Mounted Passing Area Board	Yes
[Symbol]	Sign	Yes
[Symbol]	Flag	Yes

Typical Usage

MOBILE	STATIONARY	ITEM	STATIONARY
✓	✓	ITEM	STATIONARY

GENERAL NOTES

- 1 Signs attached to signs with work shown in blue.
- 2 All traffic control devices are REQUIRED, except those indicated otherwise.
- 3 Inactive work vehicles or other equipment should be placed near the work area.
- 4 A Shoulder Vehicle with a 10' width should be used anytime it can be positioned 30' to 100' from the area of free exposure without adversely affecting the performance or quality of the work.
- 5 Additional Shoulder Vehicles with 10' width should be used all the speed of the work area.
- 6 See TCP 1-1 for shoulder work on divided highway, expressway and freeways.
- 7 ROAD WORK AHEAD signs may be used in place of LEGAL-10 signs for shoulder work or conventional roadways.

TRIDENT PIPELINE PROJECT

TRAFFIC CONTROL PLAN

10', 11', and 12' Width Lanes

Rev: A Issued for Permit Date: 11/11/2025

Drawn by: JW Rev by: DE Approved by: GC

18 - DEC - 2025

To the Commissioner's Court of Walker County

Date _____

Application is hereby made by Trident Intrastate Pipeline LLC
to place Natural Gas Pipeline

and/or perform the following described work _____ within the Right of Way of that Walker
County road known as Old Chapel Road at the following approximate coordinates
(lat/long) 30.758434, -95.367648.

The exact location and extent of the proposed work shall be as shown on the attached
specifications and drawings.

We will construct and maintain the line on the road right of way as shown on the attached drawing and in accordance with the rules, regulations and policies of Walker County, the Texas Department of Transportation (TXDOT), and all governing laws, including, but not limited to, the "Texas Engineering Practice Act," "Federal Clean Water Act," the "National Endangered Species Act," "Americans with Disabilities Act," and the "Federal Historic Preservation Act." Upon request by Walker County, we will submit to Walker County proof of compliance with all governing laws, rules and regulations before commencement of construction. Plans shall include the design, proposed location, vertical elevations, and horizontal alignments of the facility based on the department's survey datum, the relationship to existing highway facilities and the right of way line, traffic safety and access procedures, and location of existing utilities that may be affected by the proposed utility facility. The location and description of the proposed line and appurtenances is more fully shown by a complete set of drawings attached to this Utility Installation Request. We will give plans to Walker County for each future proposed modification or expansion to our facility and all Walker County to review and approve submittals prior to commencement of the work.

A new request may be required as a condition of approval.

Our organization will use Best Management Practices to minimize erosion and sedimentation resulting from the proposed installation, and we will re-vegetate the project area as indicated under "Re-vegetation Special Provisions."

Our organization will ensure that traffic control measures complying with applicable portions of the *Texas Manual on Uniform Traffic Control Devices* will be installed and maintained for the duration of this installation.

When installing our utility on controlled access facilities, we shall conform to the Texas Transportation Code, Title 6 Roadways, Chapter 203, Subchapter C, Control of Access, §203.031. We shall limit access for servicing this installation to access via (a) frontage roads where provided, (b) nearby or adjacent public roads or streets, (c) trails along or near the highway right of way lines, connecting only to an intersecting road; from any one or all of which entry may be made to the outer portion of the highway right of way for normal service and maintenance operations. Our rights of access to the through traffic roadways and ramps shall be subject to the same rules and regulations that apply to the general public.

It is expressly understood that Walker County does not purport, hereby, to grant any right, claim, title or easement in or upon this road; and it is further understood that Walker County may require us to relocate this line and any associated infrastructure, at the total expense of the applicant/utility owner, by giving thirty (30) days written notice prior to the date that the relocation shall be completed. We understand that a new Request will be required for the relocation.

We will notify Walker County prior to commencement of any routine or periodic maintenance which requires pruning of trees within the highway right of way, so that Walker County may provide specifications for the extent and methods to govern in, but not limited to, trimming, topping, tree balance, type of cuts, painting cuts and clean up.

Our installation shall not damage any part of the roadway structure or associated appurtenances and we will make adequate provisions to minimize inconveniences to the traveling public, and adjacent property owners. In the event we fail to comply with any or all of the requirements as set forth herein, the County may take such action as it deems appropriate to compel our compliance.

Following approval, we will begin construction on or after January 2, 2026 (month/day/yr)

Additional Provisions and Requirements (for TxDOT input only)

General Special Provisions:

- ☒ Are attached.
☐ Are not attached

As-built Plans/Certifications of Construction:

- ☐ Are required and shall be certified as accurate by an authorized representative of the company.
☒ Are required and shall be signed and sealed by a State of Texas Licensed Professional Engineer.
☒ Certification that utility was installed as approved
☐ Are not required

Re-vegetation Special Provisions: In order to minimize erosion and sedimentation resulting from the proposed installation, the project area will be re-vegetated:

- ☒ In accordance with TxDOT's Standard Specification Item 164 which specifies the appropriate grass seed mix to be used, or:
☐ As indicated on the attachment.

The Precinct Commissioner or his/her representative is to be notified 48 hours prior to beginning construction.

If approved, we understand that we will assume all risks associated with this installation within the Walker County right of way. These risks include, but are not limited to, injuries to our workers, damage to contiguous utility lines that may be in the area, injuries or damage resulting from our failure to properly install and maintain the line as shown on plans.

We understand Walker County may place additional provisions and requirements as listed above, based upon, but not limited to, the type of utility being installed, local site conditions, soil types and traffic.

We acknowledge that this Utility Installation Request approval **expires** on the **91st** calendar day from the date of issuance, unless otherwise approved, if we do not begin our installation by this date. If we do not begin our installation within this time frame and still wish to continue, we will resubmit our request in accordance with the prevailing governing laws, rules, regulations and policies at the time of resubmission.

By signing as/for the requestor below, I certify that I am authorized to represent the requestor, that I agree to the provisions and requirements included in this Utility Installation Request, and our commencement of construction will further attest to our review and acceptance of said additional provisions and requirements

Requestor:

Date:

By: Brittany Stolte

Signature:

Title: Land and ROW Manager and Attorney-in-Fact

Address:

Telephone:

Approved By:

Date:

By:

Signature:

Title:

Address:

Telephone:

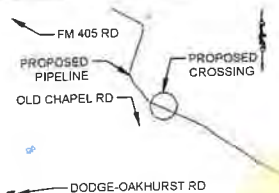
WALKER COUNTY, TEXAS

LEGEND

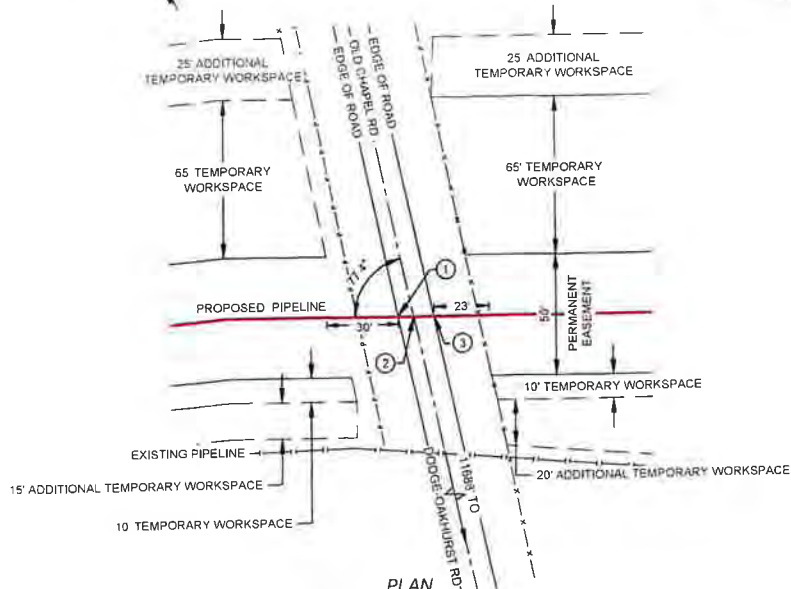
R/W RIGHT OF WAY
FM FARM TO MARKET
MIN MINIMUM
CLR CLEARANCE
EXISTING PIPELINE
POWER LINE
FENCE
PROPERTY LINE
POWER POLE

LOCATION COORDINATES

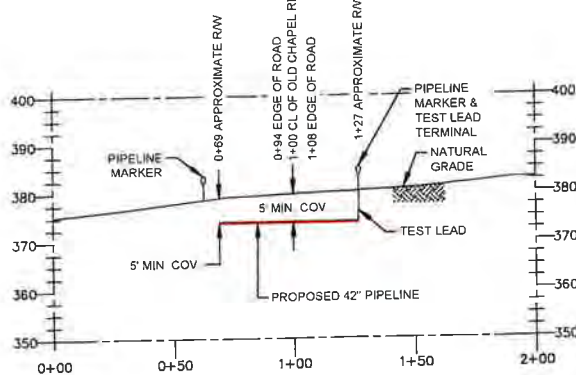
1. X= 3855718.22
Y= 10274379.85
2. X= 3855723.93
Y= 10274376.91
3. X= 3855731.30
Y= 10274373.12



VICINITY MAP
N.T.S.



PLAN
1"=60'



CROSSING LENGTH - 58' (APPROX. R/W TO APPROX. R/W)

PROFILE
1"=60' H
1"=30' V



10 - DEC - 2025

NOTE:

- DATUM BASED ON NAD83 TEXAS STATE PLANE, CENTRAL ZONE, U.S. FOOT
- EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS GENERATED FROM PREVIOUS MAPS AND SURVEY. CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES IN AREA OF WORK PRIOR TO CONSTRUCTION AND CALL TEXAS ONE CALL SYSTEM AT 1-800-248-4545 AND ALL OTHER UTILITY COMPANIES AT LEAST 2 WORKING DAYS (48 HOURS) PRIOR TO CONSTRUCTION.
- ALL MINIMUM DEPTH REQUIREMENTS MEASURED AT THE TOP OF PIPE OR CASING.
- CROSSING PIPE TO EXTEND AT A MINIMUM FROM EDGE OF R/W TO EDGE OF R/W.
- CROSSING PIPE TO MAINTAIN 2' MIN. CLR. FROM EXISTING UTILITIES/PIPELINES.

CROSSING PIPE SPECIFICATIONS

CONTENTS: NATURAL GAS
CODE: 49 CFR PART 192 111/ASME B31.8
CLASS LOCATION: 1
DESIGN FACTOR: 0.60
PIPE: 42"Ø, 0.720" w.t., SAW, API 5L X70, PS2, E=1
CASING: NOT APPLICABLE
COATING: 14-18 MILS FBE, 30-40 MILS ARO
M.A.O.P.: 1,440 PSIG
PIPELINE CATHODICALLY PROTECTED
METHOD OF INSTALLATION: BORE



NO.	DATE	REVISION	BY	CHK	APPR	APPR	APPR
B	12/09/25	ISSUED FOR PERMIT	VLG	JW	GLC		
A	11/03/25	ISSUED FOR PERMIT	VLG	JW	GLC		

KINDER MORGAN



DRAWING ISSUES	CONSTRUCTION	LAST	DATE
BIDS	LAST	DATE	
APPROVAL	LAST	DATE	
INFORMATION	LAST	DATE	
ISSUED FOR:	SIGNATURE	DATE	REV.
DRAWN: VLG		05/01/25	
CHECKED: JW		05/01/25	
ENGINEER:	DATE:		
TRC:	DATE:		
CLIENT:	DATE:		
CLIENT:	DATE:		

ROAD CROSSING PERMIT

TRIDENT PIPELINE
OLD CHAPEL ROAD
WALKER COUNTY, TEXAS

SCALE	PROJECT NO	DRAWING NO	SHEET	REV
AS SHOWN	630450	630450-34WA-006	1 OF 1	B

05-Nov-2025 : 9:58 AM

VARIANCE REQUEST
OF WALKER COUNTY, TEXAS

Copy all pages of this form and all attachments for (1) community official, (2) building owner.
If any section is not applicable to the proposed development project please mark that section "NA"

SECTION A – PROPERTY INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Name Trident Intrastate Pipeline LLC		Application Number:
A2. Property Owner's Street Address [REDACTED]		Date of Submittal:
City [REDACTED]	State [REDACTED]	ZIP Code [REDACTED]
A3. Property Owner's Email Address [REDACTED]	A4. Property Owner's Telephone Number [REDACTED]	
A5. Property Description of Parent Tract (Lot and Block Numbers, Legal Description, etc.) Old Chapel Road Pipeline Crossing location 30.758434 -95.367648		
SECTION B – INFORMATION FOR PROPOSED SUBDIVISION TRACT (For projects involving multiple map panels an additional sheet may be listed below or included in an additional attachment)		
B1. Survey and Abstract N/A	B2. Tax ID Number(s) of Parent Tract N/A	B3. Deed Volume/Page N/A
B4. Existing or Proposed Name of Subdivision N/A	B5. Is the application for a division of a lot in an Existing Platted Subdivision? (Yes/No) N/A	
THE ABOVE NAMED APPLICANT DOES HEREBY MAKE AN APPEAL TO THE COMMISSIONER'S COURT OF WALKER COUNTY FOR A VARIANCE TO THE REGULATORY REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF WALKER COUNTY, TEXAS.		
SECTION C – LIST OF ATTACHMENTS Please list any supporting documents or submittals included with the variance request as attachments.		
Description of Attachment(s)		Exhibit #
C.1 630450-34WA-006 OLD CHAPEL ROAD PLAN AND PROFILE DRAWING		1
C.2		
C.3		
C.4		

SECTION D –VARIANCE REQUEST

(All Variance requests need to include the specific variance along with the Section(s) of the Regulation to which they apply)

- D.1 A Variance is requested to Section(s) 43 TAC §21.37(b)(4) of the Subdivision Regulations of Walker County, Texas as follows:

We request a variance to allow our pipeline to cross Old Chapel Road at 77.4°.

SECTION E – APPLICANT’S JUSTIFICATION AND PRESENTATION FACTORS EFFECTING VARIANCE

(All variance requests to the Walker County Subdivision Regulations need to be included along with the Section(s) of the Regulation to which they apply)

- E.1 Is the variance related to the design or construction of improvements to be constructed within the subdivision?

Yes _____ No X _____

If “Yes” the request should be accompanied by an engineer’s opinion and justification for the variance.

- E.2 Please explain the cause or reason the variance is being requested (attach additional pages as “Exhibit E.2”):

The proposed alignment for our pipeline parallels existing utilities and
installing a 90° crossing would cause additional utilities congestion in the area.

- E.3 Will the failure to grant the variance requested result in any exceptional hardship to the applicant?

Yes X _____ No _____

If yes please explain below:

- E.4 Does the applicant propose any additional conditions, mitigation, or additional requirements not addressed within the Walker County Subdivision Regulations that will or have been met by the applicant as a condition of the variance being granted?

Yes _____ No _____ Please list the additional measures below.

SECTION F –VARIANCE(S) GRANTED

F.1 A VARIANCE TO THE WALKER COUNTY SUBDIVISION REGULATIONS IS GRANTED AS FOLLOWS:

F.2 THE FOLLOWING CONDITIONS ARE ATTACHED TO THE VARIANCE

SECTION G - NOTICE, ACKNOWLEDGEMENT, AND CERTIFICATIONS

NOTICE

ALL DEVELOPMENT MUST BE IN STRICT COMPLIANCE WITH THE CONDITIONS STATED HEREIN AND ANY OTHER CONDITIONS STATED WITHIN THE APPLICATION OR DURING THE PRESENTATION TO COMMISSIONERS COURT. ANY VARIATION MAY RESULT IN THE IMMEDIATE SUSPENSION OR CANCELLATION OF THIS VARIANCE. VIOLATION OF THE CONDITIONS OF THIS VARIANCE MAY ALSO RESULT IN THE COMMISSIONERS COURT SEEKING INJUNCTIVE RELIEF, CIVIL, OR CRIMINAL PENALTIES.

WARNING

THE APPLICANT ACKNOWLEDGES THAT HE/SHE IS RESPONSIBLE TO ENSURE THAT ANY VARIANCE DOES NOT DAMAGE OR THREATEN THE PUBLIC OR ADJACENT PROPERTIES AND COMPLIES WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

DISCLAIMER

THE COMMISSIONER'S COURT OF WALKER COUNTY AND ANY OFFICER OR EMPLOYEE OF WALKER COUNTY ARE **NOT** LIABLE FOR DAMAGES OR LOSS RESULTING FROM THE GRANTING OF THIS VARIANCE. THIS VARIANCE IS GRANTED IN RELIANCE UPON THE STATEMENTS AND EVIDENCE SUPPLIED BY THE APPLICANT AND HIS/HER AGENTS IN THE APPLICATION AND PRESENTATION TO COMMISSIONERS COURT.

I, Gonzalo Cabrera, do hereby acknowledge that I have reviewed the provisions, notices, warnings and disclaimers stated above and that I understand them, agree with them and intend to fully comply with them.

Signature of Owner/Applicant

Gonzalo L. Cabrera

Digitally signed by Gonzalo L. Cabrera
DN: C=US, E=gonicab2024@gmail.com, CN=Gonzalo
L. Cabrera
Reason: I am the author of this document
Date: 2025.12.16 17:21:30-05'00'

Date

12/16/2025

SECTION H – ACTION ON VARIANCE BY COMMISSIONER'S COURT

After careful consideration of the reason(s) for the request of variance, the Commissioner's Court of Walker County, Texas has determined that it is within the scope of the variance procedures as outlined in the Walker County Subdivision Regulations to _____ this request for variance.

Commissioner's Court Signature

Printed Name

Date

Signature of Owner/Applicant acknowledging conditions after court action.

Date



10000 Katy Road
Suite 100
(936) 441-7833

December 3, 2025

Mr. Andrew Isbell
Walker County Planning & Development
1313 University Avenue
Huntsville, TX 77340

Re: Review No. 2
Trident Natural Gas Pipeline Installation Application – Old Chapel Road (90500-297)
Walker County

Mr. Isbell:

Bleyl Engineering reviewed the application submitted on behalf of Trident Intrastate Pipeline, LLC, for the installation of the natural gas pipeline related to Old Chapel Road, and we offer the comments below. Please note that comments prefaced with an “R2” are issued for this review, which follows the related, previously issued comment.

- R1.1. Comment satisfied.
- R1.2. Provide the “Pipe Class” used for determining longitudes for each pipe. (See Appendix). Calculations per Table 1 in Title 49 CFR §192.113.
- R2.2. Comment remains. A “Pipe Class,” as referenced in Table 1 of Title 49 CFR §192.113, is not on the plans.
- R1.3. New utility facilities crossing this highway shall be installed at approximately 90 degrees to the centerline of the highway. (43 TAC §21.37(b)(4)).
- R2.3. Comment remains. You may submit a variance request for the Commissioners Court's consideration regarding any crossings that are not approximately 90 degrees to the centerline of the roadway.
- R1.4. Include the engineer's firm name on all sealed sheets, including cover sheet, per Board Rules §137.33(a) & §137.77(h).
- R1.5. Comment satisfied.
- R1.6. Provide a traffic control plan that applies to the project road view. Traffic control plans should be signed and sealed in accordance with Board Rules §137.33 & §137.77(h).
- R2.5. Comment satisfied.
- R1.6. Show existing utilities, including existing pipelines, in the vicinity of the proposed work.
- R2.6. Comment satisfied.
- R1.7. All borings shall extend ten feet beyond the travel lanes for uncurbed roads (speed limits of 40 mph or less). Please add dimension line callouts for this distance to the crossing detail to ensure compliance with 43 TAC §21.40(a)(4)(E)(iv).
- R2.7. Comment satisfied.
- R1.8. No recording information was provided for the rights-of-way. It is the applicant's responsibility to confirm the rights-of-way widths and obtain and synchronize them with applicable jurisdictional agency for the right-of-way installation.

