



MINUTES for Walker County Commissioners Court  
REGULAR SESSION  
Monday, May 5, 2025, 9:00 a.m.



**CALL TO ORDER**

Be it remembered, Commissioners Court of Walker County was called to order by County Judge, Colt Christian at 9:00 a.m. in Commissioners Courtroom, 1st Floor, 1100 University Avenue, Huntsville Texas.

County Judge	Colt Christian	Present
Precinct 1, Commissioner	Danny Kuykendall	Present
Precinct 2, Commissioner	Ronnie White	Present
Precinct 3, Commissioner	Bill Daugette	Present
Precinct 4, Commissioner	Brandon Decker	Present

County Judge, Colt Christian stated a quorum was present. County Clerk, Kari French, certified the notice of the meeting was given in accordance with Section 551.001 of the Texas Government Code.

**GENERAL ITEMS**

Pledge of Allegiance and Texas Pledge were performed.  
Prayer was led by Pastor, James Ray Necker.

**CITIZENS INPUT**

None

**CONSENT AGENDA**

1. Approve minutes from Commissioners Court Regular Session held on April 21, 2025.
2. Approve Disbursement Report for the period of 04/15/2025 – 05/05/2025.
3. Receive financial information as of April 29, 2025 for the fiscal year ending September 30, 2025.
4. Approve payment of claims and invoices submitted for payment.
5. Receive Financial Information as of the Month Ended March 31, 2025, for year ending September 30, 2025.
6. Receive Justice of the Peace Precinct 1 Report for March 2025.
7. Receive Justice of the Peace Precinct 2 Report for March 2025.
8. Receive Justice of the Peace Precinct 3 Report for March 2025.
9. Receive Justice of the Peace Precinct 4 Report for March 2025.
10. Approve transfer of FAS# 10759, 11194, and 12911 Motorola Radios from Surplus to OEM.
11. Approve disposal of FAS# 12269, Dell Latitude E5550 from county Judge due to not working properly, by auction or disposal.
12. Approve disposal of FAS# 12582, Microsoft Surface Pro, Auditor's Office to Surplus, by auction or disposal.
13. Approve Resolution 2025-65, in support of HB 2384 and SB 325.

**MOTION:** Made by Commissioner Daugette to APPROVE Consent Agenda as presented.  
**SECOND:** Made by Commissioner White.  
**VOTE:** Motion carried unanimously.

**STATUTORY AGENDA**

**Sheriff's Office**

14. Discuss and take action on purchase of Motorola mobile radios, SB 22 funds.  
*Chief Whitecotton presented information.*

**MOTION:** Made by Commissioner White to APPROVE the purchase of Motorola mobile radios, SB 22 funds.  
**SECOND:** Made by Commissioner Daugette.  
**VOTE:** Motion carried unanimously.

**Emergency Management**

15. Discuss and take action on DR4781 Project 753647 OEM funds to be put in OEM project fund once received.  
*Butch Davis presented information.*

**MOTION:** Made by Judge Christian to APPROVE DR4781 Project 753647 OEM funds to be put in OEM project fund once received.  
**SECOND:** Made by Commissioner White.  
**VOTE:** Motion carried unanimously.

16. Discuss and take action on the Transportation and Housing and Urban Development (THUD) – Economic Development Initiatives (EDI) Grant proposal.

*Brittany Wheeler presented information.*

**MOTION:** Made by Commissioner Decker to APPROVE the ability for OEM to submit an application for Transportation and Housing and Urban Development (THUD) – Economic Development Initiatives (EDI) Grant proposal.

**SECOND:** Made by Commissioner Daugette.

**VOTE:** Motion carried unanimously.

#### **Purchasing**

17. Discuss and take action on award of solicitation C2360-25-019, Mowing Right-Of-Ways-Walker County Precinct 2.

*Cheryl Cowart presented information.*

**MOTION:** Made by Commissioner White to APPROVE award of solicitation C2360-25-019, Mowing Right-Of-Ways-Walker County Precinct 2.

**SECOND:** Made by Commissioner Kuykendall.

**VOTE:** Motion carried unanimously.

18. Discuss and take action on the issuance of RFQ for Geotechnical Engineer Services for future projects in Walker County.

*Cheryl Cowart presented information.*

**MOTION:** Made by Commissioner Decker to APPROVE the issuance of RFQ for Geotechnical Engineer Services for future projects in Walker County.

**SECOND:** Made by Commissioner White.

**VOTE:** Motion carried unanimously.

19. Discuss and take action on the installation and payment of fire alarm for the Senior Center of Walker County.

*Cheryl Cowart presented information.*

**MOTION:** Made by Commissioner Kuykendall to APPROVE proposal number one to be paid from project contingency.

**SECOND:** Made by Commissioner White.

**VOTE:** Motion carried unanimously.

20. Discuss and take action on adding line item #15 Ty B Gr 4 Sac B Aggregate aka Ty B Gr 4 or Sac B Aggregate to an awarded contract for Road Materials.

*Cheryl Cowart presented information.*

**MOTION:** Made by Commissioner Decker to APPROVE going back out for bid for item #15 Ty B Gr 4 Sac B Aggregate aka Ty B Gr 4 or Sac B Aggregate.

**SECOND:** Made by Commissioner Daugette.

**VOTE:** Motion carried unanimously.

21. Discuss and take action on upfitting for P&D's new 2025 F-150 Truck, through TIPS contract# 27510, in the amount of \$23,037.84 to be paid for from budgeted funds.

*Cheryl Cowart presented information.*

**MOTION:** Made by Commissioner White to APPROVE up fitting for P&D's new 2025 F-150 Truck, through TIPS contract# 27510, in the amount of \$23,037.84 to be paid for from budgeted funds.

**SECOND:** Made by Commissioner Kuykendall.

**VOTE:** Motion carried unanimously.

#### **Commissioners Court**

22. Presentation from Texas Forest Service on \$105,000 reimbursement for roads.

**ACTION:** Presentation was made to the Court.

*Joel Hambright, Regional Operations Chief, Region 4, presented information.*

23. Discuss and take action on applying for funding reimbursement from Texas Forest Service.

**MOTION:** Made by Commissioner Daugette to APPROVE applying for funding reimbursement from Texas Forest Service.

**SECOND:** Made by Commissioner Kuykendall.

**VOTE:** Motion carried unanimously.

24. Discuss and take action on countywide Economic Development Counsel, presentation by Chris DeMilliano. *Chris DeMilliano with Steely Lumber Company and Johnathan Thomas presented information. There was discussion from the Court.*

**ACTION:** *Presentation received by Court and will bring back for approval.*

25. Discuss Delinquent Tax and Fine and Fee Collection Report presented by Leslie Schkade of Perdue Brandon Fielder Collins & Mott, LLP.

**ACTION:** *Leslie Schkade presented the Collection Report.*

26. Discuss and take action on authorization to apply for the 2025 Unclaimed Property Capital Credits from the Texas Comptroller of Public Accounts.

**MOTION:** Made by Judge Christian to APPROVE authorization to apply for the 2025 Unclaimed Property Capital Credits from, Texas Comptroller of Public Accounts.

**SECOND:** Made by Commissioner Decker.

**VOTE:** Motion carried unanimously.

27. Discuss and take action on hiring a part time employee for Pct. 3 summer mowing from June 1 through October 31 at a salary of \$16.00/hour to be paid from budgeted funds.

**MOTION:** Made by Commissioner Daugette to APPROVE hiring a part time employee for Pct. 3 summer mowing from June 1 through October 31 at a salary of \$16.00/hour to be paid from budgeted funds.

**SECOND:** Made by Commissioner Decker.

**VOTE:** Motion carried unanimously.

28. Discuss take action to purchase Ford F-450 chassis from ESD#2 for RB4 from RB4 funds in the amount of \$10,000.

**MOTION:** Made by Commissioner Decker to APPROVE the purchase Ford F-450 chassis from ESD#2 for RB4 from RB4 funds in the amount of \$10,000.

**SECOND:** Made by Commissioner Daugette.

**VOTE:** Motion carried unanimously.

29. Discuss and take action on civil actions related to former EMS employees.

#### **EXECUTIVE SESSION**

**ACTION:** *County Judge, Colt Christian called Executive Session under Section 551.074 at 9:46 a.m.*

**ACTION:** *County Judge, Colt Christian reconvened back in to Regular Session at 10:02 a.m.*

**ACTION:** No action taken.

#### **Planning & Development**

30. Public hearing concerning amendments to the Walker County Subdivision Regulations under Chapter 232 of the Texas Local Government Code.

**ACTION:** Public Hearing began at 10:02 a.m.

*Andy Isbell presented information.*

**ACTION:** Public Hearing closed at 10:03 a.m.

31. Discuss and take action on Order 2025 -54 to amend the Walker County Subdivision Regulations under Chapter 232 of the Texas Local Government Code.  
*Andy Isbell presented information. There was discussion with the Court. Don Martinez spoke regarding the amendments. Pause and come back.*

*Judge Christian deviated to item 33*

*Judge Christian back from item 39*

*Stephanie Doss presented amendments.*

**MOTION:** Made by Commissioner Decker to APPROVE Order 2025 -54 to amend the Walker County Subdivision Regulations under Chapter 232 of the Texas Local Government Code.

**SECOND:** Made by Commissioner Kuykendall.

**VOTE:** Motion carried unanimously.

32. Discuss and take action on approval of Construction Examination Guidelines.  
*Stephanie Doss and Andy Isbell presented information.*

**MOTION:** Made by Judge Christian to APPROVE Construction Examination Guidelines as presented.  
**SECOND:** Made by Commissioner Daugette.  
**VOTE:** Motion carried unanimously.

33. Discuss and take action on Top Diamond Investment Group, LLC request for twelve (12) month extension for Development/On-site Wastewater Permit(s) # 2020-0007, # 2020-0146, # 2020-0147, # 2020-0148, and # 2020-0149.

*Judge Christian deviated from item 33.*

*Andy Isbell presented information.*

**MOTION:** Made by Commissioner Daugette to APPROVE Top Diamond Investment Group, LLC request for twelve (12) month extension for Development/On-site Wastewater Permit(s) # 2020-0007, # 2020-0146, # 2020-0147, # 2020-0148, and # 2020-0149.  
**SECOND:** Made by Commissioner Kuykendall.  
**VOTE:** Motion carried unanimously.

34. Discuss and take action on Epifanio Morales request for variance to On-Site Sewage Facility Regulations of Walker County regarding Permit Application # 2025-0092 for Lot 11, Block 2, Section 1 of Walnut Creek Subdivision. – East Walnut Lake Drive – Pct. 3.

*Andy Isbell presented information.*

**MOTION:** Made by Commissioner Daugette to DENY Epifanio Morales request for variance to On-Site Sewage Facility Regulations of Walker County regarding Permit Application # 2025-0092 at this time.  
**SECOND:** Made by Commissioner Decker.  
**VOTE:** Motion carried unanimously.

35. Discuss and take action on Steve Gambrell request for variance to On-Site Sewage Facility Regulations of Walker County regarding Permit Application # 2025-0132 for Tract 21.1 W. Birdsell, A-6 – 25.575 Acre Tract – Rosenwall Road – Pct. 1.

*Andy Isbell presented information.*

**MOTION:** Made by Commissioner Kuykendall to APPROVE Steve Gambrell request for variance to On-Site Sewage Facility Regulations of Walker County regarding Permit Application # 2025-0132.  
**SECOND:** Made by Commissioner Daugette.  
**VOTE:** Motion carried unanimously.

36. Discuss and take action on Kassi Peterson/Nick Vasquez request for variance to On-Site Sewage Facility Regulations of Walker County regarding Permit Application # 2025-0152 for Lot 6 of Highland Creek Ranch Subdivision. – Ripple Creek Drive – Pct. 3.

*Andy Isbell presented information. Kassi Peterson spoke regarding the variance.*

**MOTION:** Made by Commissioner Daugette to APPROVE Kassi Peterson/Nick Vasquez request for variance to On-Site Sewage Facility Regulations of Walker County regarding Permit Application # 2025-0152.  
**SECOND:** Made by Commissioner Kuykendall.  
**VOTE:** Motion carried unanimously.

37. Discuss and take action on Right of Way acquisition from Walker County Emergency Services District # 2 for Hawthorne Road construction project – Pct. 4.

*Andy Isbell presented information.*

**MOTION:** Made by Commissioner Decker to APPROVE Right of Way acquisition from Walker County ESD # 2 for Hawthorne Road construction project.  
**SECOND:** Made by Commissioner Kuykendall.  
**VOTE:** Motion carried unanimously.

38. Discuss and take action on Forestar (USA) Real Estate Group, Inc. request for variance to Section 3.41 of the Walker County Subdivision Regulations regarding TX Dot tie-in permit for Plat # 2022-037 Peach Creek Forest, Section 1, Jose Maria De La Garza Survey, A-22 - SH 150 – Pct. 4.

*Matt Wanzeck with Forestar spoke regarding request. There was discussion with the Court.*

**ACTION:** PASS at this time.



39. Discuss and take action on Forestar (USA) Real Estate Group, Inc. request for variance to Section B12.8.m , B12.8.n, B12.9.d, and B12.10 of the Walker County Subdivision Regulations regarding detention facilities/culverts/ditches for Plat # 2022-037 Peach Creek Forest, Section 1, Jose Maria De La Garza Survey, A-22 - SH 150 – Pct. 4.

*Matt Wanzeck with Forestar spoke regarding request. Mason Kwiatkoski with GLS was on Zoom to answer questions as well. There was discussion with the Court.*

**MOTION:** Made by Commissioner Decker to DENY and bring back.

**SECOND:** Made by Commissioner White.

**VOTE:** Motion carried unanimously.

*Judge Christian deviated back to item 31.*

#### **CITIZENS INPUT**

*Jack Casey spoke regarding the progress on the Raven project. Due to medical complications, he is asking to pick up his art work and have it moved elsewhere.*

**ACTION:** County Judge, Colt Christian adjourned the meeting at 11:49 a.m.

*I, Kari A. French, County Clerk of Walker County, Texas, do hereby certify that these Commissioners Court Minutes are a true and correct record of the proceedings from the Meeting on May 5, 2025.*

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**Walker County Clerk, Kari A. French**

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**Walker County Judge, Colt Christian**

**Date Minutes Approved by Commissioners**

## Disbursement Report 04/29/2025 - 05/19/2025

Payment Journal DISB 05/01/2025	1,260.00
Payment Journal DISB 05/05/2025	461,650.36
Payment Journal DISB1 05/05/2025	2,309.83

### ACH PAYMENTS

ACH 05/01/2025	500.00
ACH TOT 05/01/2025	20,541.00
ACH 05/05/2025	33,869.13
ACH TOT 05/05/2025	67,250.28

### Payroll

766,972.20

### DNP:

Criminal 04/29/2025	111,279.58
EFS 04/29/2025	164.09
Spec Crt 04/29/2025	41.03
Civil 04/30/2025	29,138.64
TX State Disb 05/09/2025	2,094.96
Nationwide 05/09/2025	2,963.00
IRS 05/09/2025	246,157.25

### VOID:

Check register and eft/draft Total	1,746,191.35
Dynamics Total	(\$1,746,191.35)
- difference -**	-
<b>Total Disbursement</b>	<b>\$ 1,746,191.35</b>

### Walker County Disbursement Report 04/29/2025 - 05/19/2025

DatePaid	CheckReference	Vendor	CostCenter	Amount
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	353.50
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	68,969.39
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	1,737.17
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	260.00
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	153.36
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	2.07
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	23,389.49
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	911.51
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	1,160.00
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	4,817.50
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	133.73
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	467.05
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	108.00
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	7,411.50
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	28.59
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	2.81
4/29/2025	000000000006855	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	1,373.91
4/29/2025	000000000006856	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	150.00
4/29/2025	000000000006856	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	14.09
4/29/2025	000000000006857	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	41.03
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	1,530.00
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	2,921.07
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	2,505.00
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	1,100.25
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	433.92
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	49.11
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	357.61
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	3,180.00
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	37.50
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	56.00
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	10.00
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	40.00
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	25.00
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	3,402.00
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	8,554.28
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	877.50
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	3,765.00
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	104.40
4/30/2025	000000000006854	10165-Texas State Comptroller-DNP	Balance Sheet Accounts	190.00
5/1/2025	000000000006841	11866-Guthrie, Regina	Centralized Costs	500.00
5/1/2025	000000000006842	10020-City of Huntsville	Public Safety Governmental/Services Contracts	20,541.00
5/1/2025	258066	13156-Ernst, Rhonda	Road and Bridge Precinct 2	10.00
5/1/2025	258067	10225-Senior Center of Walker County	Health and Human Services - Governmental/Services Contracts	1,250.00
5/5/2025	000000000006843	12281-Bleyl Engineering	Planning and Development	8,540.50
5/5/2025	000000000006844	13258-Summit Food Service, LLC	County Jail	8,367.29
5/5/2025	000000000006845	13258-Summit Food Service, LLC	County Jail	8,366.31