Respectfully,
Bleyl Engineering

bleylengineering.com

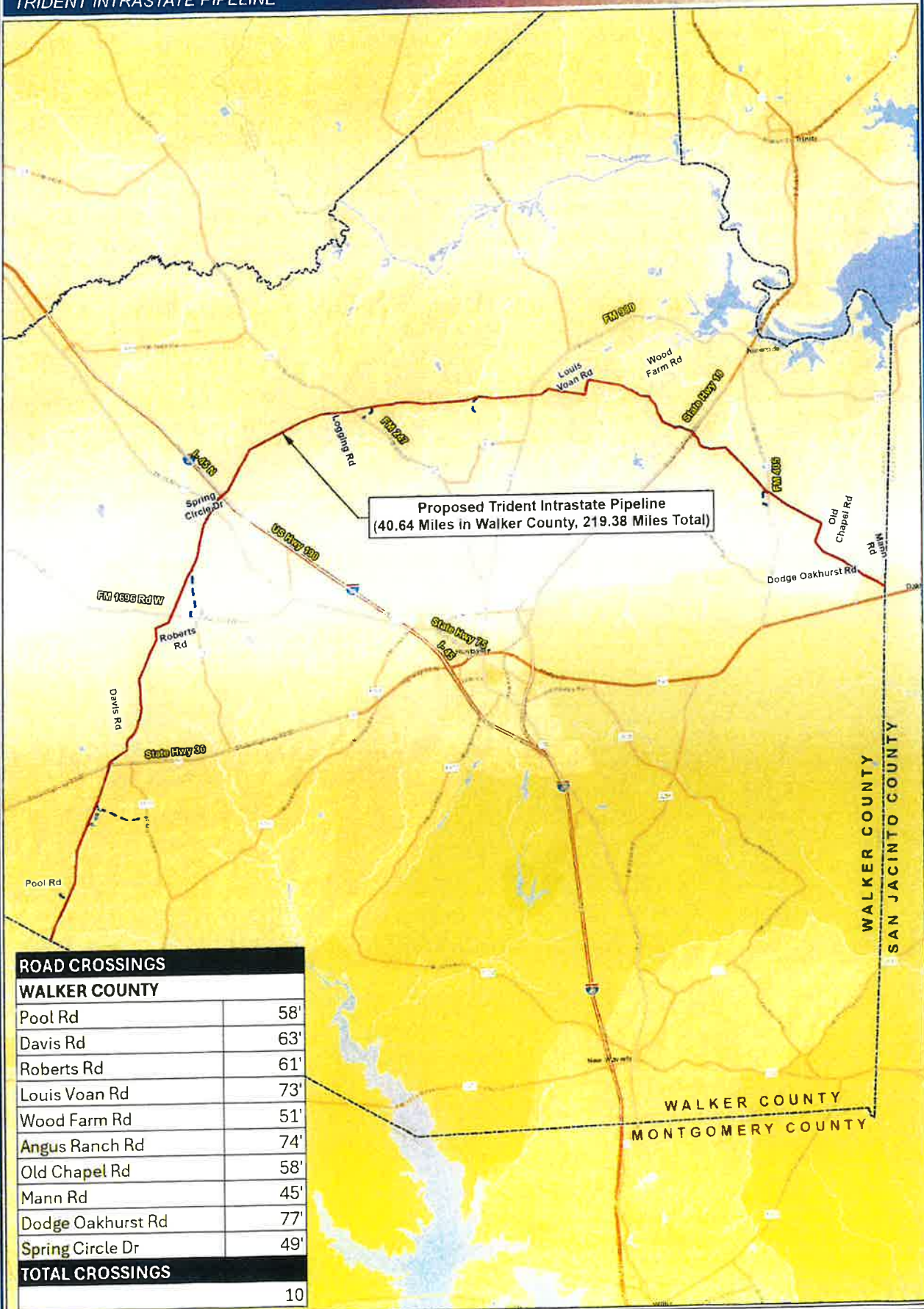
Advancing stronger, safer communities across Texas since 1997.

Bleyl Engineering has conducted this review on behalf of Walker County, and this review is subject to further comments upon receipt of additional information requested above. Bleyl Engineering and Walker County do not accept any responsibility for the design or accuracy of the construction drawings. All construction shall meet the regulations adopted by Walker County. This letter is not intended to propose specific alterations to the construction drawings or waive the applicant's responsibility to comply with applicable laws, regulations, and orders.

Sincerely,

Steffanie M. DeLoss, P.E., CFM
Sr. Engineering Manager
Bleyl Engineering

E:\297 UIR Trident - Old Chapel Rd, Pct 3\R2\Out\251203 UIR Trident - Old Chapel Rd, Pct 3.docx



ROAD CROSSINGS

WALKER COUNTY

Pool Rd	58'
Davis Rd	63'
Roberts Rd	61'
Louis Voan Rd	73'
Wood Farm Rd	51'
Angus Ranch Rd	74'
Old Chapel Rd	58'
Mann Rd	45'
Dodge Oakhurst Rd	77'
Spring Circle Dr	49'
TOTAL CROSSINGS	10

VICINITY MAP



LEGEND

- Access Roads
- Trident Intrastate Pipeline
- County Boundary



KINDER MORGAN

DATE: 12/21/2023 SHEET: 1 OF 1

**General Special Provisions
Walker County Utility Installation Request**

1. Effective Period of Permit Approval. All approvals are void if installation does not begin within 3 months from the date of approval.
2. ALL UTILITY INSTALLATIONS SHALL CONFORM WITH THE STANDARDS DESCRIBED IN TITLE 43, PART 1, CHAPTER 21, SUBCHAPTER C, OF THE TEXAS ADMINISTRATIVE CODE (UTILITY ACCOMODATIONS)
3. A FINAL AS-BUILT SET OF PLANS SHALL BE SUBMITTED AND CERTIFIED BY A PROFESSIONAL ENGINEER, INCLUDING A CERTIFICATION THAT THE INSTALLATION WAS COMPLETED IN CONFORMANCE AND COMPLIANCE WITH THE ABOVE DESCRIBED SECTIONS OF THE TEXAS ADMINISTRATIVE CODE AND TEXAS DEPARTMENT OF TRANSPORTATION MINIMUM SPECIFICATIONS. A statement must be included certifying that any pipe/casing installed is properly designed for the application and the installation meets the minimum standards for TxDOT and Title 43 of the Texas Administrative Code.
4. Minimum Depth of Cover. The minimum depth of cover for any underground utility line shall be as shown on the "Minimum Depth of Cover Table" for the TXDOT District or attached schematic whichever is deeper.
5. Locating Utilities. Applicant shall take all reasonable and necessary steps to locate existing utilities and address them in accordance with all state, local, and or federal requirements.
6. Aerial Electric Lines. Aerial electric power lines crossing over the highway shall be installed and maintained a minimum of twenty-two (22) feet above the surface of the traffic lanes. For electric power lines with greater than 50,000 volts, the clearance shall be increased in accordance with National Electric Safety Code as published in the National Bureau of Standards, Handbook 30.
7. Aerial Communication Lines. Aerial communication lines crossing over the highway shall be installed and maintained a minimum of eighteen (18) feet above the surface of the traffic lanes.
8. Open Trenching or Boring Operations for Utility Work. To insure that disturbed areas are restored and revegetated properly and in a reasonable period as the utility work progresses, the following requirements shall apply:

Unless otherwise approved or directed by Walker County, the length of "active utility work" shall not exceed one mile in length. "Active utility work" shall be defined as the total disturbed area measured from the beginning of open trenching to the point where backfill has been compacted, the right of way has been restored to its original line and grade, any structures damaged by the utility work have been repaired, erosion control measures have been placed and are being properly maintained, approved topsoil seed and compost has been placed uniformly, and watering for revegetation has begun. "Active utility work" also includes areas of bore pits and receiving pits; however, it does not include the underground boring length. When any area of "active utility work" is substantially complete (i.e., watering of seeded areas has begun), that area is no longer considered to be "active utility work", and "active utility work" can proceed further within the right of way as long as it does not exceed the above appropriate limits. Areas where Walker County determines that the "active utility work" is substantially complete does not mean that Walker County considers that area totally acceptable and complete.

9. Backfill, Erosion Control, and Re-vegetation. All excavations within the right-of-way (ROW) and not under pavement shall be backfilled by tamping in six (6) inch horizontal layers to the density of the surrounding



**General Special Provisions
Walker County Utility Installation Request**

soil or as directed by the Walker County. All surplus material shall be removed and the ROW shall be reshaped to its original condition or better. This work shall be done in accordance with Item 164 of the Texas Department of Transportation (TxDOT) "Standard Specifications for Construction and Maintenance of Highways, Streets, and Bridges." Erosion control measures such as soil retention blankets, rock berms, and silt fences shall be installed and maintained until permanent perennial vegetation is established over 70% of the disturbed area. The amount of revegetation is considered acceptable when it resembles the amount of existing vegetation in the surrounding undisturbed area. **If erosion control and/or storm water run-off requirements of other State, Federal, or Local Jurisdictions exceed these requirements then the more stringent requirements would prevail.**

8. Boring and Jacking. Boring and jacking of utility lines shall be provided as specified below.

- a. Under Paved County Roads. Utility lines to be constructed under an existing paved (asphalt pavement or concrete pavement) county road shall be installed by boring and jacking with casing.
- b. Under Paved Driveways. Utility lines to be constructed under existing paved (asphalt pavement or concrete pavement) driveways shall be installed by boring and jacking methods, unless the utility company furnishes Walker County with a "Letter of No Objection" signed by the driveway owner to allow open cutting of their driveway.
- c. Under Unpaved County Roads or Driveways. Utility lines to be constructed under an existing unpaved county road or under existing unpaved driveways may be open cut only when approved in advance by Walker County, and after the driveway owner is notified. Any open cuts should be repaired and restored to a minimum of pre-cut conditions as quickly as possible so as not to impact road and/or driveway traffic. Applicant shall take all necessary precautions to insure safety as site of open cut.
- d. Under Desirable Trees. To preserve the natural environment and protect wildlife habitat, boring may be required when underground utility lines are to be placed within the "protected root area" of "desirable trees" located within road ROW or on adjacent property. The "protected root area" is defined as the area between the tree trunk and five (5) feet from the tree trunk or 2/3 the actual distance from the tree trunk to the dripline, whichever is greater. "Desirable trees" include (but are not limited to) any tree with a trunk diameter of six (6) inches or more that Walker County or the Owner of the tree determines to be of environmental and aesthetic value. Boring under all "desirable trees" will be required with the following exceptions: (1) in areas where planned highway construction/maintenance work would require tree removal, or (2) when the Walker County approves of open trenching for the utility installation or removal of the tree.

9. Manhole Covers. All manhole covers shall be installed flush with the ground surface.

10. Traffic Control. Traffic control in utility work zones shall conform to applicable requirements of the "Texas Manual on Uniform Traffic Control Devices for Streets and Highways, Part VI". Adequate signs, barricades, flag personnel, etc. shall be erected and maintained in complete compliance with the Texas Manual on Uniform Traffic Control Devices. Any travel lane closures are only permitted after a traffic control plan is approved by Walker County prior to beginning any construction activities.

11. Sunday or Holiday Work. Sunday or Holiday work will not be permitted for the installation of any utility line unless directed or approved by Walker County.



**General Special Provisions
Walker County Utility Installation Request**

12. The approval of this utility installation request shall in no way be taken as a waiver or variance to any other existing local, state, or federal permits or requirements that may be required by the applicant.
13. Please note that Walker County will be making no verification through this process of the actual location of the public right of way as to width or location. The responsibility to locate the bounds of any public right of way that your project will utilize is the responsibility of your company. Walker County's approval of the request is not an agreement as to location of the public right of way, nor does it confer any easement, right of way, or property right for the project area.
14. Protection of Trees and Landscaping. Existing trees and landscaping within the ROW shall be protected as specified below. Removal of trees from the ROW will require prior Walker County approval.
- a. Tree Pruning. All tree pruning within the ROW will require prior TxDOT approval. All oak trees that are damaged or pruned shall be treated with an approved tree wound dressing within 20 minutes of causing the damage or making the pruning cut.
- b. Landscaping. When existing landscaping is located near the proposed utility alignment, the utility contractor shall notify Walker County and the owner of the landscaping prior to the proposed utility installation. Walker County may require underground utilities to be installed by: (1) boring under such landscaping or (2) by replacement of specific landscape items. Landscaping is defined as, but not limited to, trees, shrubs, grass, irrigation lines, landscape pavers, sidewalks, and other ROW improvements.



To the Commissioner's Court of Walker County

Date _____

Application is hereby made by Trident Intrastate Pipeline LLC
to place Natural Gas Pipeline

and/or perform the following described work _____ within the Right of Way of that Walker
County road known as Wood Farm Road at the following approximate coordinates
(lat/long) 30.834524, -95.457969.

The exact location and extent of the proposed work shall be as shown on the attached
specifications and drawings.

We will construct and maintain the line on the road right of way as shown on the attached drawing and in accordance with the rules, regulations and policies of Walker County, the Texas Department of Transportation (TXDOT), and all governing laws, including, but not limited to, the "Texas Engineering Practice Act," "Federal Clean Water Act," the "National Endangered Species Act," "Americans with Disabilities Act," and the "Federal Historic Preservation Act." Upon request by Walker County, we will submit to Walker County proof of compliance with all governing laws, rules and regulations before commencement of construction. Plans shall include the design, proposed location, vertical elevations, and horizontal alignments of the facility based on the department's survey datum, the relationship to existing highway facilities and the right of way line, traffic safety and access procedures, and location of existing utilities that may be affected by the proposed utility facility. The location and description of the proposed line and appurtenances is more fully shown by a complete set of drawings attached to this Utility Installation Request. We will give plans to Walker County for each future proposed modification or expansion to our facility and all Walker County to review and approve submittals prior to commencement of the work.

A new request may be required as a condition of approval.

Our organization will use Best Management Practices to minimize erosion and sedimentation resulting from the proposed installation, and we will re-vegetate the project area as indicated under "Re-vegetation Special Provisions."

Our organization will ensure that traffic control measures complying with applicable portions of the *Texas Manual on Uniform Traffic Control Devices* will be installed and maintained for the duration of this installation.

When installing our utility on controlled access facilities, we shall conform to the Texas Transportation Code, Title 6 Roadways, Chapter 203, Subchapter C, Control of Access, §203.031. We shall limit access for servicing this installation to access via (a) frontage roads where provided, (b) nearby or adjacent public roads or streets, (c) trails along or near the highway right of way lines, connecting only to an intersecting road; from any one or all of which entry may be made to the outer portion of the highway right of way for normal service and maintenance operations. Our rights of access to the through traffic roadways and ramps shall be subject to the same rules and regulations that apply to the general public.

It is expressly understood that Walker County does not purport, hereby, to grant any right, claim, title or easement in or upon this road; and it is further understood that Walker County may require us to relocate this line and any associated infrastructure, at the total expense of the applicant/utility owner, by giving thirty (30) days written notice prior to the date that the relocation shall be completed. We understand that a new Request will be required for the relocation.

We will notify Walker County prior to commencement of any routine or periodic maintenance which requires pruning of trees within the highway right of way, so that Walker County may provide specifications for the extent and methods to govern in, but not limited to, trimming, topping, tree balance, type of cuts, painting cuts and clean up.

Our installation shall not damage any part of the roadway structure or associated appurtenances and we will make adequate provisions to minimize inconveniences to the traveling public, and adjacent property owners. In the event we fail to comply with any or all of the requirements as set forth herein, the County may take such action as it deems appropriate to compel our compliance.

Following approval, we will begin construction on or after January 2, 2026 (month/day/yr)

Additional Provisions and Requirements (for TxDOT input only)

General Special Provisions:

- ☒ Are attached.
☐ Are not attached

As-built Plans/Certifications of Construction:

- ☐ Are required and shall be certified as accurate by an authorized representative of the company.
☒ Are required and shall be signed and sealed by a State of Texas Licensed Professional Engineer.
☒ Certification that utility was installed as approved
☐ Are not required

Re-vegetation Special Provisions: In order to minimize erosion and sedimentation resulting from the proposed installation, the project area will be re-vegetated:

- ☒ In accordance with TxDOT's Standard Specification Item 164 which specifies the appropriate grass seed mix to be used, or:
☐ as indicated on the attachment.

The Precinct Commissioner or his/her representative is to be notified 48 hours prior to beginning construction.

If approved, we understand that we will assume all risks associated with this installation within the Walker County right of way. These risks include, but are not limited to, injuries to our workers, damage to contiguous utility lines that may be in the area, injuries or damage resulting from our failure to properly install and maintain the line as shown on plans.

We understand Walker County may place additional provisions and requirements as listed above, based upon, but not limited to, the type of utility being installed, local site conditions, soil types and traffic.

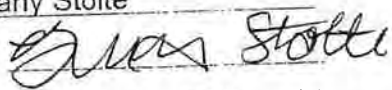
We acknowledge that this Utility Installation Request approval expires on the 91st calendar day from the date of issuance, unless otherwise approved, if we do not begin our installation by this date. If we do not begin our installation within this time frame and still wish to continue, we will resubmit our request in accordance with the prevailing governing laws, rules, regulations and policies at the time of resubmission.

By signing as/for the requestor below, I certify that I am authorized to represent the requestor, that I agree to the provisions and requirements included in this Utility Installation Request, and our commencement of construction will further attest to our review and acceptance of said additional provisions and requirements

Requestor:

Date: 8/22/05

By: Brittany Stoltz

Signature: 

Title: Land and ROW Manager and Attorney-in-Fact

Address: 



Telephone: 

Approved By:

Date: _____

By: _____

Signature: _____

Title: _____

Address: _____

Telephone: _____

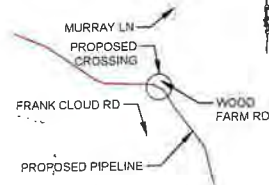
WALKER COUNTY, TEXAS

LEGEND

R/W	RIGHT OF WAY
1 M	1 M TO MARK
MIN	MINIMUM
CLR	CLEARANCE
---	EXISTING PIPELINE
---	PROPOSED PIPELINE
---	PROPOSED PIPELINE
---	PROPOSED PIPELINE

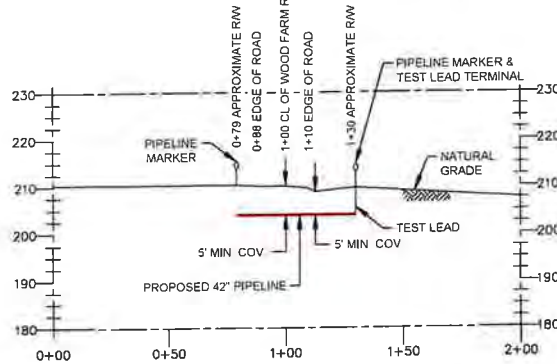
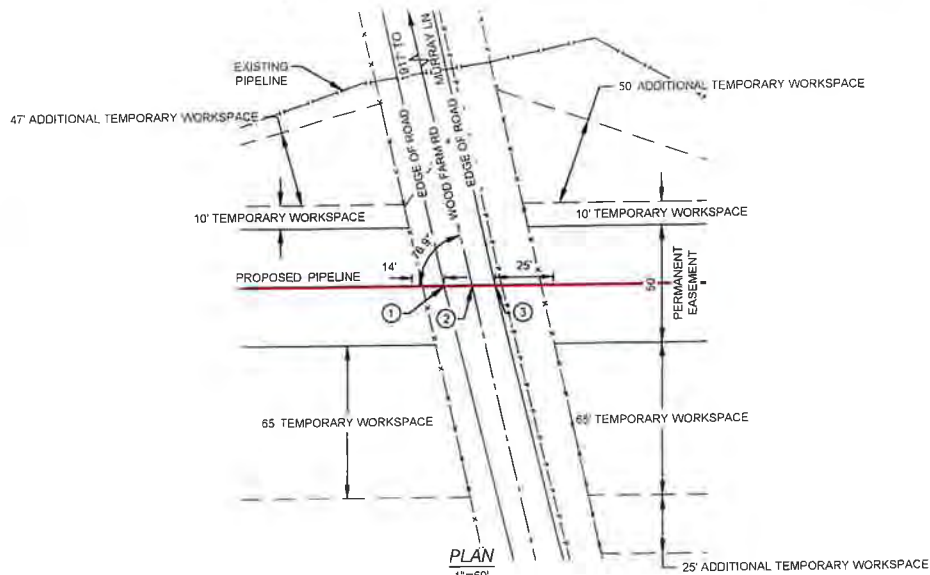
LOCATION COORDINATES

1. X= 3826153.59
Y= 10300776.20
2. X= 3826164.48
Y= 10300771.27
3. X= 3826173.53
Y= 10300767.16



VICINITY MAP

N.T.S.



CROSSING LENGTH - 51' (APPROX. R/W TO APPROX. R/W)

PROFILE

1"=60' H
1"=30' V

CROSSING PIPE SPECIFICATIONS

CONTENTS: NATURAL GAS
CODE: 48 CFR PART 192.111/ASME B31.8
CLASS LOCATION: 1
DESIGN FACTOR: 0.80
PIPE 42" O.D. 720" W.T. SAW, API 5L X70 PSL2, E=1
CASING: NOT APPLICABLE
COATING: 14-18 MILS FBE, 30-40 MILS ARO
M.A.O.P.: 1,440 PSIG
PIPELINE CATHODICALLY PROTECTED
METHOD OF INSTALLATION: BORE

NOTE

1. DATUM BASED ON NAD83 TEXAS STATE PLANE, CENTRAL ZONE, U.S. FOOT
2. EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS GENERATED FROM PREVIOUS MAPS AND SURVEY. CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES IN AREA OF WORK PRIOR TO CONSTRUCTION AND CALL TEXAS ONE CALL SYSTEM AT 1-800-245-4545 AND ALL OTHER UTILITY COMPANIES AT LEAST 2 WORKING DAYS (48 HOURS) PRIOR TO CONSTRUCTION.
3. ALL MINIMUM DEPTH REQUIREMENTS MEASURED AT THE TOP OF PIPE OR CASING.
4. CROSSING PIPE TO EXTEND AT A MINIMUM FROM EDGE OF R/W TO EDGE OF R/W.
5. CROSSING PIPE TO MAINTAIN 2' MIN. CLR. FROM EXISTING UTILITIES/PIPELINES.

SCALE IN FEET



10 - DEC - 2025



NO.	DATE	REVISION	BY	CHK	APPR	APPR	APPR
B	12/09/25	ISSUED FOR PERMIT	VLG	JW	GLC		
A	11/03/25	ISSUED FOR PERMIT	VLG	JW	GLC		

KINDER MORGAN



DRAWING ISSUES	CONSTRUCTION	LAST DATE		
	BIDS	LAST DATE		
	APPROVAL	LAST DATE		
	INFORMATION	LAST DATE		
	ISSUED FOR:	SIGNATURE	DATE	REV.
DRAWING APPROVALS	DRAWN:	VLG	DATE:	05/01/25
	CHECKED:	JRW	DATE:	05/01/25
	ENGINEER:		DATE:	
	TRC:		DATE:	
	CLIENT:		DATE:	
	CLIENT:		DATE:	

ROAD CROSSING PERMIT

TRIDENT PIPELINE
WOOD FARM ROAD
WALKER COUNTY, TEXAS

SCALE	PROJECT NO	DRAWING NO	SHEET	REV.
AS SHOWN	630450	630450-34WA-005	1 OF 1	B

05-Nov-2025 : 10:02 AM

VARIANCE REQUEST

OF WALKER COUNTY, TEXAS

Copy all pages of this form and all attachments for (1) community official, (2) building owner.
If any section is not applicable to the proposed development project please mark that section "NA"

SECTION A – PROPERTY INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Name Trident Intrastate Pipeline LLC		Application Number:
A2. Property Owner's Street Address 		Date of Submittal:
City 	State 	ZIP Code
A3. Property Owner's Email Address 	A4. Property Owner's Telephone Number 	
A5. Property Description of Parent Tract (Lot and Block Numbers, Legal Description, etc.) Wood Farm Road Pipeline Crossing location 30.834148 -95.458962		
SECTION B – INFORMATION FOR PROPOSED SUBDIVISION TRACT (For projects involving multiple map panels an additional sheet may be listed below or included in an additional attachment)		
B1. Survey and Abstract N/A	B2. Tax ID Number(s) of Parent Tract N/A	B3. Deed Volume/Page N/A
B4. Existing or Proposed Name of Subdivision N/A	B5. Is the application for a division of a lot in an Existing Platted Subdivision? (Yes/No) N/A	
THE ABOVE NAMED APPLICANT DOES HEREBY MAKE AN APPEAL TO THE COMMISSIONER'S COURT OF WALKER COUNTY FOR A VARIANCE TO THE REGULATORY REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF WALKER COUNTY, TEXAS.		
SECTION C – LIST OF ATTACHMENTS Please list any supporting documents or submittals included with the variance request as attachments.		
Description of Attachment(s)		Exhibit #
C.1 630450-34WA-005 WOOD FARM ROAD PLAN AND PROFILE DRAWING		1
C.2		
C.3		
C.4		

SECTION D –VARIANCE REQUEST

(All Variance requests need to include the specific variance along with the Section(s) of the Regulation to which they apply)

- D.1 A Variance is requested to Section(s) 43 TAC §21.37(b)(4) of the Subdivision Regulations of Walker County, Texas as follows:

We request a variance to allow our pipeline to cross Wood Farm Road at 76.9°.

SECTION E – APPLICANT'S JUSTIFICATION AND PRESENTATION FACTORS EFFECTING VARIANCE

(All variance requests to the Walker County Subdivision Regulations need to be included along with the Section(s) of the Regulation to which they apply)

- E.1 Is the variance related to the design or construction of improvements to be constructed within the subdivision?
Yes _____ No X _____

If "Yes" the request should be accompanied by an engineer's opinion and justification for the variance.

- E.2 Please explain the cause or reason the variance is being requested (attach additional pages as "Exhibit E.2"):

The proposed alignment for our pipeline parallels existing utilities and
installing a 90° crossing would cause additional utilities congestion in the area.

- E.3 Will the failure to grant the variance requested result in any exceptional hardship to the applicant?

Yes X _____ No _____

If yes please explain below:

- E.4 Does the applicant propose any additional conditions, mitigation, or additional requirements not addressed within the Walker County Subdivision Regulations that will or have been met by the applicant as a condition of the variance being granted?

Yes _____ No _____ Please list the additional measures below.

SECTION F –VARIANCE(S) GRANTED

F.1 A VARIANCE TO THE WALKER COUNTY SUBDIVISION REGULATIONS IS GRANTED AS FOLLOWS:

F.2 THE FOLLOWING CONDITIONS ARE ATTACHED TO THE VARIANCE:

SECTION G - NOTICE, ACKNOWLEDGEMENT, AND CERTIFICATIONS

NOTICE

ALL DEVELOPMENT MUST BE IN STRICT COMPLIANCE WITH THE CONDITIONS STATED HEREIN AND ANY OTHER CONDITIONS STATED WITHIN THE APPLICATION OR DURING THE PRESENTATION TO COMMISSIONERS COURT. ANY VARIATION MAY RESULT IN THE IMMEDIATE SUSPENSION OR CANCELLATION OF THIS VARIANCE. VIOLATION OF THE CONDITIONS OF THIS VARIANCE MAY ALSO RESULT IN THE COMMISSIONERS COURT SEEKING INJUNCTIVE RELIEF, CIVIL, OR CRIMINAL PENALTIES.

WARNING

THE APPLICANT ACKNOWLEDGES THAT HE/SHE IS RESPONSIBLE TO ENSURE THAT ANY VARIANCE DOES NOT DAMAGE OR THREATEN THE PUBLIC OR ADJACENT PROPERTIES AND COMPLIES WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

DISCLAIMER

THE COMMISSIONER'S COURT OF WALKER COUNTY AND ANY OFFICER OR EMPLOYEE OF WALKER COUNTY ARE **NOT** LIABLE FOR DAMAGES OR LOSS RESULTING FROM THE GRANTING OF THIS VARIANCE. THIS VARIANCE IS GRANTED IN RELIANCE UPON THE STATEMENTS AND EVIDENCE SUPPLIED BY THE APPLICANT AND HIS/HER AGENTS IN THE APPLICATION AND PRESENTATION TO COMMISSIONERS COURT.

I, Gonzalo Cabrera, do hereby acknowledge that I have reviewed the provisions, notices, warnings and disclaimers stated above and that I understand them, agree with them and intend to fully comply with them.

Signature of Owner/Applicant

Gonzalo L. Cabrera

Digitally signed by Gonzalo L. Cabrera
DN: C=US, E=gonicab2024@gmail.com, CN=Gonzalo
L. Cabrera
Reason: I am the author of this document
Date: 2025.12.16 17:23:22-05'00'

Date

12/16/2025

SECTION H – ACTION ON VARIANCE BY COMMISSIONER'S COURT

After careful consideration of the reason(s) for the request of variance, the Commissioner's Court of Walker County, Texas has determined that it is within the scope of the variance procedures as outlined in the Walker County Subdivision Regulations to _____ this request for variance.

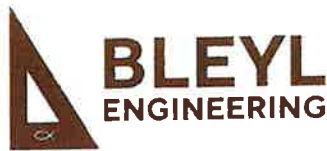
Commissioner's Court Signature

Printed Name

Date

Signature of Owner/Applicant acknowledging conditions after court action.

Date



December 3, 2025

Mr. Andrew Isbell
Walker County Planning & Development
1313 University Avenue
Huntsville, TX 77340

Re: Review No. 2
Trident Natural Gas Pipeline Installation Application – Wood Farm Road (90500-300)
Walker County

Mr. Isbell:

Bleyl Engineering reviewed the application submitted on behalf of Trident Intrastate Pipeline, LLC, for the installation of the natural gas pipeline related to Wood Farm Road, and we offer the comments below. Please note that comments prefaced with an "R2" are issued for this review, which follows the related, previously issued comment.

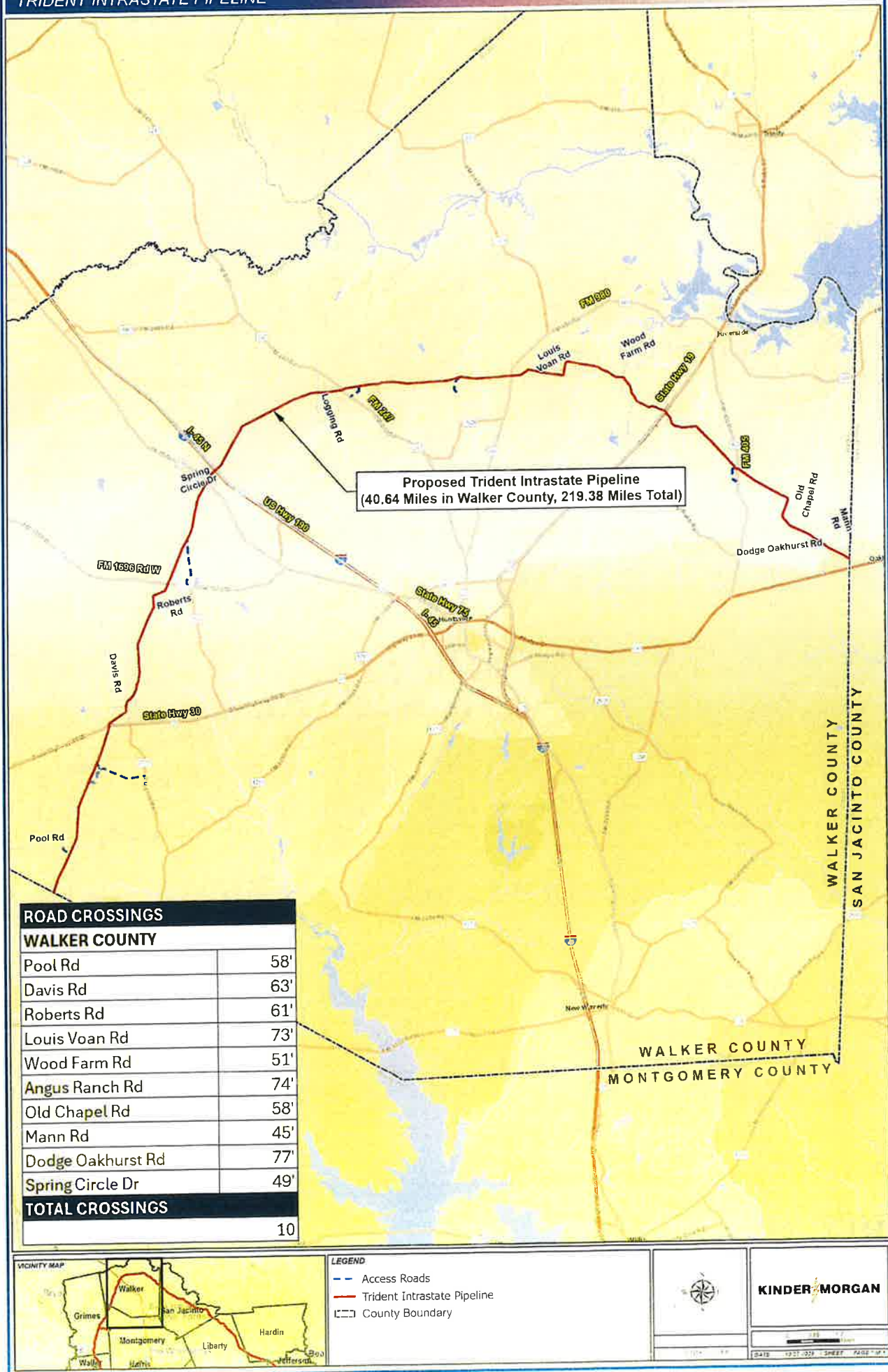
- R2.2. Comment remains. A "Pipe Class," as referenced in Table 1 of Title 49 CFR §192.113, is not on the plans.
- R2.3. Comment remains. You may submit a variance request for the Commissioners Court's consideration regarding any crossings that are not approximately 90 degrees to the centerline of the roadway.
- R1.6. Show existing utilities, including existing pipelines, in the vicinity of the proposed work.
- R2.6. Comment satisfied.
- R1.7. All borings shall extend ten feet beyond the travel lanes for unimproved roads (speed limits of 40 mph or less). Please add dimension callouts for this distance to the plans in detail to ensure compliance with 43 TAC §21.40(a)(4)(E)(iv).
- R2.7. Comment satisfied.
- R1.8. No recording information was provided for the rights-of-way. It is the applicant's responsibility to confirm the rights-of-way widths and obtain appropriate permits from all applicable jurisdictions (including existing easements).

Bleyl Engineering has conducted this review on behalf of Walker County, and this review is subject to further comments upon receipt of additional information requested above. Bleyl Engineering and Walker County do not accept any responsibility for the design or accuracy of the construction drawings. All construction shall meet the regulations adopted by Walker County. This letter is not intended to propose specific alterations to the construction drawings or waive the applicant's responsibility to comply with applicable laws, regulations, and orders.

Sincerely,

Steffanie M. DeLoss, P.E., CFM
Sr. Engineering Manager
Bleyl Engineering

E:\300 UIR Trident - Wood Farm Rd, Pct 3\R2\Out\251203 UIR Trident - Wood Farm Rd, Pct 3.docx

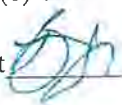


**General Special Provisions
Walker County Utility Installation Request**

1. Effective Period of Permit Approval. All approvals are void if installation does not begin within 3 months from the date of approval.
2. ALL UTILITY INSTALLATIONS SHALL CONFORM WITH THE STANDARDS DESCRIBED IN TITLE 43, PART 1, CHAPTER 21, SUBCHAPTER C, OF THE TEXAS ADMINISTRATIVE CODE (UTILITY ACCOMODATIONS)
3. A FINAL AS-BUILT SET OF PLANS SHALL BE SUBMITTED AND CERTIFIED BY A PROFESSIONAL ENGINEER, INCLUDING A CERTIFICATION THAT THE INSTALLATION WAS COMPLETED IN CONFORMANCE AND COMPLIANCE WITH THE ABOVE DESCRIBED SECTIONS OF THE TEXAS ADMINISTRATIVE CODE AND TEXAS DEPARTMENT OF TRANSPORTATION MINIMUM SPECIFICATIONS. A statement must be included certifying that any pipe/casing installed is properly designed for the application and the installation meets the minimum standards for TxDOT and Title 43 of the Texas Administrative Code.
4. Minimum Depth of Cover. The minimum depth of cover for any underground utility line shall be as shown on the "Minimum Depth of Cover Table" for the TXDOT District or attached schematic whichever is deeper.
5. Locating Utilities. Applicant shall take all reasonable and necessary steps to locate existing utilities and address them in accordance with all state, local, and or federal requirements.
6. Aerial Electric Lines. Aerial electric power lines crossing over the highway shall be installed and maintained a minimum of twenty-two (22) feet above the surface of the traffic lanes. For electric power lines with greater than 50,000 volts, the clearance shall be increased in accordance with National Electric Safety Code as published in the National Bureau of Standards, Handbook 30.
7. Aerial Communication Lines. Aerial communication lines crossing over the highway shall be installed and maintained a minimum of eighteen (18) feet above the surface of the traffic lanes.
8. Open Trenching or Boring Operations for Utility Work. To insure that disturbed areas are restored and revegetated properly and in a reasonable period as the utility work progresses, the following requirements shall apply:

Unless otherwise approved or directed by Walker County, the length of "active utility work" shall not exceed one mile in length. "Active utility work" shall be defined as the total disturbed area measured from the beginning of open trenching to the point where backfill has been compacted, the right of way has been restored to its original line and grade, any structures damaged by the utility work have been repaired, erosion control measures have been placed and are being properly maintained, approved topsoil seed and compost has been placed uniformly, and watering for revegetation has begun. "Active utility work" also includes areas of bore pits and receiving pits; however, it does not include the underground boring length. When any area of "active utility work" is substantially complete (i.e., watering of seeded areas has begun), that area is no longer considered to be "active utility work", and "active utility work" can proceed further within the right of way as long as it does not exceed the above appropriate limits. Areas where Walker County determines that the "active utility work" is substantially complete does not mean that Walker County considers that area totally acceptable and complete.

9. Backfill, Erosion Control, and Re-vegetation. All excavations within the right-of-way (ROW) and not under pavement shall be backfilled by tamping in six (6) inch horizontal layers to the density of the surrounding



**General Special Provisions
Walker County Utility Installation Request**

soil or as directed by the Walker County. All surplus material shall be removed and the ROW shall be reshaped to its original condition or better. This work shall be done in accordance with Item 164 of the Texas Department of Transportation (TxDOT) "Standard Specifications for Construction and Maintenance of Highways, Streets, and Bridges." Erosion control measures such as soil retention blankets, rock berms, and silt fences shall be installed and maintained until permanent perennial vegetation is established over 70% of the disturbed area. The amount of revegetation is considered acceptable when it resembles the amount of existing vegetation in the surrounding undisturbed area. **If erosion control and/or storm water run-off requirements of other State, Federal, or Local Jurisdictions exceed these requirements then the more stringent requirements would prevail.**

8. Boring and Jacking. Boring and jacking of utility lines shall be provided as specified below.
- a. Under Paved County Roads. Utility lines to be constructed under an existing paved (asphalt pavement or concrete pavement) county road shall be installed by boring and jacking with casing.
 - b. Under Paved Driveways. Utility lines to be constructed under existing paved (asphalt pavement or concrete pavement) driveways shall be installed by boring and jacking methods, unless the utility company furnishes Walker County with a "Letter of No Objection" signed by the driveway owner to allow open cutting of their driveway.
 - c. Under Unpaved County Roads or Driveways. Utility lines to be constructed under an existing unpaved county road or under existing unpaved driveways may be open cut only when approved in advance by Walker County, and after the driveway owner is notified. Any open cuts should be repaired and restored to a minimum of pre-cut conditions as quickly as possible so as not to impact road and/or driveway traffic. Applicant shall take all necessary precautions to insure safety as site of open cut.
 - d. Under Desirable Trees. To preserve the natural environment and protect wildlife habitat, boring may be required when underground utility lines are to be placed within the "protected root area" of "desirable trees" located within road ROW or on adjacent property. The "protected root area" is defined as the area between the tree trunk and five (5) feet from the tree trunk or 2/3 the actual distance from the tree trunk to the dripline, whichever is greater. "Desirable trees" include (but are not limited to) any tree with a trunk diameter of six (6) inches or more that Walker County or the Owner of the tree determines to be of environmental and aesthetic value. Boring under all "desirable trees" will be required with the following exceptions: (1) in areas where planned highway construction/maintenance work would require tree removal, or (2) when the Walker County approves of open trenching for the utility installation or removal of the tree.
9. Manhole Covers. All manhole covers shall be installed flush with the ground surface.
10. Traffic Control. Traffic control in utility work zones shall conform to applicable requirements of the "Texas Manual on Uniform Traffic Control Devices for Streets and Highways, Part VI". Adequate signs, barricades, flag personnel, etc. shall be erected and maintained in complete compliance with the Texas Manual on Uniform Traffic Control Devices. Any travel lane closures are only permitted after a traffic control plan is approved by Walker County prior to beginning any construction activities.
11. Sunday or Holiday Work. Sunday or Holiday work will not be permitted for the installation of any utility line unless directed or approved by Walker County.