5/5/2025	000000000006846	13258-Summit Food Service, LLC	County Jail	8,595.03
5/5/2025	000000000006847	10143-Walker County Hardware	County Facilities	46.53
5/5/2025	000000000006847	10143-Walker County Hardware	County Facilities	18.25
5/5/2025	000000000006847	10143-Walker County Hardware	Road and Bridge Precinct 2	418.01
5/5/2025	000000000006847	10143-Walker County Hardware	Road and Bridge Precinct 3	147.71
5/5/2025	000000000006848	11009-City of Huntsville	Adult Probation Support- General Fund	237.32
5/5/2025	000000000006848	11009-City of Huntsville	County Facilities	2,665.68
5/5/2025	000000000006848	11009-City of Huntsville	Criminal District Attorney	126.25
5/5/2025	000000000006848	11009-City of Huntsville	Emergency Operations	420.63
5/5/2025	000000000006848	11009-City of Huntsville	Facilities-Justice Center Municipal Allocation	110.49
5/5/2025	000000000006848	11009-City of Huntsville	Juvenile Probation Support - General Fund	115.08
5/5/2025	000000000006848	11009-City of Huntsville	Litter Control - General Fund	577.88
5/5/2025	000000000006848	11009-City of Huntsville	Road and Bridge Precinct 1	444.39
5/5/2025	000000000006848	11009-City of Huntsville	SPU - State General Allocation	101.70
5/5/2025	000000000006848	11009-City of Huntsville	SPU Juvenile Division	76.91
5/5/2025	000000000006848	11009-City of Huntsville	Texas AgriLife Extension Service	107.31
5/5/2025	000000000006848	11009-City of Huntsville	Walker County Central Dispatch Services	49.11
5/5/2025	000000000006848	11009-City of Huntsville	Walker County EMS - Emergency Services	121.15
5/5/2025	000000000006849	11928-U.S. Bank NA	Adult Substance Abuse Services	107.24
5/5/2025	000000000006849	11928-U.S. Bank NA	Centralized Costs	104.60
5/5/2025	000000000006849	11928-U.S. Bank NA	Constable Precinct 1	154.63
5/5/2025	000000000006849	11928-U.S. Bank NA	Constable Precinct 2	277.39
5/5/2025	000000000006849	11928-U.S. Bank NA	Constable Precinct 3	511.14
5/5/2025	000000000006849	11928-U.S. Bank NA	Constable Precinct 4	2,247.01
5/5/2025	000000000006849	11928-U.S. Bank NA	County Facilities	563.65
5/5/2025	000000000006849	11928-U.S. Bank NA	County Jail	1,253.84
5/5/2025	000000000006849	11928-U.S. Bank NA	Emergency Operations	408.10
5/5/2025	000000000006849	11928-U.S. Bank NA	Litter Control - General Fund	944.93
5/5/2025	000000000006849	11928-U.S. Bank NA	Planning and Development	615.57
5/5/2025	000000000006849	11928-U.S. Bank NA	Purchasing	28.12
5/5/2025	000000000006849	11928-U.S. Bank NA	Sheriff	17,514.48
5/5/2025	000000000006849	11928-U.S. Bank NA	Walker County EMS - Emergency Services	9,895.65
5/5/2025	000000000006850	12499-Vulcan Construction Materials, LLC	Road and Bridge Precinct 1	14,385.60
5/5/2025	000000000006850	12499-Vulcan Construction Materials, LLC	Road and Bridge Precinct 3	12,453.93
5/5/2025	258068	14369-AAR Incorporated	General Government Projects	44,600.00
5/5/2025	258069	10900-Aflac	Balance Sheet Accounts	16,170.26
5/5/2025	258069	10900-Aflac	Centralized Costs	0.22
5/5/2025	258070	10274-All Temp Heating & Air Conditioning	County Facilities	75.00
5/5/2025	258071	14386-American Surety Company	County Court at Law	13,500.00
5/5/2025	258072	11955-AMG Printing & Mailing LLC	Voter Registration	846.18
5/5/2025	258073	13502-Antwi, Stephen	County Jail Inmate Medical Cost Center	8,500.00
5/5/2025	258074	10218-ASCO Equipment	Road and Bridge Precinct 4	39.02
5/5/2025	258075	10250-AT&T Mobility	Sheriff	111.23
5/5/2025	258075	10250-AT&T Mobility	Walker County EMS - Emergency Services	139.18
5/5/2025	258076	12514-AT&T Mobility	Emergency Operations	22.20
5/5/2025	258076	12514-AT&T Mobility	Planning and Development	73.28
5/5/2025	258076	12514-AT&T Mobility	Road and Bridge Precinct 1	22.20
5/5/2025	258076	12514-AT&T Mobility	Road and Bridge Precinct 2	59.20
5/5/2025	258076	12514-AT&T Mobility	Road and Bridge Precinct 3	20.00

5/5/2025	258076	12514-AT&T Mobility	SPU Civil Division	102.73
5/5/2025	258076	12514-AT&T Mobility	SPU Juvenile Division	35.93
5/5/2025	258076	12514-AT&T Mobility	Voter Registration	22.20
5/5/2025	258077	12515-AT&T Mobility	Emergency Operations	37.00
5/5/2025	258078	12516-AT&T Mobility	Road and Bridge Precinct 1	37.00
5/5/2025	258079	13614-Auto Parts of Huntsville, Inc	County Jail	156.69
5/5/2025	258079	13614-Auto Parts of Huntsville, Inc	Litter Control - General Fund	49.92
5/5/2025	258079	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 1	3.99
5/5/2025	258079	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 1	79.65
5/5/2025	258079	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 2	77.52
5/5/2025	258079	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 3	1,613.97
5/5/2025	258079	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 3	61.42
5/5/2025	258079	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 3	240.37
5/5/2025	258079	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 3	398.91
5/5/2025	258079	13614-Auto Parts of Huntsville, Inc	Road and Bridge Precinct 4	17.58
5/5/2025	258079	13614-Auto Parts of Huntsville, Inc	Sheriff	363.64
5/5/2025	258080	10629-Bennett Law Office PC	12th Judicial District Court	1,000.00
5/5/2025	258080	10629-Bennett Law Office PC	278th Judicial District Court	5,150.00
5/5/2025	258080	10629-Bennett Law Office PC	County Court at Law	500.00
5/5/2025	258081	10928-Bennie Wiley Paint Contractor	County Facilities	1,400.00
5/5/2025	258082	10345-Bill Fick Ford	Road and Bridge Precinct 4	314.22
5/5/2025	258082	10345-Bill Fick Ford	Walker County EMS - Emergency Services	3,564.04
5/5/2025	258083	14246-Bond, Chenoa	Adult Basic Supervision	128.00
5/5/2025	258084	10361-Bound Tree Medical LLC	Walker County EMS - Emergency Services	9,649.75
5/5/2025	258085	14180-Buck, Christopher	Courts-Central Costs	420.00
5/5/2025	258086	13277-Buckeye Cleaning Center - Houston	County Facilities	1,559.18
5/5/2025	258087	14336-Canon U.S.A., Inc.	County Auditor	22.28
5/5/2025	258087	14336-Canon U.S.A., Inc.	County Jail	143.94
5/5/2025	258087	14336-Canon U.S.A., Inc.	Emergency Operations	7.07
5/5/2025	258088	10036-CenterPoint Energy	Adult Probation Support- General Fund	59.27
5/5/2025	258088	10036-CenterPoint Energy	County Facilities	1,830.23
5/5/2025	258088	10036-CenterPoint Energy	County Jail	1,912.44
5/5/2025	258088	10036-CenterPoint Energy	Facilities-Justice Center Municipal Allocation	9.70
5/5/2025	258088	10036-CenterPoint Energy	Justice of Peace Precinct 4	34.45
5/5/2025	258088	10036-CenterPoint Energy	Juvenile Probation Support - General Fund	77.20
5/5/2025	258088	10036-CenterPoint Energy	Road and Bridge Precinct 1	53.01
5/5/2025	258088	10036-CenterPoint Energy	Road and Bridge Precinct 4	49.00
5/5/2025	258088	10036-CenterPoint Energy	Walker County Central Dispatch Services	4.31
5/5/2025	258088	10036-CenterPoint Energy	Walker County EMS - Emergency Services	80.82
5/5/2025	258089	12490-Cintas Corporation #2	Road and Bridge Precinct 3	11.40
5/5/2025	258089	12490-Cintas Corporation #2	Road and Bridge Precinct 3	320.10
5/5/2025	258090	10021-City of New Waverly	Justice of Peace Precinct 4	110.60
5/5/2025	258090	10021-City of New Waverly	Road and Bridge Precinct 4	271.60
5/5/2025	258090	10021-City of New Waverly	Weigh Station Utilites and Services	43.80
5/5/2025	258091	10023-Coburn's Huntsville # 15	County Facilities	158.90
5/5/2025	258091	10023-Coburn's Huntsville # 15	County Facilities	83.05
5/5/2025	258091	10023-Coburn's Huntsville # 15	Road and Bridge Precinct 4	3,639.90
5/5/2025	258092	10024-Colonial Life & Accident Insurance Company	Balance Sheet Accounts	177.14
5/5/2025	258092	10024-Colonial Life & Accident Insurance Company	Centralized Costs	-0.03



5/5/2025	258093	10823-Connell, Joseph	Emergency Operations	2,000.00
5/5/2025	258094	13666-Crafco, Inc.	Road and Bridge Precinct 2	10,440.00
5/5/2025	258095	10788-Daisy's Diner Country Store	Road and Bridge Precinct 3	139.86
5/5/2025	258096	10675-Dealer Solutions Automotive	Sheriff	414.97
5/5/2025	258097	10051-Dearborn National Life Insurance Co	Balance Sheet Accounts	36.52
5/5/2025	258098	10282-Department of Information Resources	Centralized Costs	193.48
5/5/2025	258099	11349-Dewalt, Katrina	Adult Basic Supervision	244.90
5/5/2025	258100	10667-Don Yates, Inc.	Weigh Station Utilites and Services	450.00
5/5/2025	258101	12266-Dotson, Mayosha	Justice of Peace Precinct 2	544.80
5/5/2025	258102	13161-Durham, Will	Criminal District Attorney	132.35
5/5/2025	258103	14378-DustPods LLC	Road and Bridge Precinct 3	4,250.00
5/5/2025	258104	13809-Eco Material Technologies, Inc	Road and Bridge Precinct 4	14,565.00
5/5/2025	258105	10441-Elliott Electric Supply	County Facilities	4,049.80
5/5/2025	258106	11390-Ellis D. Walker Trucking, LLC	Road and Bridge Precinct 1	27,722.34
5/5/2025	258106	11390-Ellis D. Walker Trucking, LLC	Road and Bridge Precinct 2	31,778.89
5/5/2025	258106	11390-Ellis D. Walker Trucking, LLC	Road and Bridge Precinct 3	4,683.13
5/5/2025	258107	10038-Federal Express Corporation	SPU - State General Allocation	29.40
5/5/2025	258108	11766-First Materials & Technology, Inc.	Road and Bridge Precinct 4	27,706.89
5/5/2025	258109	10192-Gaines, MD, Sheri Cording	12th Judicial District Court	4,800.00
5/5/2025	258110	12284-Goodwin-Lasiter, Inc.	Planning and Development	3,231.25
5/5/2025	258111	13361-Gorman, Shana	Juvenile Probation Support - General Fund	99.04
5/5/2025	258112	14388-Gorney, Melvin & Julie	Sheriff Estray	75.00
5/5/2025	258113	11776-GTS Technology Solutions, Inc.	County Auditor	1,605.11
5/5/2025	258114	13748-Hargis, Alannah	County Judge	255.80
5/5/2025	258115	11459-Harrell, Nicky	Justice of Peace Precinct 1	539.20
5/5/2025	258116	13145-Henson Motor Co, Inc.	Sheriff	11.50
5/5/2025	258117	13765-Hersom Law Firm	County Court at Law	1,600.00
5/5/2025	258118	13055-Hoeser, Bonner	Road and Bridge Precinct 4	660.00
5/5/2025	258118	13055-Hoeser, Bonner	Road and Bridge Precinct 4	990.00
5/5/2025	258119	10317-Home Depot	County Facilities	170.21
5/5/2025	258119	10317-Home Depot	County Facilities	269.98
5/5/2025	258120	10841-Hunter, Kristin N	Adult Basic Supervision	486.70
5/5/2025	258121	11389-Huntsville A-1 Tire Repair, LLC	Road and Bridge Precinct 1	304.07
5/5/2025	258121	11389-Huntsville A-1 Tire Repair, LLC	Road and Bridge Precinct 2	90.00
5/5/2025	258121	11389-Huntsville A-1 Tire Repair, LLC	Road and Bridge Precinct 3	160.00
5/5/2025	258122	10067-Huntsville Truck & Tractor, Inc.	County Jail	84.04
5/5/2025	258123	11427-Husky Trailer & Parts Mfg.	Road and Bridge Precinct 4	131.98
5/5/2025	258124	12531-James, Reynolds & Spiegelhauer	County Court at Law	500.00
5/5/2025	258125	14126-Jeffcoat, Joe	County Jail	100.00
5/5/2025	258126	11446-Johnson Wrecker Service	Constable Precinct 4	95.00
5/5/2025	258127	10997-Klawinsky, Amy	County Treasurer	416.40
5/5/2025	258128	11811-Law Office of Joseph W Krippel	12th Judicial District Court	700.00
5/5/2025	258128	11811-Law Office of Joseph W Krippel	278th Judicial District Court	1,750.00
5/5/2025	258128	11811-Law Office of Joseph W Krippel	County Court at Law	7,300.00
5/5/2025	258129	14110-Law Office of Paul Morrison	12th Judicial District Court	2,000.00
5/5/2025	258129	14110-Law Office of Paul Morrison	278th Judicial District Court	3,050.00
5/5/2025	258130	10313-Legal Shield	Balance Sheet Accounts	183.56
5/5/2025	258130	10313-Legal Shield	Centralized Costs	-0.01
5/5/2025	258131	11379-Liberty Tire Recycling, LLC	Road and Bridge General	339.00

5/5/2025	258132	10073-Linde Gas & Equipment, Inc.	Road and Bridge Precinct 1	18.29
5/5/2025	258132	10073-Linde Gas & Equipment, Inc.	Road and Bridge Precinct 3	30.99
5/5/2025	258132	10073-Linde Gas & Equipment, Inc.	Walker County EMS - Emergency Services	1,949.00
5/5/2025	258133	14122-Live Oak Environmental LLC	Road and Bridge Precinct 2	159.74
5/5/2025	258133	14122-Live Oak Environmental LLC	Road and Bridge Precinct 3	116.77
5/5/2025	258134	12888-Lonestar Truck Group	Road and Bridge Precinct 4	455.10
5/5/2025	258135	12243-Magnum Air, Inc.	County Jail	320.00
5/5/2025	258136	10082-Mid-South Synergy	Road and Bridge Precinct 2	242.00
5/5/2025	258136	10082-Mid-South Synergy	Texas AgriLife Extension Service	244.00
5/5/2025	258137	12569-Montgomery County Clerk	Courts-Central Costs	850.00
5/5/2025	258138	10159-Motorola Solutions, Inc.	Walker County EMS - Emergency Services	19,013.24
5/5/2025	258139	10547-Mustang Cat	Road and Bridge Precinct 2	641.30
5/5/2025	258139	10547-Mustang Cat	Road and Bridge Precinct 4	4,624.62
5/5/2025	258140	11886-Mustang Rental Services of Texas, Ltd.	Road and Bridge Precinct 2	8,921.67
5/5/2025	258141	14330-Navasota Oil Co., Inc.	Road and Bridge Precinct 4	3,460.54
5/5/2025	258142	12351-Net@Work, Inc.	Financial Projects	550.00
5/5/2025	258143	13796-ODP Business Solutions, LLC	County Auditor	88.89
5/5/2025	258143	13796-ODP Business Solutions, LLC	Criminal District Attorney	124.02
5/5/2025	258143	13796-ODP Business Solutions, LLC	Criminal District Attorney	377.25
5/5/2025	258143	13796-ODP Business Solutions, LLC	Justice of Peace Precinct 3	83.98
5/5/2025	258143	13796-ODP Business Solutions, LLC	Planning and Development	178.65
5/5/2025	258143	13796-ODP Business Solutions, LLC	Planning and Development	126.40
5/5/2025	258143	13796-ODP Business Solutions, LLC	Sheriff	149.17
5/5/2025	258144	10395-Oliphant's Tree Service	Road and Bridge Precinct 4	6,000.00
5/5/2025	258145	13856-Optimum	Adult Basic Supervision	154.00
5/5/2025	258145	13856-Optimum	Centralized Costs	965.00
5/5/2025	258145	13856-Optimum	Juvenile Title IV-E	42.00
5/5/2025	258145	13856-Optimum	Walker County Central Dispatch Services	301.00
5/5/2025	258145	13856-Optimum	Walker County EMS - Emergency Services	301.00
5/5/2025	258146	10216-Performance Truck	Road and Bridge Precinct 3	0.00
5/5/2025	258146	10216-Performance Truck	Road and Bridge Precinct 4	209.80
5/5/2025	258147	14169-Perry Office Products, Inc.	County Jail	1,641.47
5/5/2025	258148	10092-Powers Auto Supply	Road and Bridge Precinct 4	317.88
5/5/2025	258148	10092-Powers Auto Supply	Road and Bridge Precinct 4	237.05
5/5/2025	258148	10092-Powers Auto Supply	Road and Bridge Precinct 4	2.28
5/5/2025	258148	10092-Powers Auto Supply	Road and Bridge Precinct 4	225.86
5/5/2025	258149	14273-Rebel Contractors Inc	Road and Bridge Precinct 4	23,102.80
5/5/2025	258150	10098-Reliable Parts Co.	Planning and Development	46.95
5/5/2025	258150	10098-Reliable Parts Co.	Road and Bridge General	435.36
5/5/2025	258150	10098-Reliable Parts Co.	Road and Bridge Precinct 3	3.54
5/5/2025	258150	10098-Reliable Parts Co.	Road and Bridge Precinct 3	336.73
5/5/2025	258150	10098-Reliable Parts Co.	Road and Bridge Precinct 4	45.66
5/5/2025	258151	13655-Riley, Michael	County Court at Law	3,500.00
5/5/2025	258152	10892-Ringo, Katy	Juvenile Probation Support - General Fund	110.70
5/5/2025	258153	10105-Riverside SUD	Road and Bridge Precinct 3	215.23
5/5/2025	258154	13594-Rockett, PhD, PLLC, Jennifer	12th Judicial District Court	1,125.00
5/5/2025	258155	12363-Rollo Insurance Group, Inc.	Road and Bridge Precinct 2	150.00
5/5/2025	258156	10356-Sam Houston Memorial Funeral Home	Centralized Costs	1,238.00
5/5/2025	258157	14289-Sames Bastrop Ford	Planning and Development	46,800.00