**General Special Provisions
Walker County Utility Installation Request**

12. The approval of this utility installation request shall in no way be taken as a waiver or variance to any other existing local, state, or federal permits or requirements that may be required by the applicant.
13. Please note that Walker County will be making no verification through this process of the actual location of the public right of way as to width or location. The responsibility to locate the bounds of any public right of way that your project will utilize is the responsibility of your company. Walker County's approval of the request is not an agreement as to location of the public right of way, nor does it confer any easement, right of way, or property right for the project area.
14. Protection of Trees and Landscaping. Existing trees and landscaping within the ROW shall be protected as specified below. Removal of trees from the ROW will require prior Walker County approval.
- a. Tree Pruning. All tree pruning within the ROW will require prior TxDOT approval. All oak trees that are damaged or pruned shall be treated with an approved tree wound dressing within 20 minutes of causing the damage or making the pruning cut.
- b. Landscaping. When existing landscaping is located near the proposed utility alignment, the utility contractor shall notify Walker County and the owner of the landscaping prior to the proposed utility installation. Walker County may require underground utilities to be installed by: (1) boring under such landscaping or (2) by replacement of specific landscape items. Landscaping is defined as, but not limited to, trees, shrubs, grass, irrigation lines, landscape pavers, sidewalks, and other ROW improvements.



To the Commissioner's Court of Walker County

Date 07/17/2025

Application is hereby made by Trident Intrastate Pipeline LLC
to place Natural Gas Pipeline

and/or perform the following described work _____ within the Right of Way of that Walker
County road known as Mann Road _____ at the following approximate coordinates
(lat/long) 30.748323, -95.349945

The exact location and extent of the proposed work shall be as shown on the attached
specifications and drawings.

We will construct and maintain the line on the road right of way as shown on the attached drawing and in accordance with the rules, regulations and policies of Walker County, the Texas Department of Transportation (TXDOT), and all governing laws, including, but not limited to, the "Texas Engineering Practice Act," "Federal Clean Water Act," the "National Endangered Species Act," "Americans with Disabilities Act," and the "Federal Historic Preservation Act." Upon request by Walker County, we will submit to Walker County proof of compliance with all governing laws, rules and regulations before commencement of construction. Plans shall include the design, proposed location, vertical elevations, and horizontal alignments of the facility based on the department's survey datum, the relationship to existing highway facilities and the right of way line, traffic safety and access procedures, and location of existing utilities that may be affected by the proposed utility facility. The location and description of the proposed line and appurtenances is more fully shown by a complete set of drawings attached to this Utility Installation Request. We will give plans to Walker County for each future proposed modification or expansion to our facility and all Walker County to review and approve submittals prior to commencement of the work.

A new request may be required as a condition of approval.

Our organization will use Best Management Practices to minimize erosion and sedimentation resulting from the proposed installation, and we will re-vegetate the project area as indicated under "Re-vegetation Special Provisions."

Our organization will ensure that traffic control measures complying with applicable portions of the *Texas Manual on Uniform Traffic Control Devices* will be installed and maintained for the duration of this installation.

When installing our utility on controlled access facilities, we shall conform to the Texas Transportation Code, Title 6 Roadways, Chapter 203, Subchapter C, Control of Access, §203.031. We shall limit access for servicing this installation to access via (a) frontage roads where provided, (b) nearby or adjacent public roads or streets, (c) trails along or near the highway right of way lines, connecting only to an intersecting road; from any one or all of which entry may be made to the outer portion of the highway right of way for normal service and maintenance operations. Our rights of access to the through traffic roadways and ramps shall be subject to the same rules and regulations that apply to the general public.

It is expressly understood that Walker County does not purport, hereby, to grant any right, claim, title or easement in or upon this road; and it is further understood that Walker County may require us to relocate this line and any associated infrastructure, at the total expense of the applicant/utility owner, by giving thirty (30) days written notice prior to the date that the relocation shall be completed. We understand that a new Request will be required for the relocation.

We will notify Walker County prior to commencement of any routine or periodic maintenance which requires pruning of trees within the highway right of way, so that Walker County may provide specifications for the extent and methods to govern in, but not limited to, trimming, topping, tree balance, type of cuts, painting cuts and clean up.

Our installation shall not damage any part of the roadway structure or associated appurtenances and we will make adequate provisions to minimize inconveniences to the traveling public, and adjacent property owners. In the event we fail to comply with any or all of the requirements as set forth herein, the County may take such action as it deems appropriate to compel our compliance.

Following approval, we will begin construction on or after January 2, 2026 (month/day/yr)

Additional Provisions and Requirements (for TxDOT input only)

General Special Provisions:

- ☒ Are attached
☐ Are not attached

As-built Plans/Certifications of Construction:

- ☐ Are required and shall be certified as accurate by an authorized representative of the company.
☒ Are required and shall be signed and sealed by a State of Texas Licensed Professional Engineer.
☒ Certification that utility was installed as approved
☐ Are not required

Re-vegetation Special Provisions: In order to minimize erosion and sedimentation resulting from the proposed installation, the project area will be re-vegetated:

- ☒ In accordance with TxDOT's Standard Specification Item 164 which specifies the appropriate grass seed mix to be used, or:
☐ as indicated on the attachment.

The Precinct Commissioner or his/her representative is to be notified 48 hours prior to beginning construction.

If approved, we understand that we will assume all risks associated with this installation within the Walker County right of way. These risks include, but are not limited to, injuries to our workers, damage to contiguous utility lines that may be in the area, injuries or damage resulting from our failure to properly install and maintain the line as shown on plans.

We understand Walker County may place additional provisions and requirements as listed above, based upon, but not limited to, the type of utility being installed, local site conditions, soil types and traffic.

We acknowledge that this Utility Installation Request approval expires on the 91st calendar day from the date of issuance, unless otherwise approved, if we do not begin our installation by this date. If we do not begin our installation within this time frame and still wish to continue, we will resubmit our request in accordance with the prevailing governing laws, rules, regulations and policies at the time of resubmission.

By signing as/for the requestor below, I certify that I am authorized to represent the requestor, that I agree to the provisions and requirements included in this Utility Installation Request, and our commencement of construction will further attest to our review and acceptance of said additional provisions and requirements

Requestor:

Date: 8/20/05

By: Brittany Stolte

Signature: *Brittany Stolte*

Title: Land and ROW Manager and Attorney-in-Fact

Address: [REDACTED]

Telephone: [REDACTED]

Approved By:

Date: _____

By: _____

Signature: _____

Title: _____

Address: _____

Telephone: _____

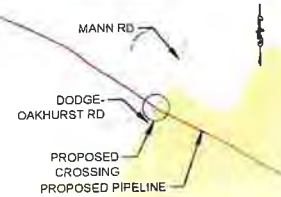
WALKER COUNTY, TEXAS

LEGEND

R/W RIGHT OF WAY
FM FARM TO MARKET
MIN MINIMUM
CLR CLEARANCE
EXISTING PIPELINE
POWER LINE
FENCE
PROPERTY LINE
POWER POLE

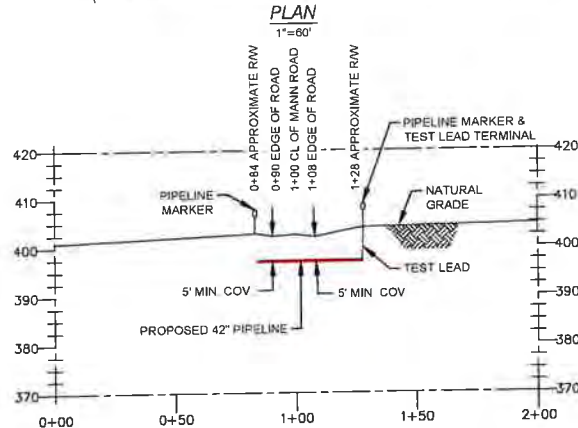
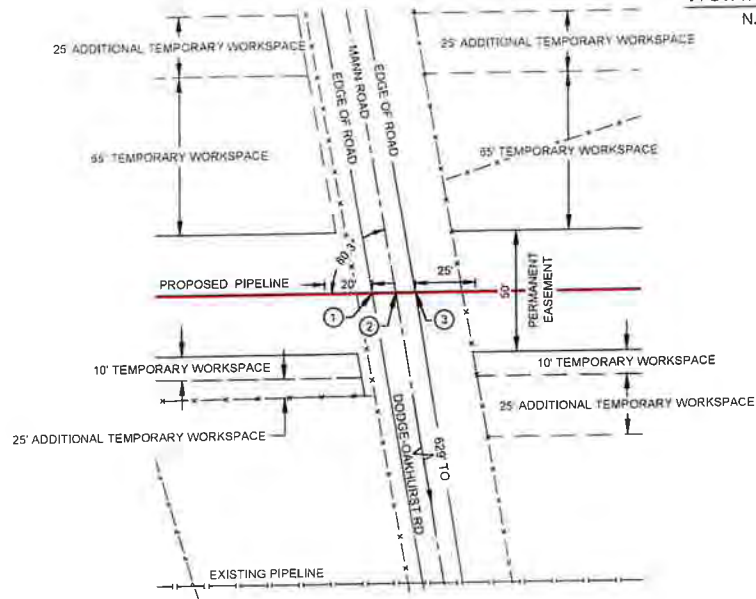
LOCATION COORDINATES

1 X= 3861432.67
Y= 10270956.68
2 X= 3861440.58
Y= 10270951.00
3 X= 3861447.29
Y= 10270946.14



VICINITY MAP

N.T.S.



CROSSING LENGTH - 44' (APPROX R/W TO APPROX R/W)

PROFILE

1"=60' H
1"=30' V



NOTE:

- DATUM BASED ON NAD83 TEXAS STATE PLANE, CENTRAL ZONE, U.S. FOOT
- EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS GENERATED FROM PREVIOUS MAPS AND SURVEY. CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES IN AREA OF WORK PRIOR TO CONSTRUCTION AND CALL TEXAS ONE CALL SYSTEM AT 1-800-245-4545 AND ALL OTHER UTILITY COMPANIES AT LEAST 2 WORKING DAYS (48 HOURS) PRIOR TO CONSTRUCTION.
- ALL MINIMUM DEPTH REQUIREMENTS MEASURED AT THE TOP OF PIPE OR CASING.
- CROSSING PIPE TO EXTEND AT A MINIMUM FROM EDGE OF R/W TO EDGE OF R/W.
- CROSSING PIPE TO MAINTAIN 2' MIN. CLR. FROM EXISTING UTILITIES/PIPELINES.

CROSSING PIPE SPECIFICATIONS

CONTENTS: NATURAL GAS
CODE 49 CFR PART 192.111/ASME B31.8
CLASS LOCATION: 1
DESIGN FACTOR: 0.60
PIPE: 42"Ø, 0.720" W.T., SAW API 5L X70, PSL2 E=1
CASING: NOT APPLICABLE
COATING: 14-16 MILS FBE, 30-40 MILS APO
M.A.O.P.: 1,440 PSIG
PIPELINE CATHODICALLY PROTECTED
METHOD OF INSTALLATION: BORE



10 - DEC - 2025

NO.	DATE	REVISION	BY	CHK	APPR	APPR	APPR
B	12/09/25	ISSUED FOR PERMIT	VLG	JW	GLC		
A	11/03/25	ISSUED FOR PERMIT	VLG	JW	GLC		

KINDER MORGAN



DRAWING ISSUES	CONSTRUCTION	LAST	DATE	REV.
BIDS	LAST	DATE		
APPROVAL	LAST	DATE		
INFORMATION	LAST	DATE		
ISSUED FOR:	SIGNATURE	DATE		
DRAWN:	VLG	DATE:	05/01/25	
CHECKED:	JW	DATE:	05/01/25	
ENGINEER:		DATE:		
TRC:		DATE:		
CLIENT:		DATE:		
CLIENTS:		DATE:		

ROAD CROSSING PERMIT

TRIDENT PIPELINE
MANN ROAD
WALKER COUNTY, TEXAS

SCALE	PROJECT NO	DRAWING NO	SHEET	REV
AS SHOWN	630450	630450-34WA-007	1 OF 1	B

05-Nov-2025 : 10:02 AM

VARIANCE REQUEST

OF WALKER COUNTY, TEXAS

Copy all pages of this form and all attachments for (1) community official, (2) building owner.
If any section is not applicable to the proposed development project please mark that section "NA"

SECTION A – PROPERTY INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Name Trident Intrastate Pipeline LLC		Application Number:
A2. Property Owner's Street Address [REDACTED]		Date of Submittal:
City [REDACTED]	State [REDACTED]	ZIP Code [REDACTED]
A3. Property Owner's Email Address [REDACTED]	A4. Property Owner's Telephone Number [REDACTED]	
A5. Property Description of Parent Tract (Lot and Block Numbers, Legal Description, etc.) Mann Road Pipeline Crossing location 30.748323 -95.349945		
SECTION B – INFORMATION FOR PROPOSED SUBDIVISION TRACT (For projects involving multiple map panels an additional sheet may be listed below or included in an additional attachment)		
B1. Survey and Abstract N/A	B2. Tax ID Number(s) of Parent Tract N/A	B3. Deed Volume/Page N/A
B4. Existing or Proposed Name of Subdivision N/A	B5. Is the application for a division of a lot in an Existing Platted Subdivision? (Yes/No) N/A	
THE ABOVE NAMED APPLICANT DOES HEREBY MAKE AN APPEAL TO THE COMMISSIONER'S COURT OF WALKER COUNTY FOR A VARIANCE TO THE REGULATORY REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF WALKER COUNTY, TEXAS.		
SECTION C – LIST OF ATTACHMENTS Please list any supporting documents or submittals included with the variance request as attachments.		
Description of Attachment(s)		Exhibit #
C.1 630450-34WA-007 MANN ROAD PLAN AND PROFILE DRAWING		1
C.2		
C.3		
C.4		

SECTION D –VARIANCE REQUEST

(All Variance requests need to include the specific variance along with the Section(s) of the Regulation to which they apply)

- D.1 A Variance is requested to Section(s) 43 TAC §21.37(b)(4) of the Subdivision Regulations of Walker County, Texas as follows:

We request a variance to allow our pipeline to cross Mann Road at 80.3°.

SECTION E – APPLICANT'S JUSTIFICATION AND PRESENTATION FACTORS EFFECTING VARIANCE

(All variance requests to the Walker County Subdivision Regulations need to be included along with the Section(s) of the Regulation to which they apply)

- E.1 Is the variance related to the design or construction of improvements to be constructed within the subdivision?
Yes _____ No X _____

If "Yes" the request should be accompanied by an engineer's opinion and justification for the variance.

- E.2 Please explain the cause or reason the variance is being requested (attach additional pages as "Exhibit E.2"):

The proposed alignment for our pipeline parallels existing utilities and installing a 90° crossing would cause additional utilities congestion in the area.

- E.3 Will the failure to grant the variance requested result in any exceptional hardship to the applicant?

Yes X _____ No _____

If yes please explain below:

- E.4 Does the applicant propose any additional conditions, mitigation, or additional requirements not addressed within the Walker County Subdivision Regulations that will or have been met by the applicant as a condition of the variance being granted?

Yes _____ No _____ Please list the additional measures below.

SECTION F –VARIANCE(S) GRANTED

F.1 A VARIANCE TO THE WALKER COUNTY SUBDIVISION REGULATIONS IS GRANTED AS FOLLOWS:

F.2 THE FOLLOWING CONDITIONS ARE ATTACHED TO THE VARIANCE:

SECTION G - NOTICE, ACKNOWLEDGEMENT, AND CERTIFICATIONS

NOTICE

ALL DEVELOPMENT MUST BE IN STRICT COMPLIANCE WITH THE CONDITIONS STATED HEREIN AND ANY OTHER CONDITIONS STATED WITHIN THE APPLICATION OR DURING THE PRESENTATION TO COMMISSIONERS COURT. ANY VARIATION MAY RESULT IN THE IMMEDIATE SUSPENSION OR CANCELLATION OF THIS VARIANCE. VIOLATION OF THE CONDITIONS OF THIS VARIANCE MAY ALSO RESULT IN THE COMMISSIONERS COURT SEEKING INJUNCTIVE RELIEF, CIVIL, OR CRIMINAL PENALTIES.

WARNING

THE APPLICANT ACKNOWLEDGES THAT HE/SHE IS RESPONSIBLE TO ENSURE THAT ANY VARIANCE DOES NOT DAMAGE OR THREATEN THE PUBLIC OR ADJACENT PROPERTIES AND COMPLIES WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

DISCLAIMER

THE COMMISSIONER'S COURT OF WALKER COUNTY AND ANY OFFICER OR EMPLOYEE OF WALKER COUNTY ARE **NOT** LIABLE FOR DAMAGES OR LOSS RESULTING FROM THE GRANTING OF THIS VARIANCE. THIS VARIANCE IS GRANTED IN RELIANCE UPON THE STATEMENTS AND EVIDENCE SUPPLIED BY THE APPLICANT AND HIS/HER AGENTS IN THE APPLICATION AND PRESENTATION TO COMMISSIONERS COURT.

I, Gonzalo Cabrera, do hereby acknowledge that I have reviewed the provisions, notices, warnings and disclaimers stated above and that I understand them, agree with them and intend to fully comply with them.

Signature of Owner/Applicant

Gonzalo L. Cabrera

Digitally signed by Gonzalo L. Cabrera
DN: C=US, E=gonicab2024@gmail.com, CN=Gonzalo
L. Cabrera
Reason: I am the author of this document
Date: 2025.12.16 17:20:51-05'00'

Date

12/16/2025

SECTION H – ACTION ON VARIANCE BY COMMISSIONER'S COURT

After careful consideration of the reason(s) for the request of variance, the Commissioner's Court of Walker County, Texas has determined that it is within the scope of the variance procedures as outlined in the Walker County Subdivision Regulations to _____ this request for variance.

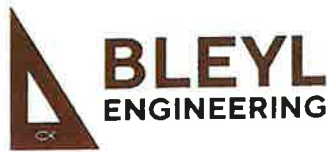
Commissioner's Court Signature

Printed Name

Date

Signature of Owner/Applicant acknowledging conditions after court action.

Date



(2025) 441-7833
(936) 441-7833

December 3, 2025

Mr. Andrew Isbell
Walker County Planning & Development
1313 University Avenue
Huntsville, TX 77340

Re: Review No. 2
Trident Natural Gas Pipeline Installation Application – Mann Road (90500-305)
Walker County

Mr. Isbell:

Bleyl Engineering reviewed the application submitted on behalf of Trident Intrastate Pipeline, LLC, for the installation of the natural gas pipeline related to Mann Road, and we offer the comments below. Please note that comments prefaced with an "R2" are issued for this review, which follows the related, previously issued comment.

- Calculation per Table 1 in Title 49 CFR §192.113.
- R2.1. Comment remains. A "Pipe Class," as referenced in Table 1 of Title 49 CFR §192.113, is not on the plans.
- R2.2. Include the engineer's firm number on all submittals, including calculations, per Board Rules §137.33(n) & §137.77(n).
- R2.3. Comment satisfied.
- R2.4. Provide a traffic control plan that applies to the project roadway. The plan must be signed and sealed in accordance with Board Rules §137.33 & §137.77(n).
- R2.5. Comment satisfied.
- R2.6. Show existing utilities, including existing pipelines, in the vicinity of all proposed work.
- R2.7. Comment satisfied.
- R2.8. All borings shall extend ten feet beyond the casing diameter and be sealed with a minimum of 47 inches of grout. Please add dimensions and grout material to the boring detail in the plans, in accordance with 49 TAC §21.40(c)(4)(E)(iv).
- R2.9. Comment satisfied.
- R2.10. No recording information was provided for the rights-of-way; it is the applicant's responsibility to confirm the rights-of-way widths and obtain approval/easements from all applicable jurisdictions/property owners before installation.
- R2.11. Comment satisfied.

Bleyl Engineering has conducted this review on behalf of Walker County, and this review is subject to further comments upon receipt of additional information requested above. Bleyl Engineering and Walker County do not accept any responsibility for the design or accuracy of the construction drawings. All construction shall meet the regulations adopted by Walker County. This letter is not intended to propose specific alterations

bleylengineering.com

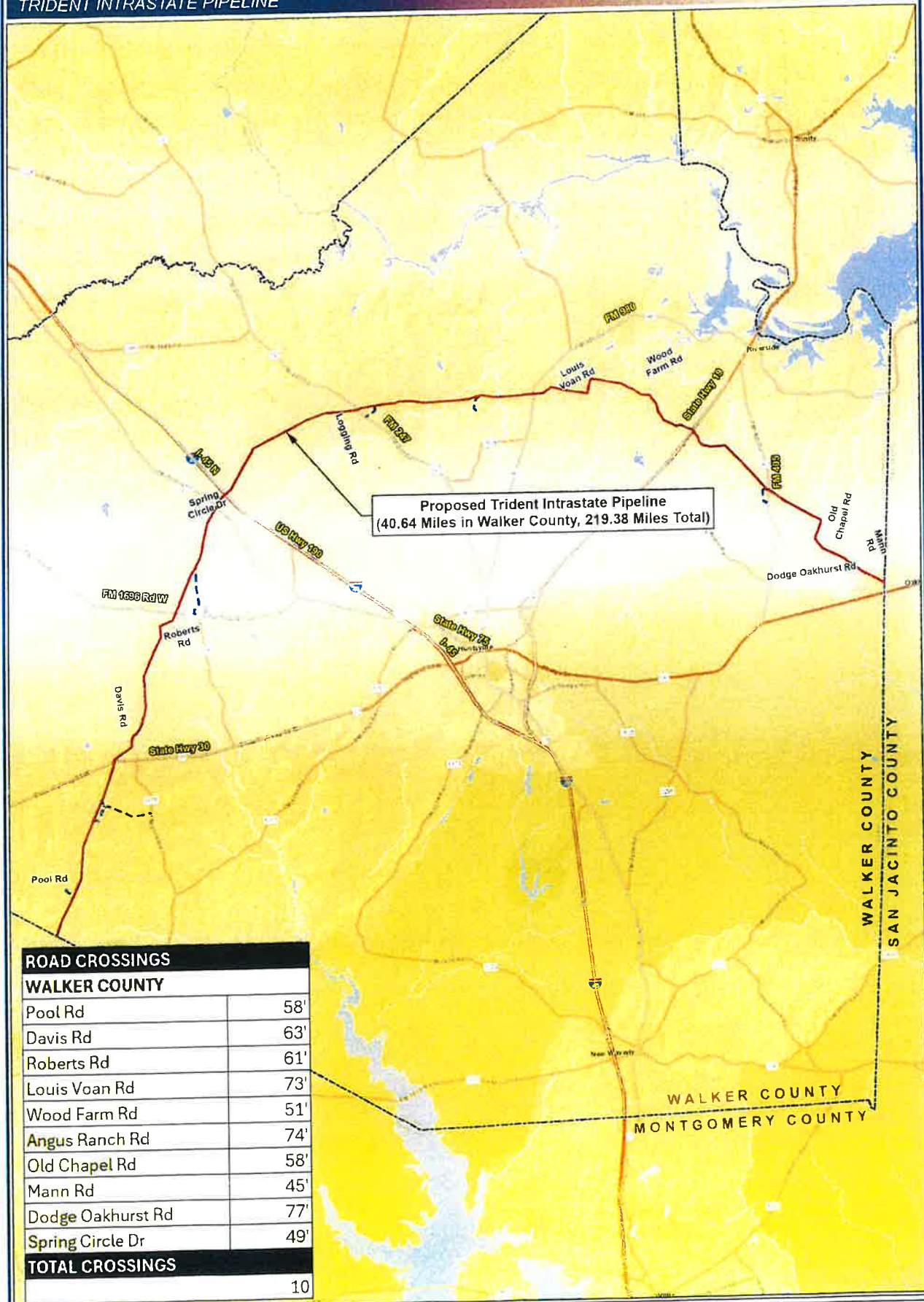
Advancing stronger, safer communities across Texas since 1997.

to the construction drawings or waive the applicant's responsibility to comply with applicable laws, regulations, and orders.

Sincerely,

Steffanie M. DeLoss, P.E., CFM
Sr. Engineering Manager
Bleyl Engineering

E:\305 UIR Trident - Mann Rd, Pct 3\R2\Out\251203 UIR Trident - Mann Rd, Pct 3.docx



ROAD CROSSINGS

WALKER COUNTY

Pool Rd	58'
Davis Rd	63'
Roberts Rd	61'
Louis Voan Rd	73'
Wood Farm Rd	51'
Angus Ranch Rd	74'
Old Chapel Rd	58'
Mann Rd	45'
Dodge Oakhurst Rd	77'
Spring Circle Dr	49'

TOTAL CROSSINGS

10

VICINITY MAP



LEGEND

- - - Access Roads
- Trident Intrastate Pipeline
- County Boundary



KINDER MORGAN

Date: 10/21/2014 SHEET: 100 of 100

**General Special Provisions
Walker County Utility Installation Request**

1. Effective Period of Permit Approval. All approvals are void if installation does not begin within 3 months from the date of approval.
2. ALL UTILITY INSTALLATIONS SHALL CONFORM WITH THE STANDARDS DESCRIBED IN TITLE 43, PART 1, CHAPTER 21, SUBCHAPTER C, OF THE TEXAS ADMINISTRATIVE CODE (UTILITY ACCOMODATIONS)
3. A FINAL AS-BUILT SET OF PLANS SHALL BE SUBMITTED AND CERTIFIED BY A PROFESSIONAL ENGINEER, INCLUDING A CERTIFICATION THAT THE INSTALLATION WAS COMPLETED IN CONFORMANCE AND COMPLIANCE WITH THE ABOVE DESCRIBED SECTIONS OF THE TEXAS ADMINISTRATIVE CODE AND TEXAS DEPARTMENT OF TRANSPORTATION MINIMUM SPECIFICATIONS. A statement must be included certifying that any pipe/casing installed is properly designed for the application and the installation meets the minimum standards for TxDOT and Title 43 of the Texas Administrative Code.
4. Minimum Depth of Cover. The minimum depth of cover for any underground utility line shall be as shown on the "Minimum Depth of Cover Table" for the TXDOT District or attached schematic whichever is deeper.
5. Locating Utilities. Applicant shall take all reasonable and necessary steps to locate existing utilities and address them in accordance with all state, local, and or federal requirements.
6. Aerial Electric Lines. Aerial electric power lines crossing over the highway shall be installed and maintained a minimum of twenty-two (22) feet above the surface of the traffic lanes. For electric power lines with greater than 50,000 volts, the clearance shall be increased in accordance with National Electric Safety Code as published in the National Bureau of Standards, Handbook 30.
7. Aerial Communication Lines. Aerial communication lines crossing over the highway shall be installed and maintained a minimum of eighteen (18) feet above the surface of the traffic lanes.
8. Open Trenching or Boring Operations for Utility Work. To insure that disturbed areas are restored and revegetated properly and in a reasonable period as the utility work progresses, the following requirements shall apply:

Unless otherwise approved or directed by Walker County, the length of "active utility work" shall not exceed one mile in length. "Active utility work" shall be defined as the total disturbed area measured from the beginning of open trenching to the point where backfill has been compacted, the right of way has been restored to its original line and grade, any structures damaged by the utility work have been repaired, erosion control measures have been placed and are being properly maintained, approved topsoil seed and compost has been placed uniformly, and watering for revegetation has begun. "Active utility work" also includes areas of bore pits and receiving pits; however, it does not include the underground boring length. When any area of "active utility work" is substantially complete (i.e., watering of seeded areas has begun), that area is no longer considered to be "active utility work", and "active utility work" can proceed further within the right of way as long as it does not exceed the above appropriate limits. Areas where Walker County determines that the "active utility work" is substantially complete does not mean that Walker County considers that area totally acceptable and complete.

9. Backfill, Erosion Control, and Re-vegetation. All excavations within the right-of-way (ROW) and not under pavement shall be backfilled by tamping in six (6) inch horizontal layers to the density of the surrounding



**General Special Provisions
Walker County Utility Installation Request**

soil or as directed by the Walker County. All surplus material shall be removed and the ROW shall be reshaped to its original condition or better. This work shall be done in accordance with Item 164 of the Texas Department of Transportation (TxDOT) "Standard Specifications for Construction and Maintenance of Highways, Streets, and Bridges." Erosion control measures such as soil retention blankets, rock berms, and silt fences shall be installed and maintained until permanent perennial vegetation is established over 70% of the disturbed area. The amount of revegetation is considered acceptable when it resembles the amount of existing vegetation in the surrounding undisturbed area. **If erosion control and/or storm water run-off requirements of other State, Federal, or Local Jurisdictions exceed these requirements then the more stringent requirements would prevail.**

8. **Boring and Jacking.** Boring and jacking of utility lines shall be provided as specified below.
- a. **Under Paved County Roads.** Utility lines to be constructed under an existing paved (asphalt pavement or concrete pavement) county road shall be installed by boring and jacking with casing.
 - b. **Under Paved Driveways.** Utility lines to be constructed under existing paved (asphalt pavement or concrete pavement) driveways shall be installed by boring and jacking methods, unless the utility company furnishes Walker County with a "Letter of No Objection" signed by the driveway owner to allow open cutting of their driveway.
 - c. **Under Unpaved County Roads or Driveways.** Utility lines to be constructed under an existing unpaved county road or under existing unpaved driveways may be open cut only when approved in advance by Walker County, and after the driveway owner is notified. Any open cuts should be repaired and restored to a minimum of pre-cut conditions as quickly as possible so as not to impact road and/or driveway traffic. Applicant shall take all necessary precautions to insure safety as site of open cut.
 - d. **Under Desirable Trees.** To preserve the natural environment and protect wildlife habitat, boring may be required when underground utility lines are to be placed within the "protected root area" of "desirable trees" located within road ROW or on adjacent property. The "protected root area" is defined as the area between the tree trunk and five (5) feet from the tree trunk or 2/3 the actual distance from the tree trunk to the dripline, whichever is greater. "Desirable trees" include (but are not limited to) any tree with a trunk diameter of six (6) inches or more that Walker County or the Owner of the tree determines to be of environmental and aesthetic value. Boring under all "desirable trees" will be required with the following exceptions: (1) in areas where planned highway construction/maintenance work would require tree removal, or (2) when the Walker County approves of open trenching for the utility installation or removal of the tree.
9. **Manhole Covers.** All manhole covers shall be installed flush with the ground surface.
10. **Traffic Control.** Traffic control in utility work zones shall conform to applicable requirements of the "Texas Manual on Uniform Traffic Control Devices for Streets and Highways, Part VI". Adequate signs, barricades, flag personnel, etc. shall be erected and maintained in complete compliance with the Texas Manual on Uniform Traffic Control Devices. Any travel lane closures are only permitted after a traffic control plan is approved by Walker County prior to beginning any construction activities.
11. **Sunday or Holiday Work.** Sunday or Holiday work will not be permitted for the installation of any utility line unless directed or approved by Walker County.



**General Special Provisions
Walker County Utility Installation Request**

12. The approval of this utility installation request shall in no way be taken as a waiver or variance to any other existing local, state, or federal permits or requirements that may be required by the applicant.
13. Please note that Walker County will be making no verification through this process of the actual location of the public right of way as to width or location. The responsibility to locate the bounds of any public right of way that your project will utilize is the responsibility of your company. Walker County's approval of the request is not an agreement as to location of the public right of way, nor does it confer any easement, right of way, or property right for the project area.
14. Protection of Trees and Landscaping. Existing trees and landscaping within the ROW shall be protected as specified below. Removal of trees from the ROW will require prior Walker County approval.
- a. Tree Pruning. All tree pruning within the ROW will require prior TxDOT approval. All oak trees that are damaged or pruned shall be treated with an approved tree wound dressing within 20 minutes of causing the damage or making the pruning cut.
- b. Landscaping. When existing landscaping is located near the proposed utility alignment, the utility contractor shall notify Walker County and the owner of the landscaping prior to the proposed utility installation. Walker County may require underground utilities to be installed by: (1) boring under such landscaping or (2) by replacement of specific landscape items. Landscaping is defined as, but not limited to, trees, shrubs, grass, irrigation lines, landscape pavers, sidewalks, and other ROW improvements.



LEGEND		Channelizing Devices
Sign	3' High x 24"	Sign Mounting
Heavy Work Vehicle	48" x 24"	Alternating (TMA)
Trailer Mounted	48" x 24"	Portable Changeable Message Sign (PCMS)
Sign	48" x 24"	Sign
Flag	48" x 24"	Flag

Speed Limit	Device	Device Length	Device Spacing	Minimum Sign Spacing	Minimum Sign Spacing	Minimum Sign Spacing
30	W2	100	120	30	60	120
35	W2	145	165	35	70	140
40	W2	185	210	40	80	160

* Conventional Roads Only
 ** Taper lengths have been rounded off
 L = Length of taper (ft) S = Posted Speed (mph)

TYPICAL USAGE		LONG TERM
MOBILE	STATIONARY	STATIONARY
✓	✓	✓

GENERAL NOTES

1. All traffic control signs and devices shall be maintained in accordance with the Manual of Uniform Traffic Control Devices (MUTCD).
2. All traffic control signs and devices shall be maintained in accordance with the Manual of Uniform Traffic Control Devices (MUTCD).
3. Inactive work vehicles or other equipment should be placed near the work area.
4. Nighttime work shall be performed in accordance with the Manual of Uniform Traffic Control Devices (MUTCD).
5. Additional Shadow Vehicles with TMAs may be posted along the road surface rear to those shown in order to protect wider work spaces.
6. Shadow Vehicle (S-V) shall be used in accordance with the Manual of Uniform Traffic Control Devices (MUTCD).
7. Shadow Vehicle (S-V) may be used in place of CW20-10 signs for shoulder work on conventional roads.

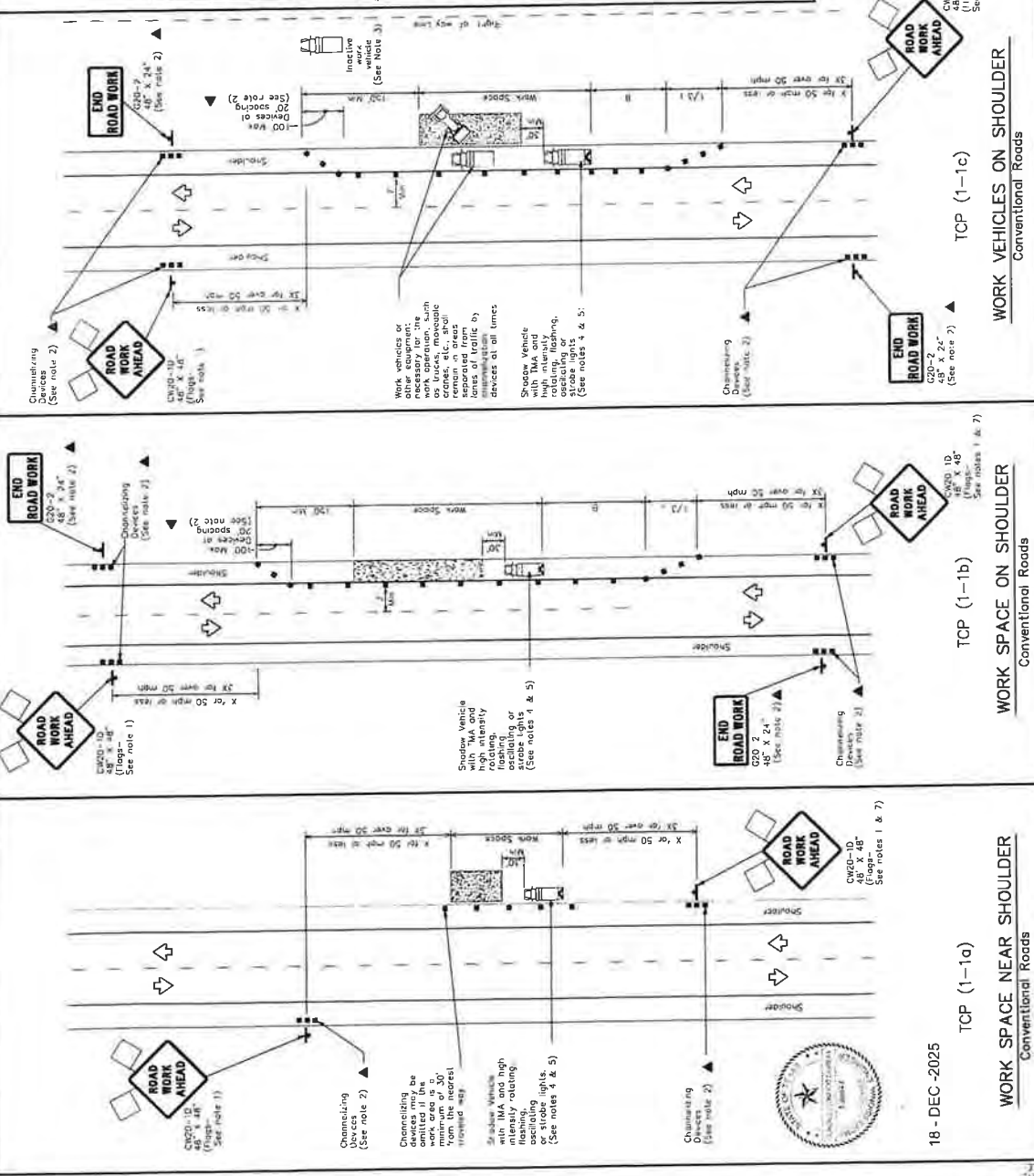


TRIDENT PIPELINE PROJECT

TRAFFIC CONTROL PLAN

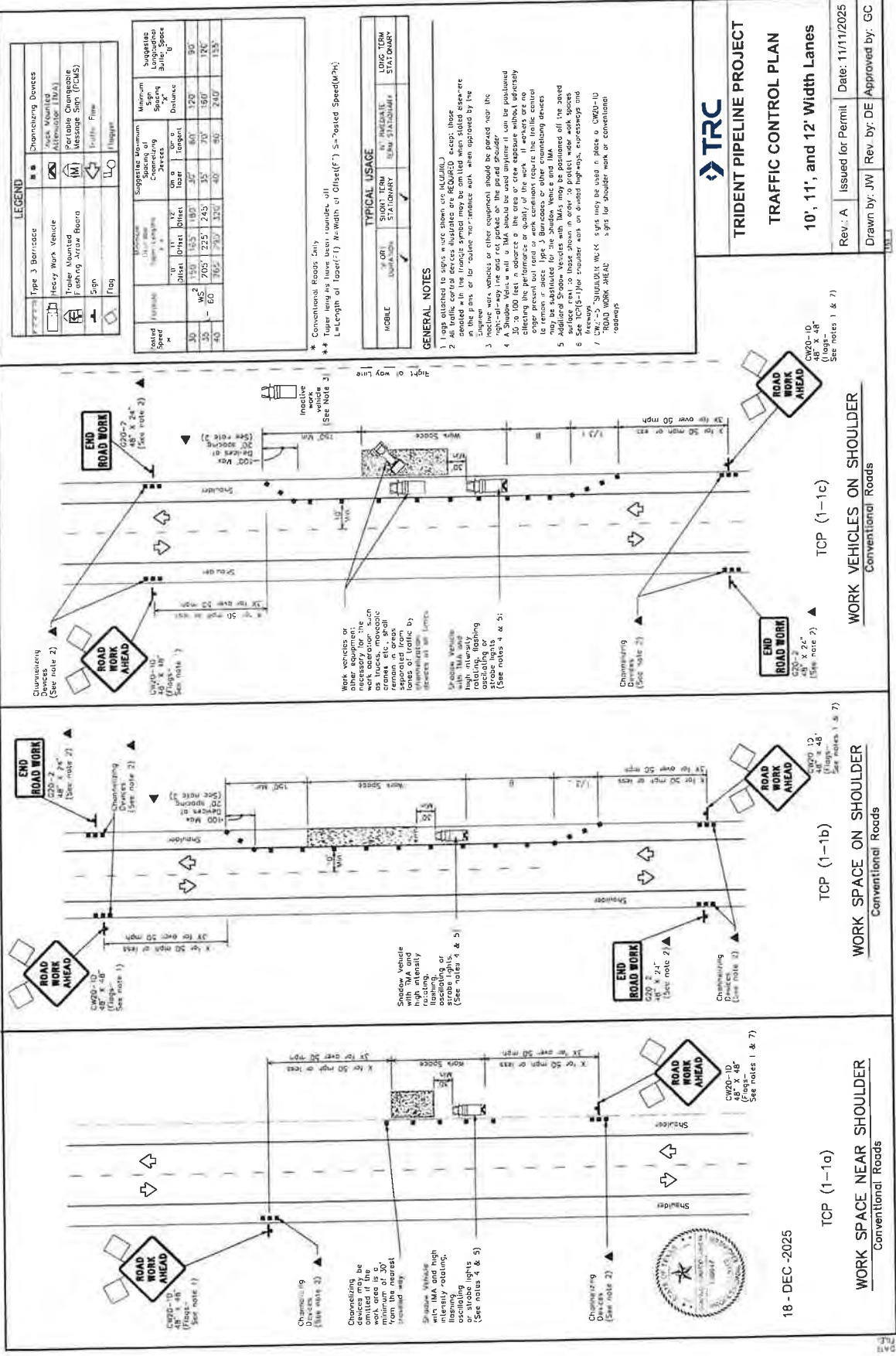
7' 8", and 9' Width lanes

Rev. A	Issued for Permit	Date: 11/11/2025
Drawn by: JW	Rev. by: DE	Approved by: GC