5/5/2025	258158	11083-Saumell, Jill	Juvenile Probation Support - General Fund	43.40
5/5/2025	258159	10384-Security Benefit Group	Balance Sheet Accounts	50.00
5/5/2025	258160	10117-Sherwin-Williams	County Facilities	6.00
5/5/2025	258160	10117-Sherwin-Williams	County Facilities	388.65
5/5/2025	258161	12032-Smartox	Adult Basic Supervision	1,380.00
5/5/2025	258162	11931-Spang-Glish Interpreters, LLC	Justice of Peace Precinct 3	456.00
5/5/2025	258163	13984-Syn-Tech Systems, Inc	Road and Bridge Precinct 2	42.00
5/5/2025	258164	14215-T & W Tire LLC	Road and Bridge Precinct 4	1,712.34
5/5/2025	258164	14215-T & W Tire LLC	Road and Bridge Precinct 4	1,492.00
5/5/2025	258165	11577-Texas A&M AgriLife Extension Service	Texas AgriLife Extension Service	260.00
5/5/2025	258166	13346-Texas Security Shredding	12th Judicial District Court	28.00
5/5/2025	258166	13346-Texas Security Shredding	278th Judicial District Court	28.00
5/5/2025	258166	13346-Texas Security Shredding	County Auditor	40.00
5/5/2025	258166	13346-Texas Security Shredding	County Court at Law	28.00
5/5/2025	258166	13346-Texas Security Shredding	County Jail	80.00
5/5/2025	258166	13346-Texas Security Shredding	District Clerk	40.00
5/5/2025	258166	13346-Texas Security Shredding	SPU - State General Allocation	40.00
5/5/2025	258166	13346-Texas Security Shredding	SPU Civil Division	40.00
5/5/2025	258167	11644-Texas Social Security Program	Centralized Costs	35.00
5/5/2025	258168	12477-Texas Top Cop Shop, Inc.	Sheriff	160.00
5/5/2025	258169	10349-The Railroad Yard, Inc.	Road and Bridge Precinct 2	31,384.21
5/5/2025	258170	11518-Tipton, Jeremy	Adult Basic Supervision	275.00
5/5/2025	258171	10867-Titzman, Kristy K	Texas AgriLife Extension Service	427.44
5/5/2025	258172	10276-Tyler Technologies, Inc.	County Clerk	101.07
5/5/2025	258172	10276-Tyler Technologies, Inc.	District Clerk	621.99
5/5/2025	258172	10276-Tyler Technologies, Inc.	Justice of Peace Precinct 3	54.42
5/5/2025	258173	10536-Uline, Inc.	Walker County EMS - Emergency Services	512.67
5/5/2025	258174	14052-Valdez Law Firm, PLLC	12th Judicial District Court	1,000.00
5/5/2025	258175	10227-Verizon Wireless	12th Judicial District Court	40.00
5/5/2025	258175	10227-Verizon Wireless	Constable Precinct 1	20.00
5/5/2025	258175	10227-Verizon Wireless	Constable Precinct 2	40.00
5/5/2025	258175	10227-Verizon Wireless	Constable Precinct 3	60.00
5/5/2025	258175	10227-Verizon Wireless	Constable Precinct 4	160.00
5/5/2025	258175	10227-Verizon Wireless	County Auditor	113.97
5/5/2025	258175	10227-Verizon Wireless	County Court at Law	20.00
5/5/2025	258175	10227-Verizon Wireless	County Jail	57.99
5/5/2025	258175	10227-Verizon Wireless	County Judge	77.99
5/5/2025	258175	10227-Verizon Wireless	District Clerk	37.99
5/5/2025	258175	10227-Verizon Wireless	Emergency Operations	113.97
5/5/2025	258175	10227-Verizon Wireless	IT Operations	37.99
5/5/2025	258175	10227-Verizon Wireless	Justice of Peace Precinct 2	20.00
5/5/2025	258175	10227-Verizon Wireless	Planning and Development	60.00
5/5/2025	258175	10227-Verizon Wireless	Purchasing	80.00
5/5/2025	258175	10227-Verizon Wireless	Road and Bridge Precinct 2	57.99
5/5/2025	258175	10227-Verizon Wireless	Road and Bridge Precinct 4	40.00
5/5/2025	258175	10227-Verizon Wireless	Sheriff	971.96
5/5/2025	258175	10227-Verizon Wireless	SPU - State General Allocation	303.92
5/5/2025	258175	10227-Verizon Wireless	SPU Civil Division	285.15
5/5/2025	258175	10227-Verizon Wireless	SPU Juvenile Division	171.96



5/5/2025	258175	10227-Verizon Wireless	Texas AgriLife Extension Service	57.99
5/5/2025	258175	10227-Verizon Wireless	Veterans Services	20.00
5/5/2025	258175	10227-Verizon Wireless	Walker County EMS - Emergency Services	996.08
5/5/2025	258176	11024-Wage Works	Centralized Costs	350.00
5/5/2025	258177	10576-Walker County Historical Commission	Historical Commission	525.65
5/5/2025	258177	10576-Walker County Historical Commission	Historical Commission	193.53
5/5/2025	258178	13370-Walker County Transmissions/WC Auto	Road and Bridge Precinct 4	1,417.29
5/5/2025	258179	11250-Waller County Asphalt, Inc.	Road and Bridge Precinct 3	1,510.30
5/5/2025	258180	10995-Warren Power Attachments	Road and Bridge Precinct 4	112.86
5/5/2025	258181	14207-White, Kody	Adult Basic Supervision	75.60
5/5/2025	258182	14341-Winston, Denise	Texas AgriLife Extension Service	158.69
5/5/2025	258183	10151-Woods Welding, Inc.	Road and Bridge Precinct 2	273.10
5/5/2025	258184	11825-Wycom Systems, Inc.	County Treasurer	524.25
5/5/2025	258185	13189-Zarate, Claudia	Adult Basic Supervision	63.00
5/5/2025	258186	10269-AT&T	SPU - State General Allocation	349.57
5/5/2025	258186	10269-AT&T	SPU Civil Division	349.58
5/5/2025	258187	10732-Quadiant Leasing USA, Inc.	Centralized Costs	602.23
5/5/2025	258188	11816-Texas Department of Motor Vehicles	District Attorney Supplement	7.50
5/5/2025	258188	11816-Texas Department of Motor Vehicles	SPU - State General Allocation	52.50
5/5/2025	258188	11816-Texas Department of Motor Vehicles	SPU Civil Division	7.50
5/5/2025	258189	10376-Texas Parks & Wildlife	Balance Sheet Accounts	111.35
5/5/2025	258190	10376-Texas Parks & Wildlife	Balance Sheet Accounts	90.95
5/5/2025	258191	10376-Texas Parks & Wildlife	Balance Sheet Accounts	103.70
5/5/2025	258192	10376-Texas Parks & Wildlife	Balance Sheet Accounts	436.90
5/5/2025	258193	10376-Texas Parks & Wildlife	Balance Sheet Accounts	14.45
5/5/2025	258194	10376-Texas Parks & Wildlife	Balance Sheet Accounts	183.60
5/7/2025	Payroll Account - Net Pay	Transfer to Payroll Account	County Wide	766,972.20
5/9/2025	000000000006851	10171-Nationwide Retirement Solutions	Balance Sheet Accounts	2,963.00
5/9/2025	000000000006852	12006-Texas State Disbursement Unit	Balance Sheet Accounts	2,094.96
5/9/2025	000000000006853	10303-Internal Revenue Service	Balance Sheet Accounts	90,794.93
5/9/2025	000000000006853	10303-Internal Revenue Service	Balance Sheet Accounts	155,362.32
<b>Total:</b>				<b>1,746,191.35</b>

## *Walker County*

### *Financial Information*

*Posted as of May 13, 2025 for the Fiscal Year Ending September 30, 2025*

Prepared by:  
County Auditor Department

Patricia Allen, County Auditor

*Information is presented based on ledger balances and entries posted thru May 13, 2025 for the fiscal year ending September 30, 2025.*

*There are entries that have not been posted. Invoices are outstanding for the period that have not been received/posted. Encumbrances are not included in the report.*



**Summary of Revenues, Expenditures and Net Transfers to Date**  
**Transactions Posted As of May 13, 2025**  
**For the Fiscal Year Ending September 30, 2025**

<b>Ledger Balances</b>	<b>Fund Balance Fiscal Yr Begin</b>	<b>Revenues To Date</b>	<b>Expenditures To Date</b>	<b>Net Transfers Between Funds</b>	<b>Fund Balance This Date</b>
<b><u>Operating</u></b>					
101 - General Fund	\$ 13,421,645.75	\$ 26,093,627.04	\$ 17,478,372.78	\$ (344,741.00)	\$ 21,692,159.01
192 - Debt Service Fund	\$ 393,643.67	\$ 1,318,675.14	\$ 161,283.77	\$ -	\$ 1,551,035.04
220 - Road & Bridge	\$ 4,170,623.79	\$ 6,006,802.88	\$ 5,792,483.02	\$ 300,000.00	\$ 4,684,943.65
301 - Walker County EMS Fund	\$ 3,945,983.64	\$ 4,759,870.03	\$ 3,313,480.46	\$ -	\$ 5,392,373.21
180 - Public Safety Seized Money Fund	\$ -	\$ -	\$ -	\$ -	\$ -
185 - General Fund - Healthy County Initiative Fund	\$ 15,865.36	\$ 4,287.95	\$ 1,230.39	\$ -	\$ 18,922.92
	<b>21,947,762.21</b>	<b>38,183,263.04</b>	<b>26,746,850.42</b>	<b>(44,741.00)</b>	<b>\$ 33,339,433.83</b>
<b><u>Projects</u></b>					
105 - General Projects Fund	\$ 5,455,650.15	\$ 135,594.99	\$ 577,848.97	\$ -	\$ 5,013,396.17
115 - General Capital Projects Fund	\$ 5,779,941.82	\$ 152,505.67	\$ 58,100.00	\$ -	\$ 5,874,347.49
<b>119 - ARP Funds</b>	<b>\$ 583,588.01</b>	<b>\$ 10,404.90</b>	<b>\$ 402,103.34</b>	<b>\$ -</b>	<b>\$ 191,889.57</b>
<b><u>Grants/Other Funds</u></b>					
186 - State Sheriff Grant	\$ 100,899.93	\$ 2,503.14	\$ 86,899.50	\$ -	\$ 16,503.57
187 - State CDA Grant	\$ -	\$ 0.62	\$ -	\$ -	\$ 0.62
401 - SB22-CDA Grant FY 2025	\$ -	\$ 280,536.91	\$ 160,871.89	\$ -	\$ 119,665.02
410 - SB22-Sheriff Grant FY 2025	\$ -	\$ 513,054.40	\$ 42,059.38	\$ -	\$ 470,995.02
473 - SO Auto Task Force Grant	\$ -	\$ 54,440.15	\$ 58,334.11	\$ -	\$ (3,893.96)
474 - CDA Victims Assistance Grant	\$ -	\$ 31,982.95	\$ 46,326.56	\$ -	\$ (14,343.61)
481 - Jag Grants	\$ -	\$ -	\$ 1,992.42	\$ -	\$ (1,992.42)
511 - County Records Management and Preservation	\$ 5,699.00	\$ 1,527.51	\$ -	\$ -	\$ 7,226.51
512 - County Records Preservation II Fund	\$ 71,210.32	\$ 1,886.15	\$ -	\$ -	\$ 73,096.47
515 - County Clerk Records Management and Preser	\$ 382,489.92	\$ 76,688.55	\$ 49,833.79	\$ -	\$ 409,344.68
516 - County Clerk Records Archive Fund	\$ 370,423.85	\$ 64,945.69	\$ 5,333.00	\$ -	\$ 430,036.54
517 - Court Facilities Fund	\$ 62,705.53	\$ 14,549.57	\$ -	\$ -	\$ 77,255.10
518 - District Clerk Records Preservation	\$ 92,873.61	\$ 18,121.70	\$ -	\$ -	\$ 110,995.31
519 - District Clerk Rider Fund	\$ 102,392.54	\$ 51,249.99	\$ 4,908.03	\$ -	\$ 148,734.50
520 - District Clerk Archive Fund	\$ 6,269.14	\$ 40.42	\$ -	\$ -	\$ 6,309.56
523 - County Jury Fee Fund	\$ 1,979.74	\$ 509.82	\$ -	\$ -	\$ 2,489.56
524 - County Jury Fund	\$ 11,584.97	\$ 6,889.74	\$ -	\$ -	\$ 18,474.71
525 - Court Reporter Services Fund	\$ 22,360.56	\$ 17,307.74	\$ 11,386.00	\$ -	\$ 28,282.30
526 - County Law Library Fund	\$ 85,905.00	\$ 25,140.86	\$ 11,515.04	\$ -	\$ 99,530.82
527 - Language Access Fund	\$ 8,731.14	\$ 5,392.35	\$ 14,731.60	\$ -	\$ (608.11)
536 - Courthouse Security Fund	\$ 21,464.35	\$ 23,178.41	\$ 57,770.57	\$ 44,741.00	\$ 31,613.19
537 - Justice Courts Security Fund	\$ 65,031.84	\$ 3,872.36	\$ -	\$ -	\$ 68,904.20
538 - JP Truancy Prevention and Diversion	\$ 64,406.39	\$ 10,090.65	\$ -	\$ -	\$ 74,497.04
539 - County Speciality Court Programs	\$ 24,604.82	\$ 4,332.01	\$ -	\$ -	\$ 28,936.83
550 - Justice Courts Technology Fund	\$ 92,017.97	\$ 10,543.28	\$ 22,730.60	\$ -	\$ 79,830.65
551 - County and District Courts Technology Fund	\$ 3,560.44	\$ 919.86	\$ -	\$ -	\$ 4,480.30
552- Child Abuse Prevention Fund	\$ 2,900.56	\$ 455.95	\$ -	\$ -	\$ 3,356.51
560 - District Attorney Prosecutors Supplement Fund	\$ -	\$ 12,786.48	\$ 9,791.84	\$ -	\$ 2,994.64
561 - Pretrial Intervention Program Fund	\$ 162,688.72	\$ 23,679.96	\$ 418.43	\$ -	\$ 185,950.25
562 - District Attorney Forfeiture Fund	\$ 223,459.66	\$ 8,985.41	\$ 3,725.05	\$ -	\$ 228,720.02
563 - District Attorney Hot Check Fee Fund	\$ 362.61	\$ 86.00	\$ -	\$ -	\$ 448.61
574 - Sheriff Forfeiture Fund	\$ 593,683.40	\$ 15,096.49	\$ 29,330.40	\$ -	\$ 579,449.49
576 - Sheriff Inmate Medical Fund	\$ 70,075.96	\$ 3,914.31	\$ -	\$ -	\$ 73,990.27
577 - DOJ-Equitable Sharing Fund	\$ 519,106.91	\$ 181,523.68	\$ -	\$ -	\$ 700,630.59
578 - Sheriff Commissary Fund	\$ 543,078.35	\$ 112,813.39	\$ 37,939.61	\$ -	\$ 617,952.13
583 - Elections Equipment Fund	\$ 43,105.91	\$ 20,606.64	\$ 64,112.16	\$ -	\$ (399.61)
584 - Tax Assessor Elections Service Contract Fund	\$ 67,723.36	\$ 12,612.21	\$ 4,556.33	\$ -	\$ 75,779.24
589 - Tax Assessor Special Inventory Fee Fund	\$ 53,288.08	\$ 11,669.40	\$ -	\$ -	\$ 64,957.48
601 - SPU Civil/Criminal/Juvenile Grant/Allocations	\$ -	\$ 3,742,148.85	\$ 3,756,662.30	\$ -	\$ (14,513.45)
640 - Juvenile Grant Fund (Title IV E)	\$ 83,445.44	\$ 2,167.64	\$ 294.00	\$ -	\$ 85,319.08
641 - Juvenile Grant State Aid Fund	\$ -	\$ 388,993.30	\$ 307,148.58	\$ -	\$ 81,844.72
645 - Juvenile HGAC Services Grant	\$ -	\$ 1,400.00	\$ 1,820.00	\$ -	\$ (420.00)
615 - Adult Probation-Basic Services Fund	\$ 427,546.64	\$ 787,344.53	\$ 828,948.82	\$ (10,764.47)	\$ 375,177.88
616 - Adult Probation-Court Services Fund	\$ -	\$ 128,292.53	\$ 135,008.23	\$ 8,871.74	\$ 2,156.04
617 - Adult Probation-Substance Abuse Services Fun	\$ -	\$ 77,381.77	\$ 71,194.06	\$ 255.92	\$ 6,443.63
618 - Adult Probation-Pretrial Diversion	\$ -	\$ 23,643.33	\$ 25,030.39	\$ 1,636.81	\$ 249.75
701 - Retiree Health Insurance Fund	\$ 2,231,268.97	\$ 60,358.69	\$ -	\$ -	\$ 2,291,627.66
802 - Walker County Public Safety Communications Cente	\$ 1,448,911.90	\$ 1,108,863.95	\$ 843,397.89	\$ -	\$ 1,714,377.96
	<b>8,067,257.53</b>	<b>7,944,529.34</b>	<b>6,694,070.58</b>	<b>44,741.00</b>	<b>9,362,457.29</b>
	<b>\$ 41,834,199.72</b>	<b>\$ 46,426,297.94</b>	<b>\$ 34,478,973.31</b>	<b>\$ (0.00)</b>	<b>\$ 53,781,524.35</b>



**Cash and Investments Report**  
**Transactions Posted as of May 13, 2025**  
**For the Fiscal Year Ending September 30, 2025**