18 - DEC -2025

DATE



LEGEND

Symbol	Description
[Symbol]	Type 3 Barricade
[Symbol]	Heavy Work Vehicle
[Symbol]	Trailer Mounted Attenuator (TMA)
[Symbol]	Variable Changeable Message Sign (VCMS)
[Symbol]	Working Area Board
[Symbol]	Sign
[Symbol]	Flag
[Symbol]	Flagger

Vehicle	Maximum Speed (mph)	Maximum Spacing (ft)	Maximum Spacing (ft) at 100 mph	Maximum Spacing (ft) at 120 mph	Maximum Spacing (ft) at 140 mph	Maximum Spacing (ft) at 160 mph	Maximum Spacing (ft) at 180 mph	Maximum Spacing (ft) at 200 mph
10' 11"	100	100	100	100	100	100	100	100
12'	120	120	120	120	120	120	120	120
14'	140	140	140	140	140	140	140	140
16'	160	160	160	160	160	160	160	160
18'	180	180	180	180	180	180	180	180
20'	200	200	200	200	200	200	200	200

TYPICAL USAGE

ACB/E	STATION	STATION	STATION	STATION	STATION	STATION	STATION	STATION	STATION

GENERAL NOTES

1. All signs must be shown in the diagram.
2. All traffic control devices are required except those noted otherwise.
3. Inactive work vehicles or other equipment should be placed near the work area.
4. A Shovel Vane with a TMA should be used anytime it can be positioned in the work area.
5. A Shovel Vane with a TMA should be used anytime it can be positioned in the work area.
6. A Shovel Vane with a TMA should be used anytime it can be positioned in the work area.
7. A Shovel Vane with a TMA should be used anytime it can be positioned in the work area.
8. A Shovel Vane with a TMA should be used anytime it can be positioned in the work area.
9. A Shovel Vane with a TMA should be used anytime it can be positioned in the work area.
10. A Shovel Vane with a TMA should be used anytime it can be positioned in the work area.



TRIDENT PIPELINE PROJECT
TRAFFIC CONTROL PLAN
10', 11', and 12' Width Lanes

Rev: A	Issued for Permit	Date: 11/11/2025
Drawn by: JW	Rev. by: DE	Approved by: GC

18 - DEC -2025



To the Commissioner's Court of Walker County

Date 07/17/2025

Application is hereby made by Trident Intrastate Pipeline LLC
to place Natural Gas Pipeline

and/or perform the following described work _____ within the Right of Way of that Walker County road known as Dodge Oakhurst Road at the following approximate coordinates (lat/long) 30.747004, -95.347368.

The exact location and extent of the proposed work shall be as shown on the attached specifications and drawings.

We will construct and maintain the line on the road right of way as shown on the attached drawing and in accordance with the rules, regulations and policies of Walker County, the Texas Department of Transportation (TXDOT), and all governing laws, including, but not limited to, the "Texas Engineering Practice Act," "Federal Clean Water Act," the "National Endangered Species Act," "Americans with Disabilities Act," and the "Federal Historic Preservation Act." Upon request by Walker County, we will submit to Walker County proof of compliance with all governing laws, rules and regulations before commencement of construction. Plans shall include the design, proposed location, vertical elevations, and horizontal alignments of the facility based on the department's survey datum, the relationship to existing highway facilities and the right of way line, traffic safety and access procedures, and location of existing utilities that may be affected by the proposed utility facility. The location and description of the proposed line and appurtenances is more fully shown by a complete set of drawings attached to this Utility Installation Request. We will give plans to Walker County for each future proposed modification or expansion to our facility and all Walker County to review and approve submittals prior to commencement of the work.

A new request may be required as a condition of approval.

Our organization will use Best Management Practices to minimize erosion and sedimentation resulting from the proposed installation, and we will re-vegetate the project area as indicated under "Re-vegetation Special Provisions."

Our organization will ensure that traffic control measures complying with applicable portions of the *Texas Manual on Uniform Traffic Control Devices* will be installed and maintained for the duration of this installation.

When installing our utility on controlled access facilities, we shall conform to the Texas Transportation Code, Title 6 Roadways, Chapter 203, Subchapter C, Control of Access, §203.031. We shall limit access for servicing this installation to access via (a) frontage roads where provided, (b) nearby or adjacent public roads or streets, (c) trails along or near the highway right of way lines, connecting only to an intersecting road, from any one or all of which entry may be made to the outer portion of the highway right of way for normal service and maintenance operations. Our rights of access to the through traffic roadways and ramps shall be subject to the same rules and regulations that apply to the general public.

It is expressly understood that Walker County does not purport, hereby, to grant any right, claim, title or easement in or upon this road; and it is further understood that Walker County may require us to relocate this line and any associated infrastructure, at the total expense of the applicant/utility owner, by giving thirty (30) days written notice prior to the date that the relocation shall be completed. We understand that a new Request will be required for the relocation.

We will notify Walker County prior to commencement of any routine or periodic maintenance which requires pruning of trees within the highway right of way, so that Walker County may provide specifications for the extent and methods to govern in, but not limited to, trimming, topping, tree balance, type of cuts, painting cuts and clean up.

Our installation shall not damage any part of the roadway structure or associated appurtenances and we will make adequate provisions to minimize inconveniences to the traveling public, and adjacent property owners. In the event we fail to comply with any or all of the requirements as set forth herein, the County may take such action as it deems appropriate to compel our compliance.

Following approval, we will begin construction on or after January 2, 2026 (month/day/yr)

Additional Provisions and Requirements (for TxDOT input only)

General Special Provisions:

- ☒ Are attached.
☐ Are not attached

As-built Plans/Certifications of Construction:

- ☐ Are required and shall be certified as accurate by an authorized representative of the company.
☒ Are required and shall be signed and sealed by a State of Texas Licensed Professional Engineer.
☒ Certification that utility was installed as approved
☐ Are not required

Re-vegetation Special Provisions: In order to minimize erosion and sedimentation resulting from the proposed installation, the project area will be re-vegetated:

- ☒ In accordance with TxDOT's Standard Specification Item 164 which specifies the appropriate grass seed mix to be used, or:
☐ as indicated on the attachment.

The Precinct Commissioner or his/her representative is to be notified 48 hours prior to beginning construction.

If approved, we understand that we will assume all risks associated with this installation within the Walker County right of way. These risks include, but are not limited to, injuries to our workers, damage to contiguous utility lines that may be in the area, injuries or damage resulting from our failure to properly install and maintain the line as shown on plans.

We understand Walker County may place additional provisions and requirements as listed above, based upon, but not limited to, the type of utility being installed, local site conditions, soil types and traffic.

We acknowledge that this Utility Installation Request approval expires on the 91st calendar day from the date of issuance, unless otherwise approved, if we do not begin our installation by this date. If we do not begin our installation within this time frame and still wish to continue, we will resubmit our request in accordance with the prevailing governing laws, rules, regulations and policies at the time of resubmission.

By signing as/for the requestor below, I certify that I am authorized to represent the requestor, that I agree to the provisions and requirements included in this Utility Installation Request, and our commencement of construction will further attest to our review and acceptance of said additional provisions and requirements

Requestor:

Date: 8/00/05

By: Brittany Stolte

Signature: 

Title: Land and ROW Manager and Attorney-in-Fact

Address: 



Telephone: 

Approved By

Date: _____

By: _____

Signature: _____

Title: _____

Address: _____

Telephone: _____

WALKER COUNTY, TEXAS

LEGEND

R/W	RIGHT OF WAY
FM	FARM TO MARKET
MIN	MINIMUM
CLR	CLEARANCE
---	EXISTING PIPELINE
---	POWER LINE
---	FENCE
---	PROPERTY LINE
●	POWER POLE

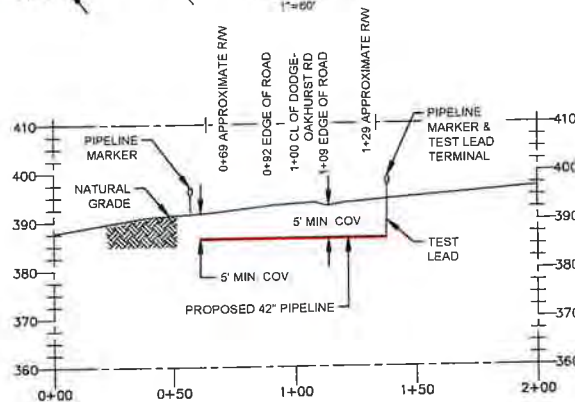
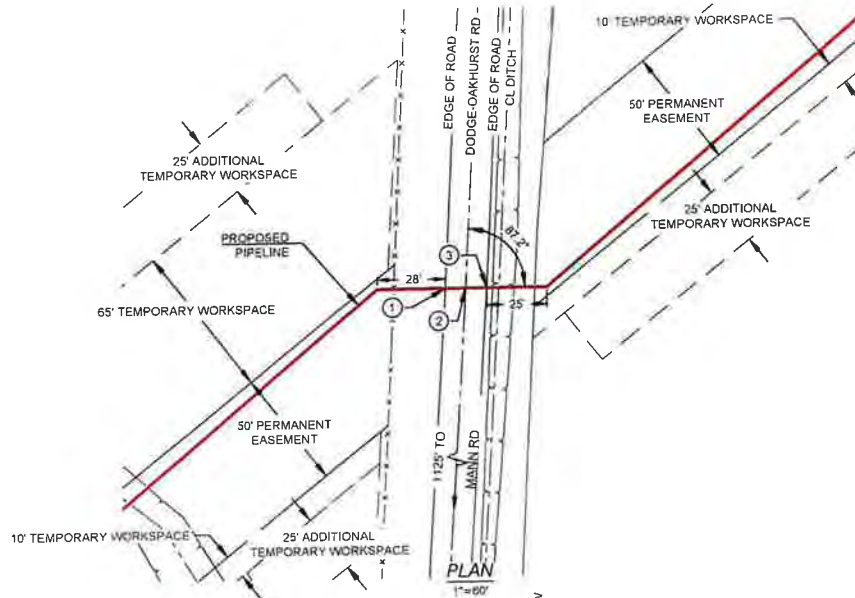
LOCATION COORDINATES

1 X= 3852261.71
Y= 10270518.13
2 X= 3852265.22
Y= 10270510.47
3 X= 3852268.82
Y= 10270502.64



VICINITY MAP

N.T.S.



CROSSING LENGTH - 60' (APPROX. R/W TO APPROX. R/W)

PROFILE

1"=60' H
1"=30' V



NOTE:

- DATUM BASED ON NAD83 TEXAS STATE PLANE, CENTRAL ZONE, U.S. FOOT
- EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS GENERATED FROM PREVIOUS MAPS AND SURVEY. CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES IN AREA OF WORK PRIOR TO CONSTRUCTION AND CALL TEXAS ONE CALL SYSTEM AT 1-800-245-4545 AND ALL OTHER UTILITY COMPANIES AT LEAST 2 WORKING DAYS (48 HOURS) PRIOR TO CONSTRUCTION.
- ALL MINIMUM DEPTH REQUIREMENTS MEASURED AT THE TOP OF PIPE OR CASING.
- CROSSING PIPE TO EXTEND AT A MINIMUM FROM EDGE OF R/W TO EDGE OF R/W.
- CROSSING PIPE TO MAINTAIN 2' MIN. CLR. FROM EXISTING UTILITIES/PIPELINES.

CROSSING PIPE SPECIFICATIONS

CONTENTS: NATURAL GAS
CODE: 49 CFR PART 192.111/ASME B31.8
CLASS LOCATION: 1
DESIGN FACTOR: 0.60
PIPE: 42" O.D. 0.720" W.L. SAW, API 5L X70, PS12, E=1
CASING: NOT APPLICABLE
COATING: 14-16 MILS FBE, 30-40 MILS ARO
M.A.O.P.: 1,440 PSIG
PIPELINE CATHODICALLY PROTECTED
METHOD OF INSTALLATION: BORE



18 - DEC - 2025

NO.	DATE	REVISION	BY	CHK	APPR	APPR
C	12/18/25	ISSUED FOR PERMIT	VLG	JW	GLC	
B	12/09/25	ISSUED FOR PERMIT	VLG	JW	GLC	
A	11/03/25	ISSUED FOR PERMIT	VLG	JW	GLC	

KINDER MORGAN



DRAWING
ISSUES

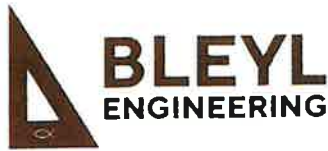
CONSTRUCTION	LAST	DATE
BIDS	LAST	DATE
APPROVAL	LAST	DATE
INFORMATION	LAST	DATE
ISSUED FOR:	SIGNATURE	DATE
DRAWN:	VLG	DATE: 05/01/25
CHECKED:	JW	DATE: 05/01/25
ENGINEER:		DATE:
TRC		DATE:
CLIENT:		DATE:
CLIENT:		DATE:

ROAD CROSSING PERMIT

TRIDENT PIPELINE
DODGE-OAKHURST ROAD
WALKER COUNTY, TEXAS

SCALE	PROJECT NO.	DRAWING NO.	SHEET	REV.
AS SHOWN	630450	630450-34WA-008	1 OF 1	C

18-Dec-2025 : 1:57 PM



10010 S.W. 11th
Suite 100
(936) 441-7833

December 3, 2025

Mr. Andrew Isbell
Walker County Planning & Development
1313 University Avenue
Huntsville, TX 77340

Re: Review No. 2
Trident Natural Gas Pipeline Installation Application – Dodge Oakhurst Road (90500-303)
Walker County

Mr. Isbell:

Bleyl Engineering reviewed the application submitted on behalf of Trident Intrastate Pipeline, LLC, for the installation of the natural gas pipeline related to Dodge Oakhurst Road, and we offer the following comments:

- R1.2. Provide the "Pipe Class" used for determining allowable joint factor in Pipe Stress Buckling Calculations per Table 1 in Title 49 CFR §192.113.
- R2.2. Comment remains. A "Pipe Class," as referenced in Table 1 of Title 49 CFR §192.113, is not on the plans.
- R1.3. New utility facilities crossing the highway shall be installed at approximately 90 degrees to the centerline of the highway (43 TAC §21.37(b)(4)).
- R2.3. Comment remains. You may submit a variance request for the Commissioners Court's consideration regarding any crossings that are not approximately 90 degrees to the centerline of the roadway.
- R1.4. Include the engineer's firm number on all related sheets, including calculations, per Board Rules §137.33(n) & §137.77(h).
- R2.4. Comment satisfied.
- R1.5. For traffic control plan call for a minimum of 100' ahead of the roadway has been reached. Provide a traffic control plan that applies to the subject roadway. Traffic control plans should be signed and sealed in accordance with Board Rules §137.33 & §137.77(n).
- R2.5. Comment satisfied.
- R1.6. Show existing utilities including existing pipelines in the vicinity of the proposed work.
- R2.6. Comment satisfied.
- R1.7. All borings shall extend ten feet beyond the travel lanes for uncurbed roads (speed limits of 40 mph or less). Please add dimension callouts for this distance to the crossing detail to ensure compliance with 43 TAC §21.40(a)(4)(E)(iv).
- R2.7. Comment satisfied.
- R1.8. No recording information was provided for the rights-of-way. It is the applicant's responsibility to confirm the rights-of-way widths and obtain approval/easements from all applicable jurisdictions/property owners before installation.
- R2.8. Comment satisfied.

bleylengineering.com

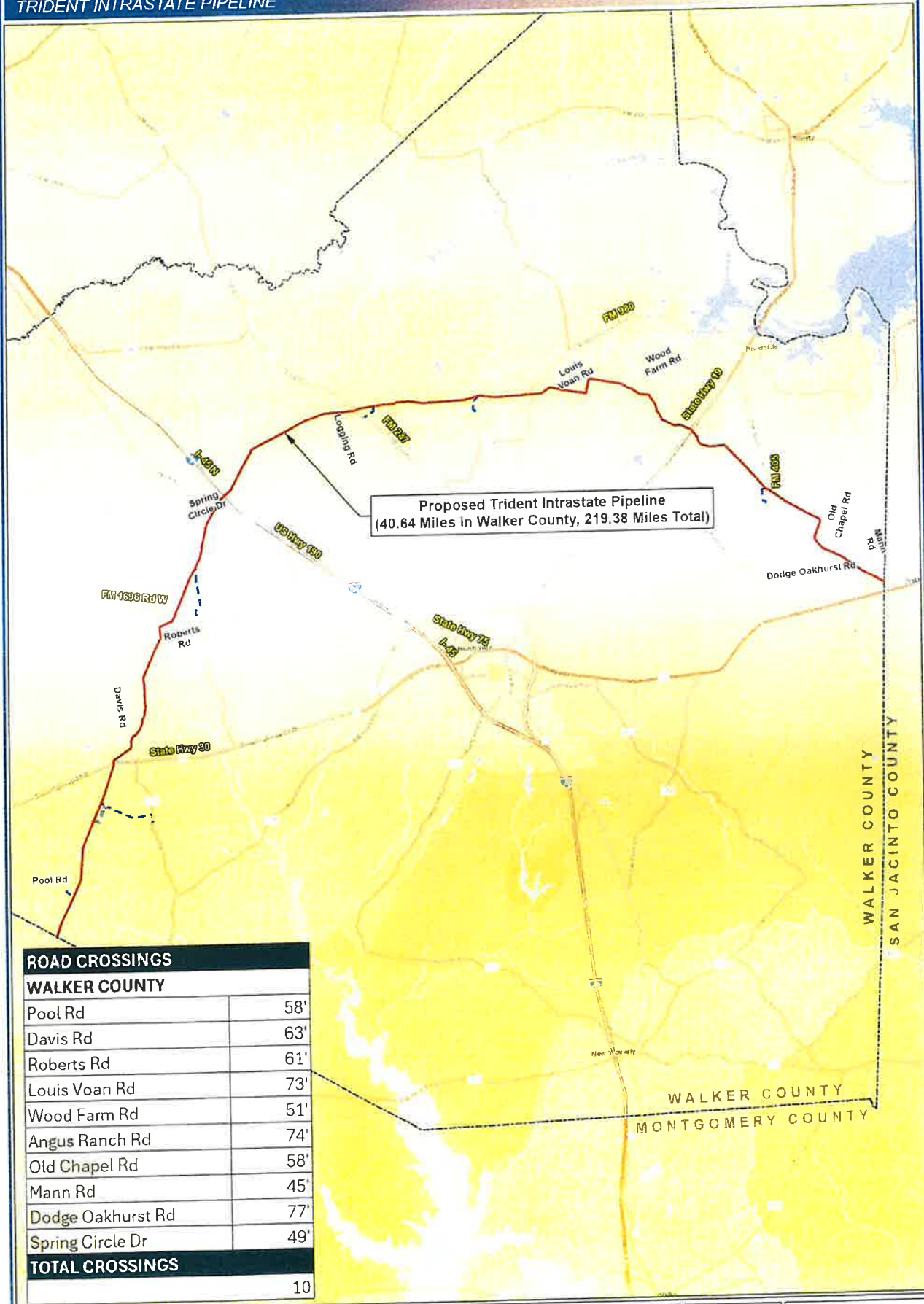
Advancing stronger, safer communities across Texas since 1997.

Bleyl Engineering has conducted this review on behalf of Walker County, and this review is subject to further comments upon receipt of additional information requested above. Bleyl Engineering and Walker County do not accept any responsibility for the design or accuracy of the construction drawings. All construction shall meet the regulations adopted by Walker County. This letter is not intended to propose specific alterations to the construction drawings or waive the applicant's responsibility to comply with applicable laws, regulations, and orders.

Sincerely,

Steffanie M. DeLoss, P.E., CFM
Sr. Engineering Manager
Bleyl Engineering

E:\303 UIR Trident - Dodge Oakhurst Rd, Pct 3\2\Out\251203 UIR Trident - Dodge Oakhurst Rd, Pct 3.docx



VICINITY MAP



LEGEND

- Access Roads
- Trident Intrastate Pipeline
- County Boundary



KINDER MORGAN

Scale: 1 inch = 10 miles

**General Special Provisions
Walker County Utility Installation Request**

1. Effective Period of Permit Approval. All approvals are void if installation does not begin within 3 months from the date of approval.
2. ALL UTILITY INSTALLATIONS SHALL CONFORM WITH THE STANDARDS DESCRIBED IN TITLE 43, PART 1, CHAPTER 21, SUBCHAPTER C, OF THE TEXAS ADMINISTRATIVE CODE (UTILITY ACCOMODATIONS)
3. A FINAL AS-BUILT SET OF PLANS SHALL BE SUBMITTED AND CERTIFIED BY A PROFESSIONAL ENGINEER, INCLUDING A CERTIFICATION THAT THE INSTALLATION WAS COMPLETED IN CONFORMANCE AND COMPLIANCE WITH THE ABOVE DESCRIBED SECTIONS OF THE TEXAS ADMINISTRATIVE CODE AND TEXAS DEPARTMENT OF TRANSPORTATION MINIMUM SPECIFICATIONS. A statement must be included certifying that any pipe/casing installed is properly designed for the application and the installation meets the minimum standards for TxDOT and Title 43 of the Texas Administrative Code.
4. Minimum Depth of Cover. The minimum depth of cover for any underground utility line shall be as shown on the "Minimum Depth of Cover Table" for the TXDOT District or attached schematic whichever is deeper.
5. Locating Utilities. Applicant shall take all reasonable and necessary steps to locate existing utilities and address them in accordance with all state, local, and or federal requirements.
6. Aerial Electric Lines. Aerial electric power lines crossing over the highway shall be installed and maintained a minimum of twenty-two (22) feet above the surface of the traffic lanes. For electric power lines with greater than 50,000 volts, the clearance shall be increased in accordance with National Electric Safety Code as published in the National Bureau of Standards, Handbook 30.
7. Aerial Communication Lines. Aerial communication lines crossing over the highway shall be installed and maintained a minimum of eighteen (18) feet above the surface of the traffic lanes.
8. Open Trenching or Boring Operations for Utility Work. To insure that disturbed areas are restored and revegetated properly and in a reasonable period as the utility work progresses, the following requirements shall apply:

Unless otherwise approved or directed by Walker County, the length of "active utility work" shall not exceed one mile in length. "Active utility work" shall be defined as the total disturbed area measured from the beginning of open trenching to the point where backfill has been compacted, the right of way has been restored to its original line and grade, any structures damaged by the utility work have been repaired, erosion control measures have been placed and are being properly maintained, approved topsoil seed and compost has been placed uniformly, and watering for revegetation has begun. "Active utility work" also includes areas of bore pits and receiving pits; however, it does not include the underground boring length. When any area of "active utility work" is substantially complete (i.e., watering of seeded areas has begun), that area is no longer considered to be "active utility work", and "active utility work" can proceed further within the right of way as long as it does not exceed the above appropriate limits. Areas where Walker County determines that the "active utility work" is substantially complete does not mean that Walker County considers that area totally acceptable and complete.

9. Backfill, Erosion Control, and Re-vegetation. All excavations within the right-of-way (ROW) and not under pavement shall be backfilled by tamping in six (6) inch horizontal layers to the density of the surrounding



General Special Provisions
Walker County Utility Installation Request

soil or as directed by the Walker County. All surplus material shall be removed and the ROW shall be reshaped to its original condition or better. This work shall be done in accordance with Item 164 of the Texas Department of Transportation (TxDOT) "Standard Specifications for Construction and Maintenance of Highways, Streets, and Bridges." Erosion control measures such as soil retention blankets, rock berms, and silt fences shall be installed and maintained until permanent perennial vegetation is established over 70% of the disturbed area. The amount of revegetation is considered acceptable when it resembles the amount of existing vegetation in the surrounding undisturbed area. **If erosion control and/or storm water run-off requirements of other State, Federal, or Local Jurisdictions exceed these requirements then the more stringent requirements would prevail.**

8. Boring and Jacking. Boring and jacking of utility lines shall be provided as specified below.
- a. Under Paved County Roads. Utility lines to be constructed under an existing paved (asphalt pavement or concrete pavement) county road shall be installed by boring and jacking with casing.
 - b. Under Paved Driveways. Utility lines to be constructed under existing paved (asphalt pavement or concrete pavement) driveways shall be installed by boring and jacking methods, unless the utility company furnishes Walker County with a "Letter of No Objection" signed by the driveway owner to allow open cutting of their driveway.
 - c. Under Unpaved County Roads or Driveways. Utility lines to be constructed under an existing unpaved county road or under existing unpaved driveways may be open cut only when approved in advance by Walker County, and after the driveway owner is notified. Any open cuts should be repaired and restored to a minimum of pre-cut conditions as quickly as possible so as not to impact road and/or driveway traffic. Applicant shall take all necessary precautions to insure safety as site of open cut.
 - d. Under Desirable Trees. To preserve the natural environment and protect wildlife habitat, boring may be required when underground utility lines are to be placed within the "protected root area" of "desirable trees" located within road ROW or on adjacent property. The "protected root area" is defined as the area between the tree trunk and five (5) feet from the tree trunk or 2/3 the actual distance from the tree trunk to the dripline, whichever is greater. "Desirable trees" include (but are not limited to) any tree with a trunk diameter of six (6) inches or more that Walker County or the Owner of the tree determines to be of environmental and aesthetic value. Boring under all "desirable trees" will be required with the following exceptions: (1) in areas where planned highway construction/maintenance work would require tree removal, or (2) when the Walker County approves of open trenching for the utility installation or removal of the tree.
9. Manhole Covers. All manhole covers shall be installed flush with the ground surface.
10. Traffic Control. Traffic control in utility work zones shall conform to applicable requirements of the "Texas Manual on Uniform Traffic Control Devices for Streets and Highways, Part VI". Adequate signs, barricades, flag personnel, etc. shall be erected and maintained in complete compliance with the Texas Manual on Uniform Traffic Control Devices. Any travel lane closures are only permitted after a traffic control plan is approved by Walker County prior to beginning any construction activities.
11. Sunday or Holiday Work. Sunday or Holiday work will not be permitted for the installation of any utility line unless directed or approved by Walker County.

General Special Provisions
Walker County Utility Installation Request

12. The approval of this utility installation request shall in no way be taken as a waiver or variance to any other existing local, state, or federal permits or requirements that may be required by the applicant
13. Please note that Walker County will be making no verification through this process of the actual location of the public right of way as to width or location. The responsibility to locate the bounds of any public right of way that your project will utilize is the responsibility of your company. Walker County's approval of the request is not an agreement as to location of the public right of way, nor does it confer any easement, right of way, or property right for the project area.
14. Protection of Trees and Landscaping. Existing trees and landscaping within the ROW shall be protected as specified below. Removal of trees from the ROW will require prior Walker County approval.
- a. Tree Pruning. All tree pruning within the ROW will require prior TxDOT approval. All oak trees that are damaged or pruned shall be treated with an approved tree wound dressing within 20 minutes of causing the damage or making the pruning cut.
- b. Landscaping. When existing landscaping is located near the proposed utility alignment, the utility contractor shall notify Walker County and the owner of the landscaping prior to the proposed utility installation. Walker County may require underground utilities to be installed by: (1) boring under such landscaping or (2) by replacement of specific landscape items. Landscaping is defined as, but not limited to, trees, shrubs, grass, irrigation lines, landscape pavers, sidewalks, and other ROW improvements.

DATE _____
PAGE _____

To the Commissioner's Court of Walker County

Date _____

Application is hereby made by Trident Intrastate Pipeline LLC
to place Natural Gas Pipeline

and/or perform the following described work _____ within the Right of Way of that Walker County road known as Angus Ranch Road at the following approximate coordinates (lat/long) 30.782401, -95.388783.

The exact location and extent of the proposed work shall be as shown on the attached specifications and drawings.

We will construct and maintain the line on the road right of way as shown on the attached drawing and in accordance with the rules, regulations and policies of Walker County, the Texas Department of Transportation (TXDOT), and all governing laws, including, but not limited to, the "Texas Engineering Practice Act," "Federal Clean Water Act," the "National Endangered Species Act," "Americans with Disabilities Act," and the "Federal Historic Preservation Act." Upon request by Walker County, we will submit to Walker County proof of compliance with all governing laws, rules and regulations before commencement of construction. Plans shall include the design, proposed location, vertical elevations, and horizontal alignments of the facility based on the department's survey datum, the relationship to existing highway facilities and the right of way line, traffic safety and access procedures, and location of existing utilities that may be affected by the proposed utility facility. The location and description of the proposed line and appurtenances is more fully shown by a complete set of drawings attached to this Utility Installation Request. We will give plans to Walker County for each future proposed modification or expansion to our facility and all Walker County to review and approve submittals prior to commencement of the work.

A new request may be required as a condition of approval.

Our organization will use Best Management Practices to minimize erosion and sedimentation resulting from the proposed installation, and we will re-vegetate the project area as indicated under "Re-vegetation Special Provisions."

Our organization will ensure that traffic control measures complying with applicable portions of the *Texas Manual on Uniform Traffic Control Devices* will be installed and maintained for the duration of this installation.

When installing our utility on controlled access facilities, we shall conform to the Texas Transportation Code, Title 6 Roadways, Chapter 203, Subchapter C, Control of Access, §203.031. We shall limit access for servicing this installation to access via (a) frontage roads where provided, (b) nearby or adjacent public roads or streets, (c) trails along or near the highway right of way lines, connecting only to an intersecting road; from any one or all of which entry may be made to the outer portion of the highway right of way for normal service and maintenance operations. Our rights of access to the through traffic roadways and ramps shall be subject to the same rules and regulations that apply to the general public.

It is expressly understood that Walker County does not purport, hereby, to grant any right, claim, title or easement in or upon this road; and it is further understood that Walker County may require us to relocate this line and any associated infrastructure, at the total expense of the applicant/utility owner, by giving thirty (30) days written notice prior to the date that the relocation shall be completed. We understand that a new Request will be required for the relocation.

We will notify Walker County prior to commencement of any routine or periodic maintenance which requires pruning of trees within the highway right of way, so that Walker County may provide specifications for the extent and methods to govern in, but not limited to, trimming, topping, tree balance, type of cuts, painting cuts and clean up.

Our installation shall not damage any part of the roadway structure or associated appurtenances and we will make adequate provisions to minimize inconveniences to the traveling public, and adjacent property owners. In the event we fail to comply with any or all of the requirements as set forth herein, the County may take such action as it deems appropriate to compel our compliance.

Following approval, we will begin construction on or after January 2, 2026 (month/day/yr)

Additional Provisions and Requirements (for TxDOT input only)

General Special Provisions:

- ☒ Are attached
☐ Are not attached

As-built Plans/Certifications of Construction:

- ☐ Are required and shall be certified as accurate by an authorized representative of the company.
☒ Are required and shall be signed and sealed by a State of Texas Licensed Professional Engineer.
☒ Certification that utility was installed as approved
☐ Are not required

Re-vegetation Special Provisions: In order to minimize erosion and sedimentation resulting from the proposed installation, the project area will be re-vegetated:

- ☒ In accordance with TxDOT's Standard Specification Item 164 which specifies the appropriate grass seed mix to be used, or:
☐ as indicated on the attachment.

The Precinct Commissioner or his/her representative is to be notified 48 hours prior to beginning construction.

If approved, we understand that we will assume all risks associated with this installation within the Walker County right of way. These risks include, but are not limited to, injuries to our workers, damage to contiguous utility lines that may be in the area, injuries or damage resulting from our failure to properly install and maintain the line as shown on plans.

We understand Walker County may place additional provisions and requirements as listed above, based upon, but not limited to, the type of utility being installed, local site conditions, soil types and traffic.

We acknowledge that this Utility Installation Request approval expires on the 91st calendar day from the date of issuance, unless otherwise approved, if we do not begin our installation by this date. If we do not begin our installation within this time frame and still wish to continue, we will resubmit our request in accordance with the prevailing governing laws, rules, regulations and policies at the time of resubmission.

By signing as/for the requestor below, I certify that I am authorized to represent the requestor, that I agree to the provisions and requirements included in this Utility Installation Request, and our commencement of construction will further attest to our review and acceptance of said additional provisions and requirements

Requestor:

Date:

9/20/25

Approved By:

Date:

By: Brittany Stolte

Signature:

Brittany Stolte

By:

Signature:

Title: Land and ROW Manager and Attorney-in-Fact

Title:

Address:

Address:

Telephone:

Telephone:

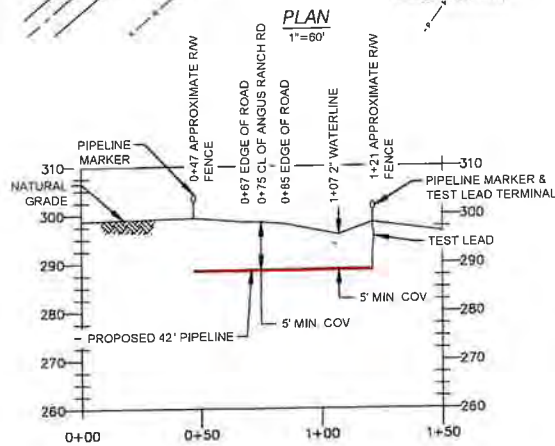
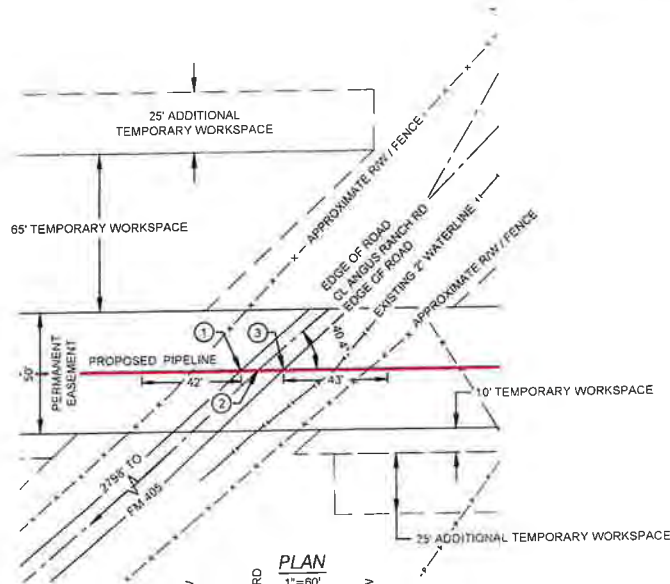
WALKER COUNTY, TEXAS

LEGEND

R/W RIGHT OF WAY
FM FARM TO MARKET
MIN MINIMUM
CLR CLEARANCE
EXISTING PIPELINE
POWER LINE
FENCE
PROPERTY LINE
POWER POLE

LOCATION COORDINATES

1. X= 3848693.14
Y= 10282796.06
2. X= 3848698.88
Y= 10282791.86
3. X= 3848707.32
Y= 10282785.66



10 - DEC - 2025

NOTE

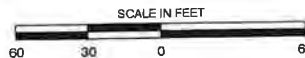
1. DATUM BASED ON NAD83 TEXAS STATE PLANE, CENTRAL ZONE, U.S. FOOT
2. EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS GENERATED FROM PREVIOUS MAPS AND SURVEY. CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES IN AREA OF WORK PRIOR TO CONSTRUCTION AND CALL TEXAS ONE CALL SYSTEM AT 1-800-245-4545 AND ALL OTHER UTILITY COMPANIES AT LEAST 2 WORKING DAYS (48 HOURS) PRIOR TO CONSTRUCTION.
3. ALL MINIMUM DEPTH REQUIREMENTS MEASURED AT THE TOP OF PIPE OR CASING.
4. CROSSING PIPE TO EXTEND AT A MINIMUM FROM EDGE OF RW TO EDGE OF RW.
5. CROSSING PIPE TO MAINTAIN 2' MIN. CLR. FROM EXISTING UTILITIES/PIPELINES.