	Other Bank					
	Cash	Accounts	Texpool	MBIA	Wells Fargo	Total
<b>Operating</b>						
101 - General Fund	\$ 820,627.30	\$ 103,070.82	\$ 12,835,556.27	\$ 1,469,037.22	\$ 6,658,226.81	\$ 21,886,518.42
192 - Debt Service Fund	41,853.76	-	1,501,208.47	-	-	\$ 1,543,062.23
220 - Road & Bridge	144,825.77	-	3,333,029.75	-	-	\$ 3,477,855.52
301 - Walker County EMS Fund	269,618.14	65,065.50	4,772,304.69	69,543.72	181,785.43	\$ 5,358,317.48
180 - Public Safety Seized Money Fund	-	-	69,577.58	-	-	\$ 69,577.58
185 - General Fund - Healthy County Initiative Fund	3,210.80	-	15,712.12	-	-	\$ 18,922.92
	1,280,135.77	168,136.32	22,527,388.88	1,538,580.94	6,840,012.24	32,354,254.15
<b>Projects</b>						
105 - General Projects Fund	18,382.40	-	3,704,681.38	923,947.05	366,793.93	5,013,804.76
115 - General Capital Projects Fund	-	-	5,874,347.49	-	-	5,874,347.49
119- ARP Funds	5,956.82	185,932.75	-	-	-	\$ 191,889.57
<b>Grants/Other Funds</b>						
186 - State Sheriff Grant	-	-	16,503.57	-	-	16,503.57
187 - State CDA Grant	-	-	34.31	-	-	34.31
401 - SB22-CDA Grant FY 2025	-	-	119,665.02	-	-	119,665.02
410 - SB22-Sheriff Grant FY 2025	-	-	470,995.02	-	-	470,995.02
473- SO Auto Task Force Grant	(11,681.87)	-	-	-	-	(11,681.87)
474 - CDA Victims Grant	(31,401.70)	-	-	-	-	(31,401.70)
481 - Jag Grants	(1,992.42)	-	-	-	-	(1,992.42)
488 - CDBG Grants	(16,321.16)	-	-	-	-	(16,321.16)
511 - County Records Management and Preservation	7,226.51	-	-	-	-	7,226.51
512 - County Records Preservation II Fund	3,060.64	-	70,035.83	-	-	73,096.47
515 - County Clerk Records Management and Presen	18,025.01	-	315,156.03	76,163.64	-	409,344.68
516 - County Clerk Records Archive Fund	56,844.92	-	373,191.62	-	-	430,036.54
517 - Court Facilities Fund	19,519.16	-	57,735.94	-	-	77,255.10
518 - District Clerk Records Preservation	61,904.79	-	49,090.52	-	-	110,995.31
519 - District Clerk Rider Fund	32,888.44	-	115,846.06	-	-	148,734.50
520 - District Clerk Archive Fund	6,309.56	-	-	-	-	6,309.56
523 - County Jury Fee Fund	2,489.56	-	-	-	-	2,489.56
524 - County Jury Fund	13,063.52	-	5,411.19	-	-	18,474.71
525 - Court Reporter Services Fund	21,559.88	-	10,822.42	-	-	32,382.30
526 - County Law Library Fund	26,812.84	-	73,542.14	-	-	100,354.98
527 - Language Access Fund	(608.11)	-	-	-	-	(608.11)
536 - Courthouse Security Fund	31,613.19	-	-	-	-	31,613.19
537 - Justice Courts Security Fund	16,830.22	-	52,073.98	-	-	68,904.20
538 - JP Truancy Prevention and Diversion	69,994.57	-	4,502.47	-	-	74,497.04
539 - County Specialty Court Revenues Fund	17,487.49	-	11,449.34	-	-	28,936.83
540 - Fire Suppression-US Forest Service Fund	0.00	-	17,354.47	-	-	17,354.47
550 - Justice Courts Technology Fund	3,211.05	-	76,619.60	-	-	79,830.65
551 - County and District Courts Technology Fund	3,542.34	-	937.96	-	-	4,480.30
552- Child Abuse Prevention Fund	3,356.51	-	-	-	-	3,356.51
560 - District Attorney Prosecutors Supplement Fund	3,657.52	-	-	-	-	3,657.52
561 - Pretrial Intervention Program Fund	25,529.68	-	160,420.57	-	-	185,950.25
562 - District Attorney Forfeiture Fund	955.76	-	227,764.26	-	-	228,720.02
563 - District Attorney Hot Check Fee Fund	448.61	-	-	-	-	448.61
574 - Sheriff Forfeiture Fund	563.49	971.57	582,890.69	-	-	584,425.75
576 - Sheriff Inmate Medical Fund	12,174.45	-	61,815.82	-	-	73,990.27
577 - DOJ-Equitable Sharing Fund	93,221.15	-	579,892.25	27,517.19	-	700,630.59
578 - Sheriff Commissary Fund	98,612.24	-	510,700.81	-	-	609,313.05
583 - Elections Equipment Fund	(399.61)	-	-	-	-	(399.61)
584 - Tax Assessor Elections Service Contract Fund	12,997.09	-	62,782.15	-	-	75,779.24
589 - Tax Assessor Special Inventory Fee Fund	0.00	-	64,957.48	-	-	64,957.48
601 - SPU Civil/Criminal/Juvenile Grant/Allocations	(784,238.81)	-	-	-	-	(784,238.81)
640 - Juvenile Grant Fund (Title IVE)	1,507.08	-	83,812.00	-	-	85,319.08
641 - Juvenile Grant State Aid Fund	106,094.72	-	-	-	-	106,094.72
645 - Juvenile Services - HGAC Grant	(1,400.00)	-	-	-	-	(1,400.00)
701 - Retiree Health Insurance Fund	0.00	-	907,573.84	1,384,053.82	-	2,291,627.66
<b>County Treasurer Agency Funds</b>						
615 - Adult Probation-Basic Services Fund	149,474.40	30.00	97,519.72	132,764.47	-	379,788.59
616 - Adult Probation-Court Services Fund	2,156.04	-	-	-	-	2,156.04
617 - Adult Probation-Substance Abuse Services Fund	6,779.63	-	-	-	-	6,779.63
618 - Pretrial Diversion	249.75	-	-	-	-	249.75
802 - Walker County Public Safety Communications C	238,069.18	-	1,477,219.26	-	-	1,715,288.44
810 - Agency Fund - LEOSE Training Funds	89,552.17	-	-	-	-	89,552.17
	409,739.48	1,001.57	6,658,316.34	1,620,499.12	0.00	8,689,556.51
	\$ 1,714,214.47	\$ 355,070.64	\$ 38,764,734.09	\$ 4,083,027.11	\$ 7,206,806.17	\$ 52,123,852.48



**Cash and Investments Report**  
**As of May 13, 2025**  
 Transactions Posted as of May 13, 2025

	Cash	ICT	Certificates of Deposit	Total
<b>Agency Funds Maintained by the Department (Balance as of Last Date Reported by the Department)</b>				
850 Agency Fund - County Clerk	\$ 2,890,513.36	\$ 290,331.76	\$ -	\$ 3,180,845.12
851 Agency Fund - District Clerk	\$ 1,309,870.43	\$ -	\$ 546,165.37	\$ 1,856,035.80
852 Agency Fund - Criminal District Attorney	\$ 2,324.05	\$ -	\$ -	\$ 2,324.05
853 Agency Fund - Tax Assessor	\$ 538,045.29	\$ -	\$ -	\$ 538,045.29
854 Agency Fund - Sheriff	\$ 94,571.15	\$ -	\$ -	\$ 94,571.15
855 Agency Fund - Juvenile	\$ 953.59	\$ -	\$ -	\$ 953.59
856 Agency Fund - County Treasurer Jury	\$ 419.86	\$ -	\$ -	\$ 419.86
857 Agency Fund - Justice of Peace Precinct 4	\$ 18,714.32	\$ -	\$ -	\$ 18,714.32
858 Agency Fund - Adult Probation	\$ 10,949.43	\$ -	\$ -	\$ 10,949.43
	<b>\$ 4,866,361.48</b>	<b>\$ 290,331.76</b>	<b>\$ 546,165.37</b>	<b>\$ 5,702,858.61</b>



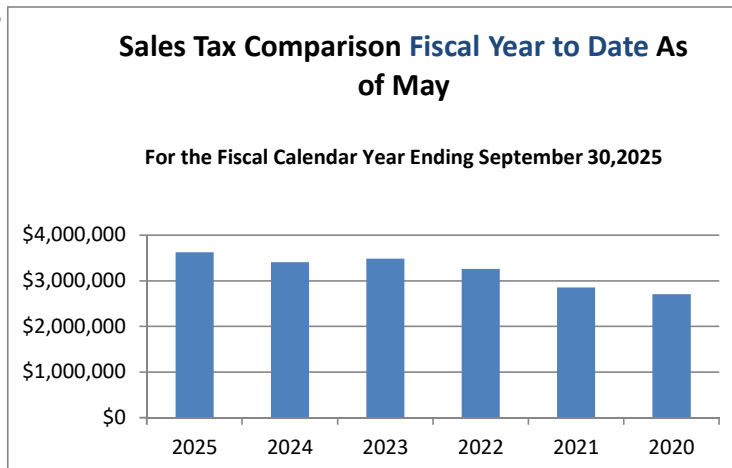
### Sales Tax Revenue Comparison by Fiscal Year

		Fiscal Year 2025	Fiscal Year 2024	Fiscal Year 2023	Fiscal Year 2022	Fiscal Year 2021	Fiscal Year 2020
October	-1.98%	\$ 421,956.11	\$ 430,494.33	\$ 426,935.35	\$ 378,481.65	\$ 341,282.66	\$ 309,760.99
November	6.51%	\$ 498,694.36	\$ 468,234.02	\$ 477,305.48	\$ 470,400.36	\$ 404,860.53	\$ 432,570.77
December	11.28%	\$ 436,267.33	\$ 392,041.05	\$ 402,702.70	\$ 368,467.73	\$ 311,632.44	\$ 282,270.19
January	0.19%	\$ 410,660.38	\$ 409,880.44	\$ 396,438.25	\$ 386,864.04	\$ 345,810.13	\$ 297,832.83
February	15.35%	\$ 566,047.13	\$ 490,724.88	\$ 506,247.91	\$ 488,772.53	\$ 402,950.76	\$ 410,854.29
March	3.36%	\$ 411,610.81	\$ 398,234.30	\$ 405,269.07	\$ 391,919.74	\$ 328,566.37	\$ 353,527.33
April	3.96%	\$ 379,931.13	\$ 365,474.29	\$ 381,310.61	\$ 317,716.26	\$ 270,692.68	\$ 263,551.31
May	11.44%	\$ 502,889.38	\$ 451,281.87	\$ 488,946.95	\$ 458,660.51	\$ 447,063.15	\$ 357,514.78
June		\$ -	\$ 439,983.80	\$ 396,747.98	\$ 429,635.63	\$ 393,372.95	\$ 307,406.08
July		\$ -	\$ 386,063.63	\$ 386,095.96	\$ 401,984.02	\$ 349,935.05	\$ 322,571.05
August		\$ -	\$ 451,374.30	\$ 443,842.79	\$ 480,257.68	\$ 434,731.20	\$ 393,734.55
September		\$ -	\$ 418,725.70	\$ 398,269.21	\$ 398,673.98	\$ 369,724.46	\$ 328,146.29
		<b>\$ 3,628,056.63</b>	<b>\$ 5,102,512.61</b>	<b>\$ 5,110,112.26</b>	<b>\$ 4,971,834.13</b>	<b>\$ 4,400,622.38</b>	<b>\$ 4,059,740.46</b>

This time last year	\$ 3,406,365.18
% Change	6.51%

<b>Sales Tax Rate for Walker County is</b>	<b>0.5%</b>
State Sales Tax Rate is	6.25%
<b><u>Municipalities Within Walker County</u></b>	
City of Huntsville Sales Tax Rate	1.5%
City of New Waverly Sales Tax Rate	1.5%
City of Riverside Sales Tax Rate	1.5%

Fiscal Year to Date	\$ 3,628,056.63	\$ 3,406,365.18	\$ 3,485,156.32	\$ 3,261,282.82	\$ 2,852,858.72	\$ 2,707,882.49
Budgeted this Fiscal Year	\$ 5,150,000.00	66.76%	68.20%	65.60%	64.83%	66.70%
Pct Received This FY	70.5%					





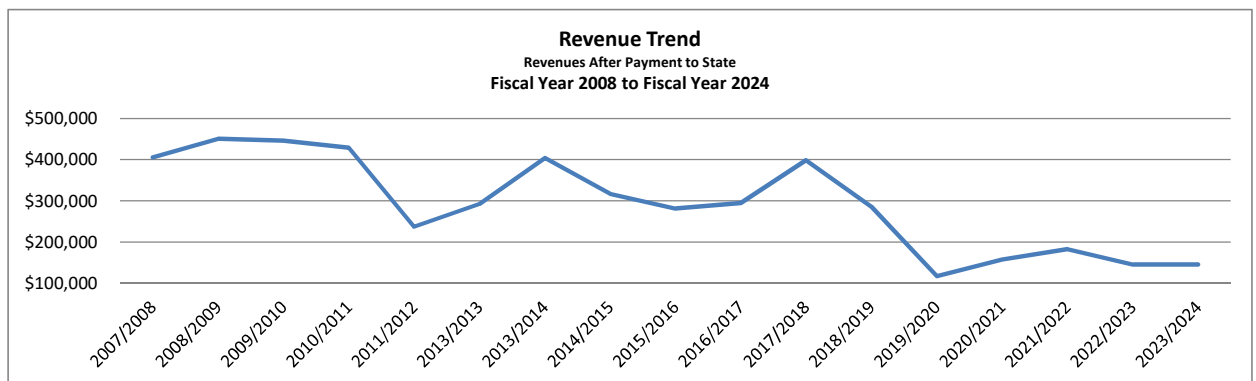
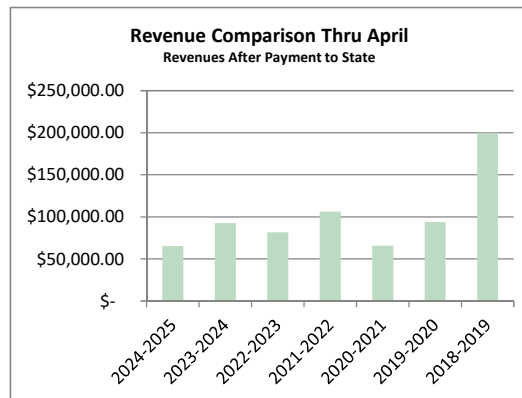
## Weigh Station Revenue Comparison by Fiscal Year

Comparison Numbers Based on Revenues Retained by Walker County after submission of fines paid to State

	Total 2024-2025	Pd to State	Fiscal Year 2024-2025	Fiscal Year 2023-2024	Fiscal Year 2022-2023	Fiscal Year 2021-2022	Fiscal Year 2020-2021	Fiscal Year 2019-2020	Fiscal Year 2018-2019
October	\$ 14,515.50	\$ (794.50)	\$ 13,721.00	\$ 11,833.50	\$ 14,148.00	\$ 18,286.80	\$ 2,840.80	\$ 23,601.60	\$ 45,179.10
November	\$ 5,309.00	\$ (100.00)	\$ 5,209.00	\$ 15,777.00	\$ 10,261.00	\$ 12,515.00	\$ 2,354.00	\$ 9,759.50	\$ 17,677.95
December	\$ 13,928.50	\$ (2,396.00)	\$ 11,532.50	\$ 13,249.00	\$ 14,158.00	\$ 13,435.50	\$ 2,491.50	\$ 15,248.10	\$ 26,932.10
January	\$ 14,655.00	\$ (3,445.00)	\$ 11,210.00	\$ 16,918.90	\$ 11,120.00	\$ 14,960.00	\$ 10,436.50	\$ 14,941.35	\$ 23,035.20
February	\$ 10,700.00	\$ (958.00)	\$ 9,742.00	\$ 13,102.00	\$ 13,788.50	\$ 15,521.50	\$ 10,863.50	\$ 11,991.00	\$ 26,752.90
March	\$ 8,795.00	\$ (264.50)	\$ 8,530.50	\$ 9,763.00	\$ 12,517.00	\$ 14,826.00	\$ 18,304.90	\$ 11,431.00	\$ 29,424.12
April	\$ 6,302.00	\$ (1,150.50)	\$ 5,151.50	\$ 11,932.50	\$ 5,693.50	\$ 16,970.00	\$ 18,441.15	\$ 6,728.00	\$ 30,934.90
May			\$ -	\$ 13,054.50	\$ 9,258.00	\$ 14,331.00	\$ 17,318.50	\$ 6,131.70	\$ 18,350.50
June			\$ -	\$ 11,474.50	\$ 13,738.00	\$ 15,151.50	\$ 22,397.00	\$ 6,101.35	\$ 18,272.90
July			\$ -	\$ 7,862.00	\$ 10,420.50	\$ 15,425.65	\$ 22,694.00	\$ 3,857.00	\$ 18,109.90
August			\$ -	\$ 9,168.50	\$ 14,957.50	\$ 17,733.75	\$ 17,414.00	\$ 4,634.00	\$ 13,131.10
September			\$ -	\$ 11,148.35	\$ 15,360.50	\$ 13,837.50	\$ 12,157.00	\$ 2,610.90	\$ 18,541.95
	\$ 74,205.00	\$ (9,108.50)	\$ 65,096.50	\$ 145,283.75	\$ 145,420.50	\$ 182,994.20	\$ 157,712.85	\$ 117,035.50	\$ 286,342.62

Allocated to Weigh Station Improv.	\$ -	This time last year	\$92,575.90
Allocated to Road and Bridge	\$ 65,096.50	% Change	-29.70%

Fiscal Year to Date      \$ 74,205.00    \$ (9,108.50)    \$ 65,096.50    \$ 92,575.90    \$ 81,686.00    \$ 106,514.80    \$ 65,732.35    \$ 93,700.55    \$ 199,936.27



Budget for FY 2024/2025

	From Tax rate	County Road and Bridge Operations	Weigh Station Support / Personnel
Justice of Peace Pct 4	\$ 63,019.00	\$ -	\$ -
Weigh Station Utilities/Services	\$ 35,187.00	\$ -	\$ 34,284.00
Weigh Station Personnel	\$ -	\$ -	\$ 25,416.00
Road and Bridge Operations	\$ -	\$ 150,000.00	
	\$ 98,206.00	\$ 150,000.00	\$ 59,700.00



*Walker County  
Summary of Debt*

**Certificates of Obligation Issue Dated June 1, 2012**

**Capital Projects**

	Issued -Amount	Outstanding Amount	Current Debt Service FY 2024-2025		Total
			Principal	Interest	
Series 2012 - \$20,000,000 due in installments of \$685,000 to \$1,335,000 to mature 06/01/2032 at interest rate of 2.0% to 3.7% - callable August 1, 2032	\$20,000,000	\$9,460,000	\$1,055,000	\$322,568	\$1,377,568
Total Debt Service Capital Projects	\$20,000,000	\$9,460,000	\$1,055,000	\$322,568	\$1,377,568





Walker County  
Claims and Invoices Submitted for Payment

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Invoice date	Invoice	Amount	Due Date	PO/PA	Description
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12th Judicial District Court

10150 - Williford, John W.

5/13/2025	31,686	\$ 1,400.00	5/18/2025		Cause #31,686 CT1, CT2, CT3, CT4
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13594 - Rockett, PhD, PLLC, Jennifer

5/10/2025	140023939	\$ 1,599.00	5/18/2025		Svc Rendered-Cause#29,890 - 04/14/25 & 05/07-08/25
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13655 - Riley, Michael

5/2/2025	30,902	\$ 4,050.00	5/18/2025		Cause #30,902
5/8/2025	31,838	\$ 1,200.00	5/18/2025		Cause #31,838 CT1, CT2, CT3
5/14/2025	31,860	\$ 1,200.00	5/18/2025		Cause #31,860 CT1, CT2, CT3
5/8/2025	32,188	\$ 1,000.00	5/18/2025		Cause #32,188
5/6/2025	K-2382	\$ 1,000.00	5/18/2025		Cause #Rejected/Young, T.

13705 - McCaig, Albert

4/8/2025	K-2384	\$ 182.70	5/18/2025		Miles 261.0 - 04/07/25 and 04/08/25
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14052 - Valdez Law Firm, PLLC

5/8/2025	31,764	\$ 1,850.00	5/18/2025		Cause #31,764 CT1, CT2
5/8/2025	K-2387	\$ 1,100.00	5/18/2025		Cause #32,130, #32,132

14110 - Law Office of Paul Morrison

5/13/2025	31,800	\$ 1,750.00	5/18/2025		Cause #31,800
5/13/2025	31,802	\$ 100.00	5/18/2025		Cause #31,802
5/13/2025	31,988	\$ 1,750.00	5/18/2025		Cause #31,988
5/13/2025	32,028	\$ 1,000.00	5/18/2025		Cause #32,028

14288 - Cooksey, Christina

5/8/2025	29834-1	\$ 558.00	5/18/2025		Services Rendered - 03/25/25
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<b>12th Judicial District Court-30030 - Totals</b>		<b>\$ 19,739.70</b>			
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278th Judicial District Court

11776 - GTS Technology Solutions, Inc.

5/2/2025	INV85407	\$ 516.64	5/18/2025	PO - 43240	Dock - Dell Thunderbolt 4 Dock - WD22TB4, USB-C, 180W Power Delivery x2
5/2/2025	INV85407	\$ 3,879.48	5/18/2025	PO - 43240	FAS#13865 - Latitude 7350 Detachable FAS#13866 - Latitude 7350 Detachable XCTO Intel Core Ultra 7 164U
5/2/2025	INV85407	\$ 384.98	5/18/2025	PO - 43240	Keyboard - Latitude 7350 Detachable Collaboration Keyboard-US English x2
5/2/2025	INV85407	\$ 100.82	5/18/2025	PO - 43240	Pen - Dell Active Pen - PN7350A x2

<b>Invoice Total</b>	<b>\$ 4,881.92</b>				
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<b>278th Judicial District Court-30040 - Totals</b>		<b>\$ 4,881.92</b>			
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Walker County  
Claims and Invoices Submitted for Payment

Page 2 of 28

Invoice date	Invoice	Amount	Due Date	PO/PA	Description
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Adult Basic Supervision

10067 - Huntsville Truck & Tractor, Inc.

5/8/2025	52323	\$ 197.20	5/18/2025	PO - 42633	FAS#12486 - Wheel Bearing x2, Blade x3, Tune Up Kit
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10212 - Thomson Reuters - West

5/1/2025	851927053	\$ 104.75	5/18/2025		Acct#1003932603 - 04/01-30/25
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10245 - Corrections Software Solutions, LP

5/1/2025	57921	\$ 820.75	5/18/2025		Computer Services - June 2025
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10831 - Cross, Shellie M

4/30/2025	K-2392	\$ 47.60	5/18/2025		Miles 68.0, 04/01-30/25
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10841 - Hunter, Kristin N

5/1/2025	K-2373	\$ 88.90	5/18/2025		Miles 127.0 - Bryan, TX - 05/01/25
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5/13/2025	K-2395	\$ 67.20	5/18/2025		Miles 96.0 - Leon County, TX - 05/13/25
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11971 - Lopez, Maria

5/2/2025	K-2390	\$ 36.05	5/18/2025		Miles - 51.5 - 05/02/25
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12032 - Smartox

5/5/2025	30318	\$ 378.03	5/18/2025		Lab Confirmations
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13189 - Zarate, Claudia

4/28/2025	K-2393	\$ 91.00	5/18/2025		Miles - 130.0 - 04/01-28/25
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13282 - Pattillo, Brown & Hill, L.L.P.

4/30/2025	503402	\$ 2,150.00	5/18/2025		Final Bill- Annual Audit 2024/Adjusted CSCD Total
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13448 - Light, Bobby

5/8/2025	009	\$ 500.00	5/18/2025		Budget Adjustment #2 - May 2025
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13623 - AT&T Corp

5/7/2025	9709971017	\$ 877.73	5/18/2025		Monthly Service - 05/07/25 - 06/06/25
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13961 - Wells, Lita

5/14/2025	K-2396	\$ 20.00	5/18/2025		Reimbursement/FAS#13567 Fuel CSCD Voyager Gas Card Would Not Work
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14393 - Animas, Melissa

4/30/2025	K-2391	\$ 84.00	5/18/2025		Miles 120.0 - Brazos County, TX - 04/30/25
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<b>Adult Basic Supervision-50130 - Totals</b>		<b>\$ 5,463.21</b>			
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Adult Probation Support- General Fund

10245 - Corrections Software Solutions, LP

5/1/2025	57921	\$ 2,462.25	5/18/2025		Computer Services - June 2025
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<b>Adult Probation Support- General Fund-50110 - Totals</b>		<b>\$ 2,462.25</b>			
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Adult Substance Abuse Services

12996 - Gifaldi, Heather

4/29/2025	A-2357	\$ 336.00	5/18/2025		Miles 480.0 - 04/01-29/25
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14256 - Serenity House Counseling PLLC

5/12/2025	April 2025	\$ 2,700.00	5/18/2025		Substance Abuse Counseling- April 2025
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<b>Adult Substance Abuse Services-50170 - Totals</b>		<b>\$ 3,036.00</b>			
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Balance Sheet Accounts

10145 - Walker County Appraisal District

5/6/2025	A-2383	\$ 856.87	5/18/2025		Walker CAD/ID46985/Tax Sale-May 2025
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10270 - Texas Association of Counties HEBP

5/5/2025	0425BCBS	\$ 5,410.82	5/18/2025		April 2025-Employee's Portion
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5/5/2025	0425BCBS	\$ 68,200.70	5/18/2025		April 2025-Employee's Portion
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	<b>Invoice Total</b>	<b>\$ 73,611.52</b>			
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5/5/2025	BCBS0425	\$ 315,960.55	5/18/2025		April 2025-County's Portion
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10376 - Texas Parks & Wildlife

5/5/2025	2240604	\$ 103.70	5/18/2025		JP2 Citations/#A8579796/Case#2240604/Labaume, C., 04/29/25
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5/6/2025	24-93808	\$ 131.75	5/18/2025		JP3 Citations/#A8564688/Case#24-93808/Toom, A., 04/24/25
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5/6/2025	24-93878	\$ 133.45	5/18/2025		JP3 Citations/#A8564694/Case#24-93878/Lindsey, B., 04/24/25
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5/6/2025	25-94123	\$ 90.95	5/18/2025		JP3 Citations/#A8611850/Case#25-94123/Dominguez, C., 04/21/25
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5/6/2025	25-94126	\$ 119.00	5/18/2025		JP3 Citations/#A8611846/Case#25-94126/Gomez, J., 04/29/25
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5/6/2025	25-94138	\$ 133.45	5/18/2025		JP3 Citations/#A8611858/Case#25-94138/Paredes, J., 04/21/25
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5/5/2025	425-032797	\$ 133.45	5/18/2025		JP4 Citations/#A8611856/Case#425-032797/Villa, E., 05/05/25
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10542 - Perdue Brandon Fielder Collins & Mott LLP

4/3/2025	10792	\$ 1,273.60	5/18/2025		JP3 Fines and Fees - March 2025
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5/7/2025	11750	\$ 27.09	5/18/2025		Co Court at Law Fines and Fees - April 2025
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14392 - Dobson, Tommy

5/5/2025	25-4762	\$ 33.00	5/18/2025		Refund of Fees/Case #25-4762
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14395 - Feldman Law Group

5/6/2025	A-2384	\$ 21,916.89	5/18/2025		Sale Proceeds Writ of Execution Cause#2024-83837, 5/6/25
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<b>Balance Sheet Accounts-10000 - Totals</b>		<b>\$ 414,525.27</b>			
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Centralized Costs

10065 - The Huntsville Item

4/30/2025	042517519	\$ 3,057.29	5/18/2025		Monthly Service - 04/01-29/25
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10269 - AT&T

5/1/2025	435-2474.050125	\$ 1,179.58	5/18/2025		Monthly Service - 05/01/25-05/31/25
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5/1/2025	435-8700.050125	\$ 1,057.47	5/18/2025		Monthly Service - 05/01-31/25
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10270 - Texas Association of Counties HEBP

5/5/2025	BCBS0425	\$ 18,209.60	5/18/2025		April 2025-County's Portion
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10356 - Sam Houston Memorial Funeral Home

4/27/2025	25-0115	\$ 619.00	5/18/2025		Transport/Case#25-0115
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4/28/2025	25-0117	\$ 619.00	5/18/2025		Transport/Case#25-0117
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5/1/2025	25-0119	\$ 619.00	5/18/2025		Transport/Case#25-0119
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5/2/2025	25-0121	\$ 619.00	5/18/2025		Transport/Case#25-0121
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11866 - Guthrie, Regina

6/1/2025	G250601	\$ 500.00	6/1/2025		Parking Lot Rental - 06/25
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12203 - Frontier Communications of Texas

5/13/2025	344-2255.051325	\$ 169.64	5/18/2025		Monthly Service - 05/13/25-06/12/25
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12363 - Rollo Insurance Group, Inc.

5/12/2025	11269	\$ 234.00	5/18/2025		Bond/Public Employee/Juvenile Services 02/13/25-02/13/26
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13282 - Pattillo, Brown & Hill, L.L.P.

3/31/2025	502058	\$ 6,800.00	5/18/2025		Final Bill- Annual Audit 2024/Ref Credit Inv#502058-CM
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3/31/2025	502058-CM	(\$ 6,800.00)	5/18/2025		Final Bill- Annual Audit 2024/Ref Org Inv#502058
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13562 - Prestige Tower Services

5/10/2025	INV-614	\$ 500.00	5/18/2025		Monthly Tower Maintenance - May 2025
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13662 - Fort Bend Medical Examiner

5/5/2025	1494	\$ 20,800.00	5/18/2025		Autopsy (x8) Case#25-00298WK-01/29/25 Case#25-00418WK-02/10/25 Case#25-00434WK-02/12/25 Case#25-00645WK-03/10/25 Case#25-00831WK-03/29/25 Case#25-00832WK-03/29/25 Case#25-00838WK-03/31/25 Case#25-00871WK-04/02/25
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Centralized Costs

13856 - Optimum

5/5/2025	07707154276015. 2505	\$ 120.00	5/18/2025		Monthly Service-05/05/25-06/04/25
5/5/2025	07707154276015. 2505	\$ 10.50	5/18/2025		Monthly Service-05/05/25-06/04/25
5/5/2025	07707154276015. 2505	\$ 35.43	5/18/2025		Monthly Service-05/05/25-06/04/25
	<b>Invoice Total</b>	<b>\$ 165.93</b>			

**Centralized Costs-19010 - Totals** **\$ 48,349.51**

Constable Precinct 2

10130 - TAC

5/7/2025	244113.2025	\$ 70.00	5/18/2025		JPCA Membership Dues, Loosier, S.- 01/01/25-12/31/25
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**Constable Precinct 2-44020 - Totals** **\$ 70.00**

Constable Precinct 3

13614 - Auto Parts of Huntsville, Inc

5/6/2025	671305	\$ 65.99	5/18/2025	PA - 2538	FAS#12638 - Auxiliary Battery Relay
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**Constable Precinct 3-44030 - Totals** **\$ 65.99**

Constable Precinct 4

10092 - Powers Auto Supply

5/5/2025	160636	\$ 28.88	5/18/2025	PO - 42904	Black Cable Ties 24.9", Black Cable Ties 17"
4/8/2025	160929	\$ 16.28	5/18/2025	PO - 42904	FAS#10422 - Orange Cooling System Antifreeze 1 gal, Pennzoil Ultra Platinum Motor Oil 5W30 Full Synthetic 1 qt

11446 - Johnson Wrecker Service

4/28/2025	500737	\$ 95.00	5/18/2025	PO - 42940	FAS#12773 - Towing from 9360 Hwy 75 S to W C Auto
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13370 - Walker County Transmissions/WC Auto

5/7/2025	23729	\$ 1,202.48	5/18/2025	PO - 42928	FAS#12773 - Replace Spark Plugs, Plug Wires, Ignition Coils x3, Remove & Replace Positive Main Battery Fuse, Parts & Labor
5/2/2025	23780	\$ 126.84	5/18/2025	PO - 42928	FAS#12628 - Change Motor Oil Lube Chassis, Air Filter, Tire Rotation, Shop Supplies, Parts & Labor

14285 - Emerge Services, LLC

5/6/2025	1193	\$ 15,442.00	5/18/2025	PO - 43252	FAS 13819-Upfitting 2024 Durango
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**Constable Precinct 4-44040 - Totals** **\$ 16,911.48**

Constables Central

13796 - ODP Business Solutions, LLC

4/23/2025	420268319001	\$ 23.32	5/18/2025	PA - 2531	File Folders Pack Of 100, Retractable Gel Pens 4/pk x2
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**Constables Central-44001 - Totals** **\$ 23.32**



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County Auditor

14336 - Canon U.S.A., Inc.

4/30/2025	6011728529	\$ 56.23	5/18/2025		Maintenance - Copier Usage - 03/31/25-04/29/25
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<b>County Auditor-20010 - Totals</b>		<b>\$ 56.23</b>			
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County Clerk

10475 - Texas Department of State Health Services

5/1/2025	2025275	\$ 203.13	5/18/2025		Remote Birth Access 04/01-30/25
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<b>County Clerk-15050 - Totals</b>		<b>\$ 203.13</b>			
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County Court at Law

10058 - Texas Court Reporters Association

5/6/2025	TCRA00025177	\$ 450.00	5/18/2025		Registration/2025 TCRA Annual Convention - 9/4-6/25 /Burrus, M.
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10629 - Bennett Law Office PC

5/6/2025	24-0566	\$ 500.00	5/18/2025		Cause #24-0566
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5/7/2025	24-0597	\$ 500.00	5/18/2025		Cause #24-0597
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5/12/2025	25-0129	\$ 500.00	5/18/2025		Cause #25-0129
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5/6/2025	25-0185	\$ 500.00	5/18/2025		Cause #25-0185
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11811 - Law Office of Joseph W Krippele

5/12/2025	24-0565	\$ 500.00	5/18/2025		Cause #24-0565
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5/12/2025	25-0063	\$ 500.00	5/18/2025		Cause #25-0063
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5/12/2025	25-0109	\$ 500.00	5/18/2025		Cause #25-0109
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5/12/2025	25-0202	\$ 500.00	5/18/2025		Cause #25-0202
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5/12/2025	25-0218	\$ 500.00	5/18/2025		Cause #25-0218
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5/7/2025	J25-09	\$ 500.00	5/18/2025		Cause #J25-09
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5/7/2025	K-2386	\$ 500.00	5/18/2025		Cause #Unfiled/ITMO R.G.-Juvenile
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13289 - Cain Law, PLLC

5/12/2025	24-0082	\$ 500.00	5/18/2025		Cause #24-0082
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5/6/2025	24-0654	\$ 500.00	5/18/2025		Cause #24-0654
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5/6/2025	25-0183	\$ 500.00	5/18/2025		Cause #25-0183
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5/6/2025	25-0200	\$ 500.00	5/18/2025		Cause #25-0200
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5/12/2025	J25-07	\$ 600.00	5/18/2025		Cause #J25-07 CT1, CT2
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5/6/2025	K-2383	\$ 900.00	5/18/2025		Cause #24-0324, #25-0316 CT1, CT2, CT3, #25-0317
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13655 - Riley, Michael

5/2/2025	25-0100	\$ 500.00	5/18/2025		Cause #25-0100
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5/2/2025	25-0186	\$ 500.00	5/18/2025		Cause #25-0186
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County Court at Law

13765 - Hersom Law Firm

5/8/2025	24-0523	\$ 600.00	5/18/2025		Cause #24-0523 CT1, CT2
5/2/2025	25-0209	\$ 600.00	5/18/2025		Cause #25-0209 CT1, CT2
5/2/2025	25-0211	\$ 600.00	5/18/2025		Cause #25-0211 CT1, CT2

14340 - The Guerra Firm PLLC

5/13/2025	10653G.	\$ 2,883.94	5/18/2025		Cause #10653G
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<b>County Court at Law-30020 - Totals</b>		<b>\$ 15,133.94</b>			
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County Facilities

10071 - Johnson Supply & Equipment Corp.

4/9/2025	11226064	\$ 213.08	5/18/2025	PO - 42707	Jail - Refrigerant R410A 25lb
4/30/2025	11226446	\$ 18.90	5/18/2025	PO - 42706	JP 4 - Pleat Filter 20x20x1 x2, Pleat Filter 12x24x1

10076 - McCaffety Electric Co., Inc.

5/5/2025	89885	\$ 125.00	5/18/2025	PA - 2494	Storm Shelter - Check for Possible Electrical Issues
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10108 - ThyssenKrupp Elevator Corporation

4/25/2025	5002843374	\$ 1,101.00	5/18/2025	PO - 43251	Travel, Labor & Trip Charge - Courthouse Elevator Repairs
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10143 - Walker County Hardware

5/1/2025	162144	\$ 6.46	5/18/2025	PA - 2490	RB 1 - Single Cut Key x4
5/9/2025	162535	\$ 48.57	5/18/2025	PA - 2490	Purchasing - 2 in. D Swivel Nylon Twin Caster 75 lb 2 pk Courthouse - Toilet Repair Kit Black Plastic, Vacuum Breaker Repair Kit Black Plastic/Rubbe
5/13/2025	162692	\$ 43.98	5/18/2025	PA - 2490	Annex- LED Bulb BR30 DIMM 6pk x2
5/14/2025	162723	\$ 35.58	5/18/2025	PA - 2490	Storm Shelter- Cobalt Drill Bit 1/2", Cobalt Drill Bit 1/8"

10238 - Precision Pest Control

5/12/2025	18115	\$ 40.00	5/18/2025	PO - 42847	Senior Center - Monthly-Jan 2025
5/12/2025	18443	\$ 40.00	5/18/2025	PO - 42847	Senior Center - Monthly-March 2025
4/3/2025	18452	\$ 450.00	5/18/2025	PO - 42847	Jail - Monthly-March 2025
4/25/2025	18988	\$ 40.00	5/18/2025	PO - 42847	Senior Center - Monthly-April 2025
5/1/2025	19369	\$ 450.00	5/18/2025	PO - 42847	Jail - Monthly-April 2025

10273 - Capital One

5/12/2025	TR# 03851	\$ 67.92	5/18/2025	PA - 2492	Men Sun Shirt x4
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County Facilities

10317 - Home Depot

5/1/2025	0032159	\$ 26.60	5/18/2025	PA - 2486	Maintenance - Heavy Duty 5 gal. Metal Bucket Grid, 5 gal. Homer Bucket, 5 gal. Orange Paint Bucket Lid, Scotch 1.41 In. x 60.1 Yds. Rough Surface Green Painter's Tape (1 Roll)  Ag Ext - Dynaflex Ultra 10.1 oz. Brown Advanced Exterior Window, Door and Sidi
4/30/2025	1623102	\$ 69.04	5/18/2025	PA - 2486	Communications - 40 mm Covered Aluminum Padlock Maintenance - 32 oz. Outdoor Lawn and Garden Insect Killer Ready-To-Use, 1 Gal. Weed and Grass Killer Roundup x2
5/9/2025	2624172	\$ 7.47	5/18/2025	PA - 2486	Purchasing - 2 in. Black Soft Rubber and Steel Swivel Plate Caster
5/6/2025	5623772	\$ 35.94	5/18/2025	PA - 2486	Maintenance - Black Oxide Hex Shank Twist Drill Bit Set, 5 in. Flush Cut Pull Saw
5/6/2025	5623780	\$ 12.72	5/18/2025	PA - 2486	JP 2 - 1 in. x 1.67 yd. Black Heavy Duty Mounting Tape, Sheet Metal Screws, Wood Screws
5/2/2025	9623354	\$ 39.98	5/18/2025	PA - 2486	Ag Ext - Vinyl Covebase Black 0.080 in. T x 4 in. W x 4 ft. L Dryback

10441 - Elliott Electric Supply

4/22/2025	10-60448-01	\$ 3.63	5/18/2025	PO - 42705	Courthouse - 3/4 Inch Multi-Grip Pipe Clamp x3, 1/2 Inch Multi-Grip Pipe Clamp
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10734 - A & A Fence Company

5/6/2025	00736	\$ 650.00	5/18/2025	PO - 43163	Walker County Precinct 4 - Repair 2 rolling gates
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12746 - Extreme Signs and Lighting LLC

5/1/2025	250573-1	\$ 200.00	5/18/2025	PO - 43247	Annex - Parking Lot Signs, 2 for Entrance, 2 for Exit, Double Sided
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12990 - Api National Service Group, Inc.

5/7/2025	137656	\$ 1,089.55	5/18/2025	PO - 42702	Annual Inspections - Storm Shelter/Extinguisher (x8), Extinguisher Service Fee, Fire Alarm Devices x31, Kitchen Hood, Sprinkler, Backflow x2, Alarm, City Backflow Fees x2
5/7/2025	137657	\$ 1,869.83	5/18/2025	PO - 42702	Annual Inspection All Locations - Extinguishers x289, Extinguisher Service Fee, Sprinkler Inspections X3, Backflow Inspections x3, Backflow Fees x3

13581 - Lone Star AC & Refrigeration LLC

5/1/2025	2063	\$ 2,925.50	5/18/2025	PO - 42708	Courthouse - Service Call, Tech Labor, Suction Transducer Carrier Chiller, SPM Compressor Board Carrier Chiller, Thermistor, Suction Transducer Cable
5/1/2025	2100	\$ 1,308.50	5/18/2025	PO - 42708	Storm Shelter - Commercial Service Call, Tech Labor, Carrier Small Flow Switch

13614 - Auto Parts of Huntsville, Inc

5/7/2025	671459	\$ 80.71	5/18/2025	PO - 42698	FAS#10399 - SilentGUARD Rear Disc Brake Pads, SilentGUARD Front Disc Brake Pads
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County Facilities

14057 - Pro Generator Services, LLC

5/9/2025	131104	\$ 1,424.40	5/18/2025	PO - 42738	Quarterly Inspections for 8 Generators - 05/05/25 Generator Repair - Radio Tower, Replaced Fan Belt
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<b>County Facilities-17010 - Totals</b>	<b>\$ 12,424.36</b>
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County Jail

10023 - Coburn's Huntsville # 15

5/1/2025	156263755	\$ 66.64	5/18/2025	PO - 42670	West Boiler Room Leak Repair - 3/4" Copper Coupling x6, 3/4" Copper 90 Elbow x2, 3/4" Low Lead Brass Ball Valve
5/1/2025	156263765	\$ 17.02	5/18/2025	PO - 42670	West Boiler Room Leak Repair - Viega Copper ProPress Connector

10143 - Walker County Hardware

5/1/2025	162192	\$ 8.59	5/18/2025	PO - 42659	Port-A Cool Repair - V Belt 1/2" x 45"
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12497 - Johnson, Darryl

5/13/2025	2464	\$ 225.00	5/18/2025		Psychological Testing/Cangelose, V.- 05/07/25
5/13/2025	2465	\$ 225.00	5/18/2025		Psychological Testing/Harrison, A.- 05/07/25

13258 - Summit Food Service, LLC

5/6/2025	INV2000241738	\$ 8,666.36	5/18/2025	PO - 42952	Inmate Meals - 04/26/25-05/02/25
5/13/2025	INV2000242445	\$ 8,513.61	5/18/2025	PO - 42952	Inmate Meals - 05/03-09/25

13277 - Buckeye Cleaning Center - Houston

5/9/2025	90670850	\$ 3,285.97	5/18/2025	PO - 42950	Eco Odor Eliminator x3, Eco Ph Neutral Cleaner x4, Eco Neutral Disinfectant x2, Eco Odor Counteractant x5, Roll Towel 800' 6/cs x12, Tissue 2-Ply 156.25'/RL 96/cs x20, Broom 24" x6, Handle 60" 12/cs, Lemon Quat x8
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13614 - Auto Parts of Huntsville, Inc

5/2/2025	670696	\$ 104.87	5/18/2025	PO - 42947	FAS#12422 - Engine Motor Mount Hy
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13754 - Lolley, William

4/30/2025	K-2354	\$ 100.00	5/18/2025		Per Diem/Extradition/San Diego, CA -04/29-30/25
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14126 - Jeffcoat, Joe

4/30/2025	K-2355	\$ 100.00	5/18/2025		Per Diem/Extradition/San Diego, CA -04/29-30/25
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14169 - Perry Office Products, Inc.

5/13/2025	IN-1579812	\$ 1,174.53	5/18/2025	PO - 42661	Oxy Brilliant 5gal Laundry Destainer x2, Detergent Plus 15gal x2, Laundry Oxy Brilliant Bleach 15gal x1
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<b>County Jail-50010 - Totals</b>	<b>\$ 22,487.59</b>
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County Jail Inmate Medical Cost Center

10434 - McKesson Medical-Surgical Government Solutions, LLC

4/29/2025	23697245	\$ 128.98	5/18/2025	PO - 43020	Blood Glucose Test Strips 50/bx x4, Pregnancy Test 2/bx x2, Unisex Adult Absorbent Underwear 18/bg
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<b>County Jail Inmate Medical Cost Center-50020 - Totals</b>	<b>\$ 128.98</b>
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County Treasurer - Collections

10284 - LexisNexis Risk Data Management, Inc.

4/30/2025	1100133131	\$ 305.10	5/18/2025		Acct#1125970 - 04/01-30/25
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<b>County Treasurer - Collections-20030 - Totals</b>		<b>\$ 305.10</b>			
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County Auditor-Financial Systems

11694 - Brown, William

5/13/2025	C0000265	\$ 170.00	5/18/2025		Computer Software Services - 05/13/25
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5/14/2025	C0000266	\$ 255.00	5/18/2025		Computer Software Services - 05/14/25
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12478 - Quantum Dynamix, LLC

5/8/2025	108427	\$ 1,462.50	5/18/2025		Consulting Services, Senior D365 Developer (Ed) 04/1-30/25 -Senior D365 Developer (Srujana)04/1- 30/25
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14022 - Arctic Information Technology, Inc.

4/30/2025	MS-45412	\$ 1,867.84	5/18/2025	PA - 2576	Support Services - Application (T&M) 04/01-22/25
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<b>County Auditor-Financial Systems-20005 - Totals</b>		<b>\$ 3,755.34</b>			
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Court Reporter Fees

11323 - Stephens, Sherry

4/30/2025	28,097	\$ 4,100.00	5/18/2025		CSR Svc/Cause #28,097/Gillespie, S., 12/03-05/24
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<b>Court Reporter Fees-34020 - Totals</b>		<b>\$ 4,100.00</b>			
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Courts-Central Costs

11873 - The Gallery

5/6/2025	2810	\$ 1,561.00	5/18/2025		Judge Gates, Commissioners' Underwood, Yelverton, Wells, Hambleton restoration, refit frames
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11931 - Spang-Glish Interpreters, LLC

5/13/2025	2288	\$ 399.00	5/18/2025		Interpreter Service/Mileage -04/15-16/25
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12569 - Montgomery County Clerk

5/5/2025	25-20320	\$ 425.00	5/18/2025		Physician Fee, Attorney Fees/Cause #25-20320
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<b>Courts-Central Costs-30010 - Totals</b>		<b>\$ 2,385.00</b>			
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Criminal District Attorney

10077 - Lexis-Nexis

5/5/2025	3095676688	\$ 972.00	5/18/2025		Acct#4254HQXM9 Online Searches 03/01-31/25
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4/30/2025	3095744123	\$ 972.00	5/18/2025		Acct#4254HQXM9 Online Searches 04/01-30/25
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14389 - Texas Forensic Nurse Examiners

5/6/2025	11126	\$ 325.00	5/18/2025		Svc Rend/Cause #31,955- Flores, G. -09/27/24
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<b>Criminal District Attorney-32010 - Totals</b>		<b>\$ 2,269.00</b>			
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District Attorney Supplement

11045 - Russell, Quentin

5/14/2025	K-2394	\$ 263.00	5/18/2025		Reimbursement for State Bar Dues 2025-2026/#11276663
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13856 - Optimum

5/5/2025	07707154276015. 2505	\$ 31.17	5/18/2025		Monthly Service-05/05/25-06/04/25
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<b>District Attorney Supplement-32040 - Totals</b>		<b>\$ 294.17</b>			
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Elections

10083 - Elections Systems & Software, Inc.

4/29/2025	CD2119411	\$ 449.85	5/18/2025	PA - 2564	Thermal Express Vote Activation Card Custom x2,500 Freight Rush Fee
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10941 - Thompson, Elizabeth

5/3/2025	A-2367	\$ 156.75	5/18/2025		Cook Springs Baptist Church 5 03 25
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10947 - Anderson, Joe Ann

5/3/2025	A-2364	\$ 148.50	5/18/2025		Walker Co Annex 5 03 25
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11256 - Lawson, Charles

5/3/2025	A-2363	\$ 187.00	5/18/2025		Walker Co Annex 5 03 25 & Delivery Fee
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12020 - Blaylock, Cynthia

5/3/2025	A-2372	\$ 154.00	5/18/2025		Riverside 5 03 25
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12124 - Moten, Linda

5/3/2025	A-2365	\$ 156.75	5/18/2025		Cook Springs Baptist Church 5 03 25
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12137 - Rosenberger, Sylvia

5/3/2025	A-2376	\$ 193.00	5/18/2025		Riverside 5 03 25 & Delivery Fee
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12138 - Odom, Sharon

5/3/2025	A-2381	\$ 110.00	5/18/2025		EVBB 5 03 25
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12417 - Standlee, David

5/3/2025	A-2380	\$ 120.00	5/18/2025		EVBB 5 03 25
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12740 - Penney, Deborah

5/3/2025	A-2368	\$ 196.00	5/18/2025		Cook Springs Baptist Church 5 03 25 & Delivery Fee
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12811 - Schneider, Heidi

5/3/2025	A-2373	\$ 154.00	5/18/2025		Riverside 5 03 25
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13040 - Friday, Beth

5/3/2025	A-2379	\$ 19.25	5/18/2025		Receiving 5 03 25
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13348 - Wilson, Patricia

5/3/2025	A-2377	\$ 154.00	5/18/2025		New Waverly First Baptist Church 5 03 25
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Elections

13441 - Harrison, Donnie

5/3/2025	A-2382	\$ 110.00	5/18/2025		EVBB 5 03 25
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13534 - Utley, Patti

5/3/2025	A-2378	\$ 121.00	5/18/2025		New Waverly First Baptist Church 5 03 25
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13604 - Kovalcik, Michael

5/3/2025	A-2371	\$ 151.25	5/18/2025		Storm Shelter 5 03 25
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13753 - Donnellan, Kevin

5/3/2025	A-2366	\$ 156.75	5/18/2025		Cook Springs Baptist Church 5 03 25
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13894 - Stephens, Jack

5/3/2025	A-2361	\$ 148.50	5/18/2025		Walker Co Annex 5 03 25
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14074 - Glover, Jimmie

5/3/2025	A-2369	\$ 151.25	5/18/2025		Storm Shelter 5 03 25
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14080 - Ferguson, Judy

5/3/2025	A-2360	\$ 148.50	5/18/2025		Walker Co Annex 5 03 25
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14083 - Moore, Carl

5/3/2025	A-2375	\$ 154.00	5/18/2025		Riverside 5 03 25
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14154 - Shelly-Johnson, Cameron Lee

5/3/2025	A-2370	\$ 151.25	5/18/2025		Storm Shelter 5 03 25
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14156 - Levingston, Lois

5/3/2025	A-2362	\$ 148.50	5/18/2025		Walker Co Annex 5 03 25
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14311 - Watson, Jennifer

5/3/2025	A-2374	\$ 154.00	5/18/2025		Riverside 5 03 25
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<b>Elections-16020 - Totals</b>		<b>\$ 3,794.10</b>			
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Emergency Operations

10269 - AT&T

5/1/2025	435-2474.050125	\$ 446.22	5/18/2025		Monthly Service - 05/01/25-05/31/25
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11780 - NI Government Services, Inc.

5/8/2025	25043229681	\$ 73.73	5/18/2025		Satellite Phone Service 04/01-30/25
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13676 - DirecTV LLC

5/11/2025	039643069.25051 1	\$ 132.99	5/18/2025		Monthly Service - 05/10/25-06/09/25
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5/11/2025	075669314.25051 1	\$ 236.99	5/18/2025		Monthly service - 05/10/25-06/09/25
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<b>Emergency Operations-46010 - Totals</b>		<b>\$ 889.93</b>			
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**Health and Human Services -  
Governmental/Services Contracts**

10104 - Rita B Huff Humane Society

4/10/2025	402502	\$ 1,000.00	5/18/2025		Service for April 2025
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10225 - Senior Center of Walker County

6/1/2025	SC250601	\$ 1,250.00	6/1/2025		Service Contract - 06/25
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<b>Health and Human Services - Governmental/Services Contracts-69940 - Totals</b>		<b>\$ 2,250.00</b>			
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**Health and Human Services Projects**

12262 - City of Riverside

5/12/2025	403	\$ 2,206.40	5/18/2025	PO - 43259	Trash Bash Dumpsters
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14122 - Live Oak Environmental LLC

4/30/2025	0001829448	\$ 222.04	5/18/2025	PO - 43230	30 Yard Roll Off Dumpster
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4/30/2025	0001829448	\$ 1,400.00	5/18/2025	PO - 43230	Delivery Fee x8
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<b>Invoice Total</b>		<b>\$ 1,622.04</b>			
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<b>Health and Human Services Projects-69990 - Totals</b>		<b>\$ 3,828.44</b>			
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**IT Operations**

11478 - Early, Dan

4/30/2025	K-2397	\$ 395.30	5/18/2025		Per Diem/Miles 479.0/San Antonio, TX 04/22-25/25
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<b>IT Operations-15020 - Totals</b>		<b>\$ 395.30</b>			
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**Justice of Peace Precinct 2**

10130 - TAC

5/8/2025	255262.2025	\$ 70.00	5/18/2025		JPCA Membership Dues, Payne, M.-01/01/25-12/31/25
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13796 - ODP Business Solutions, LLC

4/8/2025	417141363001	\$ 267.71	5/18/2025	PO - 42915	HP 26A Black Toner Cartridges, Pack Of 2
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4/7/2025	417146020001	\$ 394.37	5/18/2025	PO - 42915	HP 89A Black Toner Cartridge x2
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14286 - Ricoh USA, Inc.

4/27/2025	5071306469	\$ 9.00	5/18/2025		Maintenance - Copier Usage - 04/30/25-05/30/25
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<b>Justice of Peace Precinct 2-33020 - Totals</b>		<b>\$ 741.08</b>			
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**Juvenile HGAC Services Grant**

11663 - Life Investment Counseling

5/15/2025	1415	\$ 240.00	5/18/2025		Svc Rnd - 10/01/24-03/11/25 - PID#3366 8 Sessions
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5/15/2025	1416	\$ 80.00	5/18/2025		Svc Rnd - 01/18/25 - PID#3375 1 Session
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12699 - Cleveland, Mervin

4/29/2025	0000089	\$ 420.00	5/18/2025		Svc Rnd- 03/04-31/25, PID#3374, 3208, 3396
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<b>Juvenile HGAC Services Grant-36070 - Totals</b>		<b>\$ 740.00</b>			
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Juvenile Probation Support - General Fund

10269 - AT&T

5/1/2025	435-2474.050125	\$ 99.16	5/18/2025		Monthly Service - 05/01/25-05/31/25
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11029 - Payne, April

4/29/2025	K-2378	\$ 93.24	5/18/2025		Miles 133.2/Bryan, TX 04/29/25
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4/30/2025	K-2379	\$ 93.24	5/18/2025		Miles 133.2/Bryan, TX 04/30/25
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11083 - Saumell, Jill

4/29/2025	K-2381	\$ 95.20	5/18/2025		Miles 136.0/Bryan, TX 04/29/25
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11663 - Life Investment Counseling

5/15/2025	1415	\$ 400.00	5/18/2025		Svc Rnd - 10/01/24-03/11/25 - PID#3366 8 Sessions
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13361 - Gorman, Shana

4/30/2025	K-2380	\$ 101.64	5/18/2025		Miles 145.2/Bryan, TX 04/29-30/25
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14185 - Recovery Monitoring Solutions Corporation

4/30/2025	10100111	\$ 270.00	5/18/2025		GPS Monitoring Service - April 2025 - PID 3339 04/01-30/25
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14299 - Borbor, Byanka

4/30/2025	A-2358	\$ 96.95	5/18/2025		Meal/Miles - 138.5/Brazos County - 04/29-30/25
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4/28/2025	K-2388	\$ 9.24	5/18/2025		Miles 13.2 - 04/10-28/25
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<b>Juvenile Probation Support - General Fund-36010 - Totals</b>	<b>\$ 1,258.67</b>				
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Juvenile State/Grant Aid

13172 - Victoria County Juvenile Services

4/30/2025	41562025	\$ 9,000.00	5/18/2025		Detention: PID#3358- 04/01-03/25 PID#3339- 04/30/25 PID#3403- 04/05-21/25 PID#3383- 04/07-30/25
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13324 - Smith County

4/4/2025	WC 202503	\$ 7,750.00	5/18/2025		Detention, PID#3359 - 03/01-31/25
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5/8/2025	WC 202504	\$ 7,500.00	5/18/2025		Detention, PID#3359 - 04/01-30/25
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<b>Juvenile State/Grant Aid-36040 - Totals</b>	<b>\$ 24,250.00</b>				
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Law Library

10077 - Lexis-Nexis

4/30/2025	3095744667	\$ 465.26	5/18/2025		Acct#4254LKZT3 04/01-30/25
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4/30/2025	3095744993	\$ 182.00	5/18/2025		Acct#4254NTQMV Online Searches 04/01-30/25
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10212 - Thomson Reuters - West

5/1/2025	851948855	\$ 176.90	5/18/2025		Acct#1005229398 - 05/01-31/25
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<b>Law Library-34030 - Totals</b>	<b>\$ 824.16</b>				
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Planning and Development

10389 - Richard Rush

5/2/2025	1319	\$ 1,500.00	5/18/2025		GIS Consulting - 2/01-28/25
5/2/2025	1320	\$ 1,500.00	5/18/2025		GIS Consulting - 3/01-31/25
5/2/2025	1321	\$ 1,500.00	5/18/2025		GIS Consulting - 4/01-30/25

11724 - TransUnion Risk and Alternative Data Solution, Inc.

5/1/2025	473750-202504-1	\$ 75.00	5/18/2025		Information Svcs/Acct#473750 - 04/01-30/25
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13796 - ODP Business Solutions, LLC

4/30/2025	422309178001	\$ 216.43	5/18/2025	PO - 42846	Staples, 1/4" Premium, Full Strip, Box Of 5,000 x3, #10 Security Envelopes, Box Of 500 x2, Multi-Use Printer & Copy Paper, 10 Reams x3, Printer & Copy Paper x2, File Folders, 1/3 Cut, Letter Size, Pack Of 100 Folders
4/29/2025	422310881001	\$ 12.99	5/18/2025	PO - 42846	2-Tone File Folders, 1/3 Cut, Legal Size, Blue, Pack Of 100

**Planning and Development-61020 - Totals \$ 4,804.42**

Public Safety Governmental/Services Contracts

10020 - City of Huntsville

6/1/2025	CH250601	\$ 20,541.00	6/1/2025		Fire Protection - 06/25
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**Public Safety Governmental/Services Contracts-49940 - Totals \$ 20,541.00**

Revenues-Sheriff Commissary Fund

13503 - NCIC Inmate Communications

4/30/2025	0029901-IN	\$ 3,432.48	5/18/2025		Commissary Sales/Debit Time/Video/Messaging-04/01-30/25
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**Revenues-Sheriff Commissary Fund-11578 - Totals \$ 3,432.48**

Revenues-Walker County EMS Fund

14391 - Penstock Group LLC

5/7/2025	K-2389	\$ 153.61	5/18/2025		Refund of Overpayment/Emergicon Date of Svc 06/25/23 Original Pay Date 09/15/23
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**Revenues-Walker County EMS Fund-11301 - Totals \$ 153.61**

Road and Bridge General

10594 - P2 Emulsions

5/2/2025	25139	\$ 16,128.62	5/18/2025	PA - 2483	4,878 Gals P2 CWP Pothole Patch Asphalt Emulsion, Pump & Hose Charge
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11379 - Liberty Tire Recycling, LLC

4/19/2025	2964984	\$ 2,928.96	5/18/2025	PO - 43185	Tire Trailer for RB3 - Drop off first week in April, Fuel Surcharge
4/19/2025	2964984	(\$ 1,254.30)	5/18/2025	PO - 43185	Tire Trailer for RB3 - Drop off first week in April, Fuel Surcharge

**Invoice Total \$ 1,674.66**



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Road and Bridge General

13614 - Auto Parts of Huntsville, Inc

5/1/2025	670486	\$ 112.55	5/18/2025	PO - 42634	FAS#13485 - Fuel Filter x3, Oil Filter
5/1/2025	670531	\$ 46.68	5/18/2025	PO - 42634	FAS#13485 - Air Filter

<b>Road and Bridge General-82200 - Totals</b>	<b>\$ 17,962.51</b>
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Road and Bridge Precinct 1

10073 - Linde Gas & Equipment, Inc.

4/30/2025	49537773	\$ 26.65	5/18/2025	PO - 42892	Oxygen M
5/7/2025	49635727	\$ 99.57	5/18/2025	PO - 42892	Victor SR 450 Cylinder Regulator Trade In

10547 - Mustang Cat

5/2/2025	PART6932626	\$ 188.24	5/18/2025	PO - 42817	FAS#10180 - 1.6mm Inner Diameter Fuel Injector
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11389 - Huntsville A-1 Tire Repair, LLC

5/12/2025	139234	\$ 250.00	5/18/2025	PO - 42823	FAS# 10173- Service Charge, Tire Mount. Tire Repair
5/8/2025	141117	\$ 34.03	5/18/2025	PO - 42823	FAS#10172 - Air Governor - KN18530
5/13/2025	141240	\$ 146.22	5/18/2025	PO - 42823	FAS#13857 - Level Sensor

11390 - Ellis D. Walker Trucking, LLC

5/5/2025	12696	\$ 524.79	5/18/2025	PO - 42798	30.87 Yards Concrete Rubble
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13614 - Auto Parts of Huntsville, Inc

5/1/2025	670459	\$ 8.74	5/18/2025	PO - 42765	Hose Barbed Fittings, Air Hose Coupler - Type D
5/1/2025	670503	\$ 114.65	5/18/2025	PO - 42765	FAS#12290 - A/C Blower Motor
5/1/2025	670503	\$ 7.95	5/18/2025	PO - 42765	Torx Screwdriver T20X4
	<b>Invoice Total</b>	<b>\$ 122.60</b>			
5/6/2025	671260	\$ 154.91	5/18/2025	PO - 42765	FAS#10368 - 2 Yr Warranty Battery, Enviromental Tax, Core Deposit Provided
5/6/2025	671265	\$ 6.99	5/18/2025	PO - 42765	Battery Cleaner
5/8/2025	671682	\$ 23.99	5/18/2025	PO - 42765	Antifreeze 1 gallon
5/12/2025	672291	\$ 47.98	5/18/2025	PO - 42765	Antifreeze 1 gallon x2

<b>Road and Bridge Precinct 1-82210 - Totals</b>	<b>\$ 1,634.71</b>
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Road and Bridge Precinct 2

10090 - Walker County Special Utility District

4/30/2025	280.2504	\$ 43.76	5/18/2025		Monthly Service Thru 04/30/2025
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10098 - Reliable Parts Co.

4/7/2025	002009021	\$ 172.20	5/18/2025		FAS #10188 -(Ref P O #42813 - Credited with Invoice #002009039) Condenser
4/7/2025	002009039	(\$ 172.20)	5/18/2025		FAS #10188 -(Ref P O #42813 - Credit for Invoice #002009021) Condenser
5/5/2025	002010967	\$ 79.80	5/18/2025	PO - 42813	FAS#13720 - Blue Def Diesel Exhaust Fluid DEF: 2.5 gal x4





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Road and Bridge Precinct 2

10143 - Walker County Hardware

5/1/2025	162188	\$ 60.13	5/18/2025	PO - 42828	Dawn Ultra Original Scent Liquid Dish Soap 18 oz, Dawn Ultra Platinum Refreshing Rain Scent Liquid Dish Soap 14.6 oz x2, Ace White 5-gal Bucket, Shop Towel 10x12 Box 200/pk x3
5/5/2025	162320	\$ 155.96	5/18/2025	PO - 42828	Chain Saw Chain x4
5/5/2025	162323	\$ 271.94	5/18/2025	PO - 42828	VP Racing Fuels 5-gal, Rapid Super Saw Chain 20" x4, Gas Can No Spill 1.25 Gal
5/6/2025	162346	\$ 29.28	5/18/2025	PO - 42828	Hillman 5/16 in. Zinc-Plated Steel USS Hex Nut 100 pk, Hex Tap Bolts 100/pk

10151 - Woods Welding, Inc.

5/5/2025	1196	\$ 2,454.92	5/18/2025	PO - 42902	FAS#10385 - Repair Dump Truck Bed, Shop Supplies, Labor
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10454 - Southern Tire Mart, LLC

4/30/2025	4590154731	\$ 2,707.16	5/18/2025	PO - 43216	2 - 13.00R24 Tires FAS 10201
4/30/2025	4590154731	\$ 280.00	5/18/2025	PO - 43216	2 - ST225/75R15/14 Tires FAS 11506
4/30/2025	4590154731	\$ 620.00	5/18/2025	PO - 43216	4 - ST235/80R16/14 Tires FAS 10188

**Invoice Total \$ 3,607.16**

10547 - Mustang Cat

4/30/2025	WORK1327840	\$ 301,012.32	5/18/2025	PO - 43150	FAS #10187 - Internal repairs/rebuild of a 140H Cat Maintainer less Warranty Credits
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11389 - Huntsville A-1 Tire Repair, LLC

4/29/2025	141265	\$ 77.37	5/18/2025	PO - 42780	FAS#12726 - 3030 SB
4/29/2025	141266	\$ 12.08	5/18/2025	PO - 42780	FAS#12726 - 5/8" Nylon Tubing 16 Inches, 1/2" Ferrel x2, Compression Inserts x2
4/30/2025	141269	\$ 45.00	5/18/2025	PO - 42780	FAS#10309 - Tire Repair, Shop Supply

11390 - Ellis D. Walker Trucking, LLC

4/28/2025	12698	\$ 3,809.34	5/18/2025	PO - 42759	129.13 Tons Limestone Road Base - FEMA DR4781
4/30/2025	12700	\$ 3,879.84	5/18/2025	PO - 42758	131.52 Tons Limestone Road Base
5/5/2025	12707	\$ 5,434.20	5/18/2025	PO - 42758	184.21 Tons Limestone Road Base
5/8/2025	12710	\$ 6,192.94	5/18/2025	PO - 42758	209.93 Tons Limestone Road Base

11886 - Mustang Rental Services of Texas, Ltd.

5/5/2025	B0994204	\$ 0.00	5/18/2025		Ref P O #43136 Motor Grader 12M Equipment Rental -02/07/25-05/02/25
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12499 - Vulcan Construction Materials, LLC

4/30/2025	3318074	\$ 868.34	5/18/2025	PO - 42834	24.46 Tons 2.0 SACK Cement Stabilized Sand- FEMA DR4781
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13156 - Ernst, Rhonda

6/1/2025	E250601	\$ 10.00	6/1/2025		Parking Area Lease - 06/25
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Road and Bridge Precinct 2

13484 - A-1 Pump, Inc.

3/7/2025	471038	\$ 1,262.92	5/18/2025	PO - 43152	Fuel Pump Repair - Technician Time, Parts, Filter Disposal, Trip Charge x2, Freight
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13614 - Auto Parts of Huntsville, Inc

5/7/2025	671477	\$ 24.99	5/18/2025	PO - 42747	Cable Crimping Tool Kit
5/7/2025	671477	\$ 69.95	5/18/2025	PO - 42747	FAS#10311 - Optronics Light, Butt Connector x3

**Invoice Total \$ 94.94**

5/7/2025	671493	\$ 12.41	5/18/2025	PO - 42747	FAS#11937 - Flasher - Turn Signal
5/7/2025	671516	\$ 67.47	5/18/2025	PO - 42747	FAS#11937 - Truck-Lite Signal Stat Light, Truck-Lite Light, Optronics Light

**Road and Bridge Precinct 2-82220 - Totals \$ 329,482.12**

Road and Bridge Precinct 3

10067 - Huntsville Truck & Tractor, Inc.

5/6/2025	52281	\$ 80.97	5/18/2025	PO - 42656	Chain Saw Chains x3
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10143 - Walker County Hardware

5/1/2025	162175	\$ 171.52	5/18/2025	PO - 42679	STIHL Platinum 1 pk Bar and Chain Oil 1 gal x2, 2-Cycle 50:1 Pre-Mixed Fuel 1 gal x4, Gauntlet Chemical Gloves Black L 1 pair, Leather Driver Gold Gloves
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10174 - Grainger

5/6/2025	9497101924	\$ 101.00	5/18/2025	PA - 2582	Mechanics Gloves x4
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10496 - Burton Auto Supply

5/7/2025	829355	\$ 35.97	5/18/2025	PO - 42640	Switch x3
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10547 - Mustang Cat

4/22/2025	WORK1326101	\$ 19,228.73	5/18/2025	PO - 43201	FAS#10179 - Repairs to Caterpillar Motorgrader, Parts & Labor
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11446 - Johnson Wrecker Service

4/30/2025	040125	\$ 410.00	5/18/2025	PO - 42680	FAS#13008 - Towing from Thomas Lake Rd to Prct 3 Barn, Wide & Heavy Permit
4/30/2025	040825	\$ 608.00	5/18/2025	PO - 42680	FAS#10179 - Towing from Lufkin CAT to Pct 3 Barn
4/30/2025	042225	\$ 1,050.00	5/18/2025	PO - 42680	FAS#10194/#13692/#12584 - Transportation from Morris Dr to Riverside Harbor
4/30/2025	042825	\$ 350.00	5/18/2025	PO - 42680	FAS#12754 - Towing Service- From Prct 3 Barn to Thomas Lake Rd FD
4/30/2025	042925	\$ 350.00	5/18/2025	PO - 42680	FAS#10194 - Towing Service- Towing from Riverside Harbor to Prct 3 Barn

11538 - WRS Hydraulic Service, Inc.

5/7/2025	5502	\$ 180.00	5/18/2025	PO - 42736	FAS#12754 - Paver Repair
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Road and Bridge Precinct 3

11698 - Custom Products Corporation

5/9/2025	INV27541	\$ 94.05	5/18/2025	PO - 43249	36" Rollup Sign
5/9/2025	INV27541	\$ 240.75	5/18/2025	PO - 43249	Be Prepared to Stop Sign
5/9/2025	INV27541	\$ 240.75	5/18/2025	PO - 43249	Flagger Ahead Sign
5/9/2025	INV27541	\$ 240.75	5/18/2025	PO - 43249	Men Working Sign
5/9/2025	INV27541	\$ 138.76	5/18/2025	PO - 43249	Shipping
5/9/2025	INV27541	\$ 395.25	5/18/2025	PO - 43249	Sign Stand
<b>Invoice Total</b>		<b>\$ 1,350.31</b>			

12490 - Cintas Corporation #2

4/30/2025	4229051493	\$ 5.70	5/18/2025	PA - 2515	Mat Rentals
4/30/2025	4229051493	\$ 113.76	5/18/2025	PA - 2515	Uniform Services
<b>Invoice Total</b>		<b>\$ 119.46</b>			
5/7/2025	4229793585	\$ 5.70	5/18/2025	PA - 2515	Mat Rentals
5/7/2025	4229793585	\$ 164.14	5/18/2025	PA - 2515	Uniform Services
<b>Invoice Total</b>		<b>\$ 169.84</b>			

12499 - Vulcan Construction Materials, LLC

3/25/2025	3014181	\$ 14,926.83	5/18/2025		153.72 TRAP ROCK/Ref PA#2592/Ref Credit Inv#3339499 All Product Returned
4/30/2025	3294652	\$ 3,766.30	5/18/2025	PA - 2482	66.66 Tons 3.0 Sack Cement Stabilized Limestone Base
4/30/2025	3318066	\$ 22,464.90	5/18/2025	PA - 2482	249.61 Tons Hotmix Ty D
5/6/2025	3338524	\$ 2,296.73	5/18/2025	PA - 2482	40.65 Tons 3.0 Sack Cement Stabilized Limestone Base
5/6/2025	3339499	(\$ 14,926.83)	5/18/2025		153.72 TRAP ROCK/Ref PA#2592/Ref Org Inv#3014181 All Product Returned

13614 - Auto Parts of Huntsville, Inc

5/1/2025	670436	\$ 33.59	5/18/2025	PO - 42638	Butt Connector x21, Electrical Tape x10
5/6/2025	671249	\$ 38.52	5/18/2025	PO - 42638	FAS#12397, #13852, #10357 - Wiper Blades x6
5/6/2025	671249	\$ 11.99	5/18/2025	PO - 42638	MAC Dry Graphite Lubricant
<b>Invoice Total</b>		<b>\$ 50.51</b>			

14215 - T & W Tire LLC

5/13/2025	2200001306	\$ 677.92	5/18/2025	PO - 43258	FAS#12508 - Tires - G37495 - LT255/70R17 121/118S ATTAK02 x4
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14327 - Sunbelt Rentals, Inc

5/6/2025	168340366-0001	\$ 760.00	5/18/2025	PO - 43242	Ride-On Roller Rental - 4/30/25 - 5/06/25
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14330 - Navasota Oil Co., Inc.

5/5/2025	472133	\$ 9,269.40	5/18/2025	PA - 2590	Fuel - Unleaded - 1,000 gallons Fuel - Ultra Low Diesel - 3,000 gallons Fed Oil Spill - Diesel Fed Oil Spill - Unleaded Freight
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<b>Road and Bridge Precinct 3-82230 - Totals</b>		<b>\$ 63,525.15</b>			
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Road and Bridge Precinct 4

10092 - Powers Auto Supply

5/1/2025	161941	\$ 14.98	5/18/2025	PA - 2505	Wire Test Leads with Clips x2
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10323 - Mason Davis Hardware, LLC

4/30/2025	1838	\$ 101.74	5/18/2025	PA - 2504	30' Dewalt Tape Measure, Simple Green 1 gallon, Windex 23 oz, Commercial Sprayer x2, 1 3/4 Galvanized Fence Staples, Washers x16, Nut x8, Bolt x8, Single Cut Key x2, Filler Cap x2
4/30/2025	1838	\$ 2.84	5/18/2025		FAS#12629 - Washer x4, Bolt x4

**Invoice Total \$ 104.58**

10471 - United Ag & Turf

5/7/2025	13920754	\$ 507.61	5/18/2025	PO - 42731	FAS#12417 - Headliner Trim
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10547 - Mustang Cat

4/17/2025	PART6917974	\$ 1.29	5/18/2025		FAS#12511 - (Ref PO#42726- Credited with Invoice #PART6921934) Bolt
4/22/2025	PART6921934	(\$ 1.29)	5/18/2025		FAS#12511 - (Ref PO#42726- Credit for Invoice #PART6917974) Bolt

10640 - Doggett Heavy Machinery Services, LLC

5/5/2025	U34379	\$ 482.25	5/18/2025	PO - 42718	FAS#10184 - Starter Motor, Core Supplied
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10664 - Walker County ESD II

5/9/2025	103	\$ 10,000.00	5/18/2025	PO - 43250	FAS#13892 - Ambulance - Ford F450 VIN#IFDUF4GT9DEA35048
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12518 - AT&T Mobility

4/24/2025	829542249.05022 5	\$ 72.06	5/18/2025		Monthly Service - 03/25/25-04/24/25
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13055 - Hoeser, Bonner

5/12/2025	106145	\$ 990.00	5/18/2025	PA - 2536	FAS #12600 - Service Call Jones Rd, Service Call Hawthorne
5/12/2025	106145	\$ 1,485.00	5/18/2025		FAS#12417 - Replace Shift Knob and Switch, Replace D.E.F. Filter, Replace Headliner

**Invoice Total \$ 2,475.00**

13614 - Auto Parts of Huntsville, Inc

5/6/2025	671311	\$ 38.07	5/18/2025	PA - 2496	Scraper with blades, Adhesive Cleaner 20oz
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14215 - T & W Tire LLC

5/1/2025	2200001186	\$ 229.94	5/18/2025	PO - 42727	FAS#10306 - Mount/Dismount Tire x2, Balance x2, Metal Valve Stem x2, Valve Cap x2, Tire Disposal x2, Shop Supplies, Labor
5/1/2025	2200001201	\$ 231.20	5/18/2025	PO - 42727	FAS#13882 - Mount/Dismount Tire x2, Valve Stem x2, Tire Disposal x2, Shop Supplies, Labor



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Road and Bridge Precinct 4

14330 - Navasota Oil Co., Inc.

5/5/2025	472132	\$ 3,274.71	5/18/2025	PO - 43178	Fuel - Unleaded -411 gallons Fuel - Ultra Low Diesel - 1,000 gallons Fed Oil Spill - Diesel Fed Oil Spill - Unleaded Freight
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<b>Road and Bridge Precinct 4-82240 - Totals</b>	<b>\$ 17,430.40</b>
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Sheriff

10118 - Sirchie

4/30/2025	0691733-IN	\$ 81.72	5/18/2025	PO - 43093	Evidence Rifle Box - 25/ea
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10326 - Wiesner, Inc. - Huntsville

5/9/2025	PNCB455499	\$ 13,042.06	5/18/2025	PO - 43141	Repairs FAS13136 SO1210 - Repair cost for FAS 13136 SO 1210.. Frame, Suspension, Absorber, Hose, Cam x2, Nut x2, Bolt x2, Coolant x2, Freight Charge, Bracket, Caliper, Fluid x6, Paint and Body, Towing, Labor
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10454 - Southern Tire Mart, LLC

4/29/2025	4590154569	\$ 761.34	5/18/2025	PO - 43211	4 - 255/65R18 Tires
4/29/2025	4590154569	\$ 567.44	5/18/2025	PO - 43211	6 - 265/60R17 Tires

**Invoice Total \$ 1,328.78**

4/30/2025	4590154972	\$ 609.72	5/18/2025	PO - 43218	FAS#13165 - Tires x4 - 265/65R18 Destination LE3 F014939
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10675 - Dealer Solutions Automotive

5/9/2025	26760	\$ 472.67	5/18/2025	PO - 42911	FAS#12721 - A/C Repair, Evac and Recharge, Replace Connector at Compressor, Refrigerant, Labor & Parts
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11103 - Charlie's Used Cars, LLC

4/23/2025	14694	\$ 80.00	5/18/2025	PO - 42872	FAS#13490 - Wheel Alignment
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12271 - Enterprise Rent a Car

4/30/2025	7M5WKS	\$ 850.74	5/18/2025		Vehicle Rental - 03/02/25-04/01/25
4/30/2025	7Q15X0	\$ 850.74	5/18/2025		Vehicle Rental - 03/02/25-04/01/25

13188 - Whitworth, Brad

4/16/2025	K-2374	\$ 100.00	5/18/2025		Per Diem/Dallas, TX - 04/14-16/25
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13614 - Auto Parts of Huntsville, Inc

4/28/2025	669766	\$ 105.84	5/18/2025	PO - 42871	FAS#12720 - Water Pump, Dex Cool Antifreeze 1 Gallon x2
4/28/2025	669803	\$ 26.92	5/18/2025	PO - 42871	FAS#12720 - Automotive V-Ribbed Belt
4/29/2025	670017	\$ 149.35	5/18/2025	PO - 42871	FAS#12422 - 2 Yr Warranty Battery, Enviromental Fee, Core Provided
5/2/2025	670603	\$ 55.93	5/18/2025	PO - 42871	FAS#13700 - Oil Filter, Synthetic Oil 5W30 Quart x6
5/5/2025	670982	\$ 10.17	5/18/2025	PO - 42871	Stock - Tire Pressure Monitoring System Sensor x3
5/5/2025	671094	\$ 117.99	5/18/2025	PO - 42871	FAS#12857 - Adaptive One Front Truck & SUV Brake Pads, Premium Front Brake Rotor



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Sheriff

5/5/2025	671096	\$ 208.96	5/18/2025	PO - 42871	FAS#12625 - REDI-Sensor TPMS Sensor x4
5/5/2025	671127	\$ 524.50	5/18/2025	PO - 42871	FAS#12721 - New Compressor, Rapid Seal Kit, Expansion Valve x2, Condenser
5/6/2025	671202	(\$ 324.80)	5/18/2025		Acct#7328/FAS#12625/Ref PO#42871/Ref Org Inv#668654 REDI-Sensor TPMS Sensor Assy x4, NAPA Quart 5W30 x6 Stock - Oil Filters x10
5/6/2025	671203	\$ 309.80	5/18/2025	PO - 42871	FAS#12625 - TPMS REDI-Sensor x4, NAPA Quart 5W30 x6 Stock - NAPA Oil Filters x10
5/8/2025	671597	\$ 41.94	5/18/2025	PO - 42871	FAS#12332 - 0W20 Oil x6
5/8/2025	671654	\$ 191.76	5/18/2025	PO - 42871	FAS Stock- NAPA Oil Filter x24, 0W20 55gal
5/8/2025	671654	\$ 731.43	5/18/2025	PO - 42871	FAS Stock- NAPA Oil Filter x24, 0W20 55gal
	<b>Invoice Total</b>	<b>\$ 923.19</b>			
5/9/2025	671892	\$ 154.99	5/18/2025	PO - 42871	FAS#13377 - NAPA Adaptive One Rear Truck & SUV, Front Pads
5/12/2025	672212	\$ 149.35	5/18/2025	PO - 42871	FAS#12347 - 2 Yr Warranty Battery, Enviromental Fee, Core Provided

13856 - Optimum

5/5/2025	07707154276015.2505	\$ 105.17	5/18/2025		Monthly Service-05/05/25-06/04/25
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**Sheriff-41010 - Totals \$ 19,975.73**

Sheriff Commissary Operations

10069 - ICS Jail Supplies, Inc.

5/13/2025	INV808310	\$ 173.43	5/18/2025	PO - 42691	Drug Test Cup 12 Panel 25/bx
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13856 - Optimum

5/5/2025	07707154276015.2505	\$ 406.67	5/18/2025		Monthly Service-05/05/25-06/04/25
5/5/2025	07707154276015.2505	\$ 14.25	5/18/2025		Monthly Service-05/05/25-06/04/25

**Invoice Total \$ 420.92**

**Sheriff Commissary Operations-50040 - Totals \$ 594.35**

Sheriff SB22 Grant FY 2025

10159 - Motorola Solutions, Inc.

4/27/2025	8282122410	\$ 2,768.22	5/18/2025	PO - 43078	Motorola Cameras for Tahoes - router x2, antenna x2 and warranty x2
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**Sheriff SB22 Grant FY 2025-41041 - Totals \$ 2,768.22**

SPU Criminal

10270 - Texas Association of Counties HEBP

5/5/2025	BCBS0425	\$ 86.34	5/18/2025		April 2025-County's Portion
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**SPU Criminal-35020 - Totals \$ 86.34**



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SPU - State General Allocation

10815 - Brionez, Jay

4/17/2025	K-2364	\$ 340.00	5/18/2025		Per Diem/New Boston, TX - 04/13-17/25
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11864 - Whitley, Greg

4/17/2025	K-2368	\$ 428.00	5/18/2025		Per Diem/Bowie County, TX - 04/11-17/25
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4/5/2025	K-2370	\$ 108.00	5/18/2025		Per Diem/Bowie County, TX - 04/03-05/25
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12183 - Choate, Jack

4/30/2025	A-2351	\$ 361.65	5/18/2025		Per Diem/Parking/ Austin, TX - 03/04-07/25
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4/30/2025	A-2352	\$ 161.90	5/18/2025		Per Diem/Parking/ Austin, TX - 03/11-12/25
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4/30/2025	A-2353	\$ 340.00	5/18/2025		Per Diem/ Austin, TX - 03/24-28/25
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4/30/2025	A-2354	\$ 183.90	5/18/2025		Per Diem/Parking/ Austin, TX - 03/31/25 – 04/02/25
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4/9/2025	A-2355	\$ 260.00	5/18/2025		Per Diem/Austin, TX - 04/06-09/25
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4/15/2025	A-2356	\$ 593.62	5/18/2025		Per Diem/Lodging/ Austin, TX - 04/14-15/25
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4/30/2025	K-2375	\$ 100.00	5/18/2025		Per Diem/Austin, TX - 03/17-18/25
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13617 - English, Tim

5/1/2025	K-2346	\$ 100.00	5/18/2025		Reimbursement/FAS#12905 Tire Change Used Personal Credit Card for Service Call, Tire Swap
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4/7/2025	K-2362	\$ 88.00	5/18/2025		Per Diem/Hawley-Amarillo-Hawley, TX - 04/06-07/25
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4/23/2025	K-2363	\$ 204.00	5/18/2025		Per Diem/Hawley-Dalhart-Hawley, TX - 04/21-23/25
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13731 - Simple Cellular

4/10/2025	2797	\$ 80.00	5/18/2025	PA - 2566	Labor to Replace Lid
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4/10/2025	2797	\$ 37.66	5/18/2025		Replacement Lid for Laptop
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<b>Invoice Total</b>		<b>\$ 117.66</b>			
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13856 - Optimum

5/5/2025	07707154276015. 2505	\$ 160.95	5/18/2025		Monthly Service-05/05/25-06/04/25
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13862 - Ruiz, Oscar

4/17/2025	K-2372	\$ 340.00	5/18/2025		Per Diem/Bowie County, TX - 04/13-17/25
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14008 - Quisenberry, Eric

4/17/2025	K-2360	\$ 340.00	5/18/2025		Per Diem/New Boston, TX - 04/13-17/25
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4/23/2025	K-2361	\$ 204.00	5/18/2025		Per Diem/Amarillo/Dalhart, TX - 04/21-23/25
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<b>SPU - State General Allocation-35030 - Totals</b>		<b>\$ 4,431.68</b>			
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SPU Civil Division

10038 - Federal Express Corporation

5/8/2025	8-854-67340	\$ 9.96	5/18/2025		Acct#2517-1650-1/Shipping 4/26/25
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10483 - Jason Dunham PhD.

4/15/2025	K-2376	\$ 3,500.00	5/18/2025		Svc Rend/Garner, A., 11/19-25/24
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4/15/2025	K-2377	\$ 7,582.50	5/18/2025		Svc Rend/Dominguez, R., 03/31/25-04/03/25
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SPU Civil Division

10552 - ZA & Associates

4/9/2025	K-2347	\$ 10,481.19	5/18/2025		Svc Rend/Inv#8/Reich, T. -03/17/25-04/02/25
4/9/2025	K-2348	\$ 350.00	5/18/2025		Svc Rend/Inv#5/Briseno, M.-03/14/25
4/9/2025	K-2349	\$ 175.00	5/18/2025		Svc Rend/Inv#2/Garner, A.- 03/21/25
4/9/2025	K-2350	\$ 1,225.00	5/18/2025		Svc Rend/Inv#1/Foster, E.- 03/06/25-04/03/25
4/9/2025	K-2351	\$ 350.00	5/18/2025		Svc Rend/Inv#2/Matthews, E.-03/17/25
4/9/2025	K-2352	\$ 175.00	5/18/2025		Svc Rend/Inv#2/DeLaGarza, J.-03/20/25
4/9/2025	K-2353	\$ 2,100.00	5/18/2025		Svc Rend/Inv#3/Ruiz, J.-03/04/25-04/03/25

10795 - Faseler, Erin K

4/11/2025	K-2356	\$ 240.00	5/18/2025		Per Diem/Sugarland, TX - 04/09-11/25
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10799 - Gault, Marc F

4/17/2025	K-2367	\$ 244.00	5/18/2025		Per Diem/McLennan County, TX - 04/13-17/25
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11540 - Turner, Darrel

4/10/2025	2025.31	\$ 16,475.00	5/18/2025		Svc Rendered/Weatherspoon, J./TDCJ#1316537 - 01/22/25-04/09/25
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12171 - SLS Litigation Services, LLC

4/15/2025	27762	\$ 561.82	5/18/2025		Svc Rend/Case#2023-1583-2/Parker, Z., 03/31/25
4/10/2025	27789	\$ 200.00	5/18/2025		Svc Rend/Case#SP-00077/Mackey, L., 03/28/25
4/10/2025	27795	\$ 265.00	5/18/2025		Svc Rend/Case#CV2570003/Montoya, F., 03/19/25
4/10/2025	27796	\$ 170.00	5/18/2025		Svc Rend/Case#026147/Capetillo Jr., G., 03/26/25
4/11/2025	27819	\$ 155.00	5/18/2025		Svc Rend/Case#25-03-03419/Newsom, J., 03/13/25
4/15/2025	27872	\$ 2,191.05	5/18/2025		Svc