PROFILE

1"=60' H
1"=30' V

CROSSING PIPE SPECIFICATIONS

CONTENTS: NATURAL GAS
CODE: 49 CFR PART 192.111/ASME B31.8
CLASS LOCATION: 1
DESIGN FACTOR: 0.60
PIPE: 42"Ø, 0.720" w.t., SAW API 5L X70 PS2, E=1
CASING: NOT APPLICABLE
COATING: 14-16 MILS FBE, 30-40 MILS ARO
M.A.O.P.: 1,440 PSIG
PIPELINE CATHODICALLY PROTECTED
METHOD OF INSTALLATION: BORE



NO.	DATE	REVISION	BY	CHK	APPR	APPR	APPR
B	12/09/25	ISSUED FOR PERMIT	VLG	JW	GLC		
A	11/03/25	ISSUED FOR PERMIT	VLG	JW	GLC		

KINDER MORGAN



DRAWING APPROVALS	CONSTRUCTION	LAST DATE	SIGNATURE	DATE	REV
BIDS	LAST DATE				
	LAST DATE				
APPROVAL	LAST DATE				
	LAST DATE				
INFORMATION	LAST DATE				
	LAST DATE				
ISSUED FOR:					
DRAWN:	MEH	DATE:	06/10/25		
CHECKED:	JRW	DATE:	06/10/25		
ENGINEER:		DATE:			
TRC:		DATE:			
CLIENT:		DATE:			
CLIENT:		DATE:			

ROAD CROSSING PERMIT

TRIDENT PIPELINE
ANGUS RANCH RD
WALKER COUNTY, TEXAS

SCALE	PROJECT NO	DRAWING NO	SHEET	REV
AS SHOWN	630450	630450-34WA-009	1 OF 1	B

05 - Nov - 2025 : 9:59 AM

VARIANCE REQUEST

OF WALKER COUNTY, TEXAS

Copy all pages of this form and all attachments for (1) community official, (2) building owner.
If any section is not applicable to the proposed development project please mark that section "NA"

SECTION A – PROPERTY INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Name Trident Intrastate Pipeline LLC		Application Number:
A2. Property Owner's Street Address 		Date of Submittal:
City	State	ZIP Code
A3. Property Owner's Email Address 	A4. Property Owner's Telephone Number 	
A5. Property Description of Parent Tract (Lot and Block Numbers, Legal Description, etc.) Angus Ranch Road Pipeline Crossing location 30.782406 -95.388778		
SECTION B – INFORMATION FOR PROPOSED SUBDIVISION TRACT (For projects involving multiple map panels an additional sheet may be listed below or included in an additional attachment)		
B1. Survey and Abstract N/A	B2. Tax ID Number(s) of Parent Tract N/A	B3. Deed Volume/Page N/A
B4. Existing or Proposed Name of Subdivision N/A	B5. Is the application for a division of a lot in an Existing Platted Subdivision? (Yes/No) N/A	
THE ABOVE NAMED APPLICANT DOES HEREBY MAKE AN APPEAL TO THE COMMISSIONER'S COURT OF WALKER COUNTY FOR A VARIANCE TO THE REGULATORY REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF WALKER COUNTY, TEXAS.		
SECTION C – LIST OF ATTACHMENTS Please list any supporting documents or submittals included with the variance request as attachments.		
Description of Attachment(s)		Exhibit #
C.1 630450-34WA-009 ANGUS RANCH ROAD PLAN AND PROFILE DRAWING		1
C.2		
C.3		
C.4		

SECTION D –VARIANCE REQUEST

(All Variance requests need to include the specific variance along with the Section(s) of the Regulation to which they apply)

- D.1 A Variance is requested to Section(s) Angus Ranch Road of the Subdivision Regulations of Walker County, Texas as follows:

We request a variance to allow our pipeline to cross Angus Ranch Rd at 40.4°.

SECTION E – APPLICANT'S JUSTIFICATION AND PRESENTATION FACTORS EFFECTING VARIANCE

(All variance requests to the Walker County Subdivision Regulations need to be included along with the Section(s) of the Regulation to which they apply)

- E.1 Is the variance related to the design or construction of improvements to be constructed within the subdivision?
Yes _____ No X _____

If "Yes" the request should be accompanied by an engineer's opinion and justification for the variance.

- E.2 Please explain the cause or reason the variance is being requested (attach additional pages as "Exhibit E.2"):

Crossing is located near end of the dirt road with minimal traffic. Alignment provided is most direct path.

- E.3 Will the failure to grant the variance requested result in any exceptional hardship to the applicant?

Yes X _____ No _____

If yes please explain below:

- E.4 Does the applicant propose any additional conditions, mitigation, or additional requirements not addressed within the Walker County Subdivision Regulations that will or have been met by the applicant as a condition of the variance being granted?

Yes _____ No _____ Please list the additional measures below.

SECTION F –VARIANCE(S) GRANTED

F.1 A VARIANCE TO THE WALKER COUNTY SUBDIVISION REGULATIONS IS GRANTED AS FOLLOWS

F.2 THE FOLLOWING CONDITIONS ARE ATTACHED TO THE VARIANCE

SECTION G - NOTICE, ACKNOWLEDGEMENT, AND CERTIFICATIONS

NOTICE

ALL DEVELOPMENT MUST BE IN STRICT COMPLIANCE WITH THE CONDITIONS STATED HEREIN AND ANY OTHER CONDITIONS STATED WITHIN THE APPLICATION OR DURING THE PRESENTATION TO COMMISSIONERS COURT. ANY VARIATION MAY RESULT IN THE IMMEDIATE SUSPENSION OR CANCELLATION OF THIS VARIANCE. VIOLATION OF THE CONDITIONS OF THIS VARIANCE MAY ALSO RESULT IN THE COMMISSIONERS COURT SEEKING INJUNCTIVE RELIEF, CIVIL, OR CRIMINAL PENALTIES.

WARNING

THE APPLICANT ACKNOWLEDGES THAT HE/SHE IS RESPONSIBLE TO ENSURE THAT ANY VARIANCE DOES NOT DAMAGE OR THREATEN THE PUBLIC OR ADJACENT PROPERTIES AND COMPLIES WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

DISCLAIMER

THE COMMISSIONER'S COURT OF WALKER COUNTY AND ANY OFFICER OR EMPLOYEE OF WALKER COUNTY ARE **NOT** LIABLE FOR DAMAGES OR LOSS RESULTING FROM THE GRANTING OF THIS VARIANCE. THIS VARIANCE IS GRANTED IN RELIANCE UPON THE STATEMENTS AND EVIDENCE SUPPLIED BY THE APPLICANT AND HIS/HER AGENTS IN THE APPLICATION AND PRESENTATION TO COMMISSIONERS COURT.

I, Gonzalo Cabrera, do hereby acknowledge that I have reviewed the provisions, notices, warnings and disclaimers stated above and that I understand them, agree with them and intend to fully comply with them.

Signature of Owner/Applicant

Gonzalo L. Cabrera

Digitally signed by Gonzalo L. Cabrera
DN: C=US, E=gonicab2024@gmail.com, CN=Gonzalo L. Cabrera
Reason: I am the author of this document
Date: 2025.12.17 17:28:01-05'00'

Date

12/17/2025

SECTION H – ACTION ON VARIANCE BY COMMISSIONER'S COURT

After careful consideration of the reason(s) for the request of variance, the Commissioner's Court of Walker County, Texas has determined that it is within the scope of the variance procedures as outlined in the Walker County Subdivision Regulations to _____ this request for variance.

Commissioner's Court Signature

Printed Name

Date

Signature of Owner/Applicant acknowledging conditions after court action.

Date



(936) 441-7833

December 3, 2025

Mr. Andrew Isbell
Walker County Planning & Development
1313 University Avenue
Huntsville, TX 77340

Re: Review No. 2
Trident Natural Gas Pipeline Installation Application – Angus Ranch Road (90500-301)
Walker County

Mr. Isbell:

Bleyl Engineering reviewed the application submitted on behalf of Trident Intrastate Pipeline, LLC, for the installation of the natural gas pipeline related to Angus Ranch Road, and we offer the comments below. Please note that comments prefaced with an "R2" are issued for this review, which follows the related, previously issued comment.

- R2.1. Comment satisfied.
- R1.2. Provide the "Pipe Class" used for determining equivalent joint factor in Pipe Joint Properties Calculations per Table 1 in Title 49 CFR §192.113.
- R2.2. Comment remains. A "Pipe Class," as referenced in Table 1 of Title 49 CFR §192.113, is not on the plans.
- R1.3. New utility facilities crossing the highway shall be installed at approximately 90 degrees to the centerline of the highway (43 TAC §21.37(b)(4)).
- R2.3. Comment remains. You may submit a variance request for the Commissioners Court's consideration regarding any crossings that are not approximately 90 degrees to the centerline of the roadway.
- R1.4. Include the engineer's firm number on all sealed sheets, including calculations, per Board Rules §137.32(c) & §137.77(h).
- R2.4. Comment satisfied.
- R1.5. The traffic control plan calls for a minimum of 10' lanes, but the roadway has lanes less than 10'. Provide a traffic control plan that applies to the subject roadway. Traffic control plans should be signed and sealed in accordance with Board Rules §137.33 & §137.77(h).
- R2.5. Comment satisfied.
- R1.6. Show existing utilities, including existing pipelines, in the vicinity of the proposed work.
- R2.6. Comment satisfied.
- R1.7. All borings shall extend ten feet beyond the travel lanes for uncurbed roads (speed limits of 40 mph or less). Please add dimension callouts for this distance to the crossroad detail to ensure compliance with 43 TAC §21.40(a)(4)/(E)(iv).
- R2.7. Comment satisfied.
- R1.8. No recording information was provided for the rights-of-way. It is the applicant's responsibility to confirm the rights-of-way widths and obtain special assessments from all applicable jurisdictional property owners before installation.

bleylengineering.com

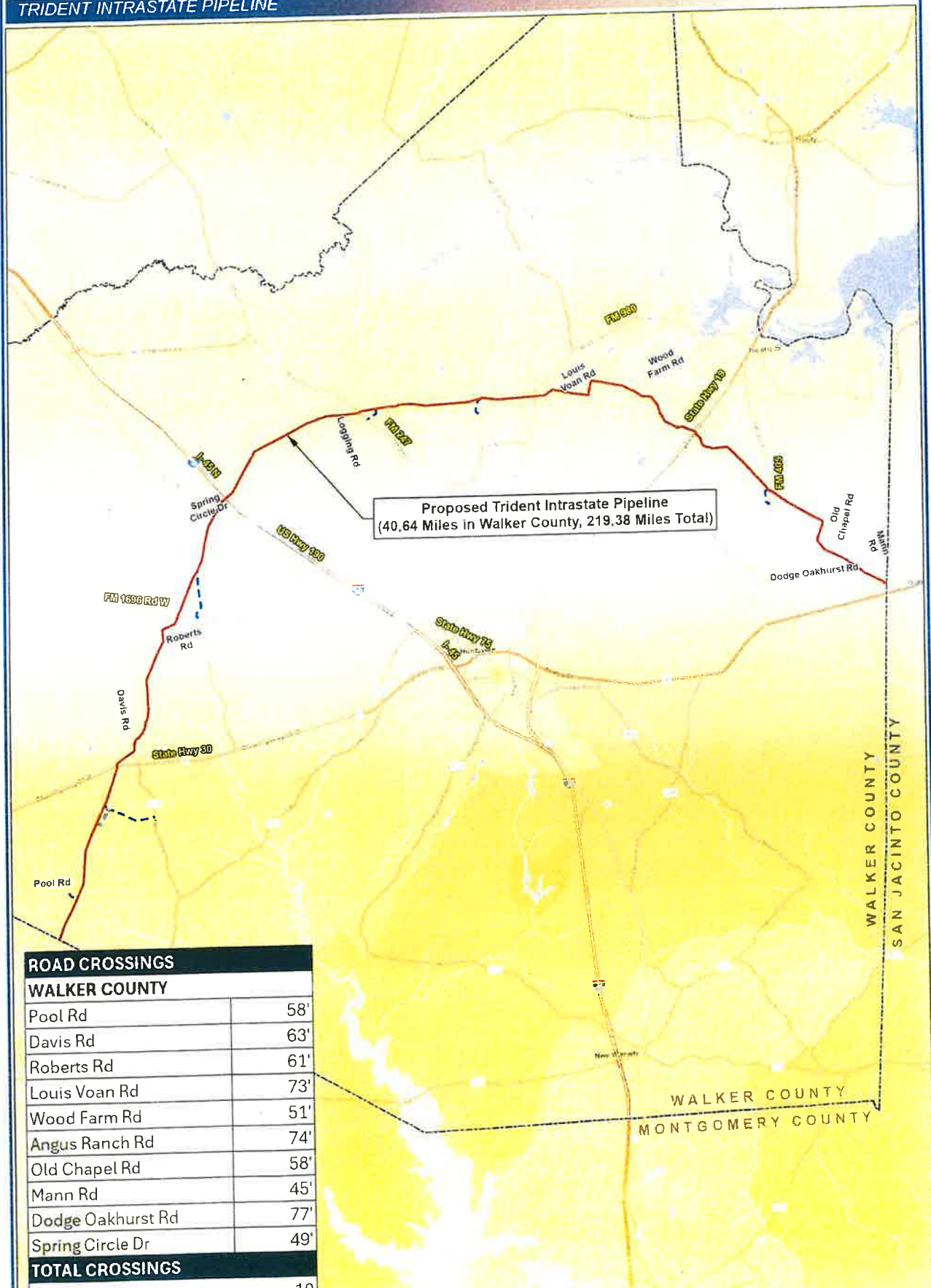
Advancing stronger, safer communities across Texas since 1997.

Bleyl Engineering has conducted this review on behalf of Walker County, and this review is subject to further comments upon receipt of additional information requested above. Bleyl Engineering and Walker County do not accept any responsibility for the design or accuracy of the construction drawings. All construction shall meet the regulations adopted by Walker County. This letter is not intended to propose specific alterations to the construction drawings or waive the applicant's responsibility to comply with applicable laws, regulations, and orders.

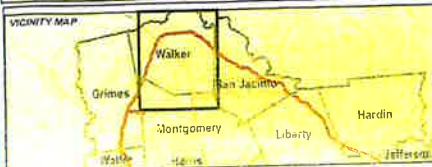
Sincerely,

Steffanie M. DeLoss, P.E., CFM
Sr. Engineering Manager
Bleyl Engineering

E:\301 UIR Trident - Angus Ranch Rd, Pct 3\R2\Out\251203 UIR Trident - Angus Ranch Rd, Pct 3.docx



VICINITY MAP



LEGEND

- Access Roads
- Trident Intrastate Pipeline
- County Boundary



KINDER MORGAN

**General Special Provisions
Walker County Utility Installation Request**

1. Effective Period of Permit Approval. All approvals are void if installation does not begin within 3 months from the date of approval.
2. ALL UTILITY INSTALLATIONS SHALL CONFORM WITH THE STANDARDS DESCRIBED IN TITLE 43, PART 1, CHAPTER 21, SUBCHAPTER C, OF THE TEXAS ADMINISTRATIVE CODE (UTILITY ACCOMMODATIONS)
3. A FINAL AS-BUILT SET OF PLANS SHALL BE SUBMITTED AND CERTIFIED BY A PROFESSIONAL ENGINEER, INCLUDING A CERTIFICATION THAT THE INSTALLATION WAS COMPLETED IN CONFORMANCE AND COMPLIANCE WITH THE ABOVE DESCRIBED SECTIONS OF THE TEXAS ADMINISTRATIVE CODE AND TEXAS DEPARTMENT OF TRANSPORTATION MINIMUM SPECIFICATIONS. A statement must be included certifying that any pipe/casing installed is properly designed for the application and the installation meets the minimum standards for TxDOT and Title 43 of the Texas Administrative Code.
4. Minimum Depth of Cover. The minimum depth of cover for any underground utility line shall be as shown on the "Minimum Depth of Cover Table" for the TxDOT District or attached schematic whichever is deeper.
5. Locating Utilities. Applicant shall take all reasonable and necessary steps to locate existing utilities and address them in accordance with all state, local, and or federal requirements.
6. Aerial Electric Lines. Aerial electric power lines crossing over the highway shall be installed and maintained a minimum of twenty-two (22) feet above the surface of the traffic lanes. For electric power lines with greater than 50,000 volts, the clearance shall be increased in accordance with National Electric Safety Code as published in the National Bureau of Standards, Handbook 30.
7. Aerial Communication Lines. Aerial communication lines crossing over the highway shall be installed and maintained a minimum of eighteen (18) feet above the surface of the traffic lanes.
8. Open Trenching or Boring Operations for Utility Work. To insure that disturbed areas are restored and revegetated properly and in a reasonable period as the utility work progresses, the following requirements shall apply:

Unless otherwise approved or directed by Walker County, the length of "active utility work" shall not exceed one mile in length. "Active utility work" shall be defined as the total disturbed area measured from the beginning of open trenching to the point where backfill has been compacted, the right of way has been restored to its original line and grade, any structures damaged by the utility work have been repaired, erosion control measures have been placed and are being properly maintained, approved topsoil seed and compost has been placed uniformly, and watering for revegetation has begun. "Active utility work" also includes areas of bore pits and receiving pits; however, it does not include the underground boring length. When any area of "active utility work" is substantially complete (i.e., watering of seeded areas has begun), that area is no longer considered to be "active utility work", and "active utility work" can proceed further within the right of way as long as it does not exceed the above appropriate limits. Areas where Walker County determines that the "active utility work" is substantially complete does not mean that Walker County considers that area totally acceptable and complete.
9. Backfill, Erosion Control, and Re-vegetation. All excavations within the right-of-way (ROW) and not under pavement shall be backfilled by tamping in six (6) inch horizontal layers to the density of the surrounding

General Special Provisions
Walker County Utility Installation Request

soil or as directed by the Walker County. All surplus material shall be removed and the ROW shall be reshaped to its original condition or better. This work shall be done in accordance with Item 164 of the Texas Department of Transportation (TxDOT) "Standard Specifications for Construction and Maintenance of Highways, Streets, and Bridges." Erosion control measures such as soil retention blankets, rock berms, and silt fences shall be installed and maintained until permanent perennial vegetation is established over 70% of the disturbed area. The amount of revegetation is considered acceptable when it resembles the amount of existing vegetation in the surrounding undisturbed area. **If erosion control and/or storm water run-off requirements of other State, Federal, or Local Jurisdictions exceed these requirements then the more stringent requirements would prevail.**

8. Boring and Jacking. Boring and jacking of utility lines shall be provided as specified below.
- a. Under Paved County Roads. Utility lines to be constructed under an existing paved (asphalt pavement or concrete pavement) county road shall be installed by boring and jacking with casing.
 - b. Under Paved Driveways. Utility lines to be constructed under existing paved (asphalt pavement or concrete pavement) driveways shall be installed by boring and jacking methods, unless the utility company furnishes Walker County with a "Letter of No Objection" signed by the driveway owner to allow open cutting of their driveway.
 - c. Under Unpaved County Roads or Driveways. Utility lines to be constructed under an existing unpaved county road or under existing unpaved driveways may be open cut only when approved in advance by Walker County, and after the driveway owner is notified. Any open cuts should be repaired and restored to a minimum of pre-cut conditions as quickly as possible so as not to impact road and/or driveway traffic. Applicant shall take all necessary precautions to insure safety as site of open cut.
 - d. Under Desirable Trees. To preserve the natural environment and protect wildlife habitat, boring may be required when underground utility lines are to be placed within the "protected root area" of "desirable trees" located within road ROW or on adjacent property. The "protected root area" is defined as the area between the tree trunk and five (5) feet from the tree trunk or 2/3 the actual distance from the tree trunk to the dripline, whichever is greater. "Desirable trees" include (but are not limited to) any tree with a trunk diameter of six (6) inches or more that Walker County or the Owner of the tree determines to be of environmental and aesthetic value. Boring under all "desirable trees" will be required with the following exceptions: (1) in areas where planned highway construction/maintenance work would require tree removal, or (2) when the Walker County approves of open trenching for the utility installation or removal of the tree.
9. Manhole Covers. All manhole covers shall be installed flush with the ground surface.
10. Traffic Control. Traffic control in utility work zones shall conform to applicable requirements of the "Texas Manual on Uniform Traffic Control Devices for Streets and Highways, Part VI". Adequate signs, barricades, flag personnel, etc. shall be erected and maintained in complete compliance with the Texas Manual on Uniform Traffic Control Devices. Any travel lane closures are only permitted after a traffic control plan is approved by Walker County prior to beginning any construction activities.
11. Sunday or Holiday Work. Sunday or Holiday work will not be permitted for the installation of any utility line unless directed or approved by Walker County.

General Special Provisions
Walker County Utility Installation Request

12. The approval of this utility installation request shall in no way be taken as a waiver or variance to any other existing local, state, or federal permits or requirements that may be required by the applicant
13. Please note that Walker County will be making no verification through this process of the actual location of the public right of way as to width or location. The responsibility to locate the bounds of any public right of way that your project will utilize is the responsibility of your company. Walker County's approval of the request is not an agreement as to location of the public right of way, nor does it confer any easement, right of way, or property right for the project area.
14. Protection of Trees and Landscaping. Existing trees and landscaping within the ROW shall be protected as specified below. Removal of trees from the ROW will require prior Walker County approval.
- a. Tree Pruning. All tree pruning within the ROW will require prior TxDOT approval. All oak trees that are damaged or pruned shall be treated with an approved tree wound dressing within 20 minutes of causing the damage or making the pruning cut.
- b. Landscaping. When existing landscaping is located near the proposed utility alignment, the utility contractor shall notify Walker County and the owner of the landscaping prior to the proposed utility installation. Walker County may require underground utilities to be installed by: (1) boring under such landscaping or (2) by replacement of specific landscape items. Landscaping is defined as, but not limited to, trees, shrubs, grass, irrigation lines, landscape pavers, sidewalks, and other ROW improvements.

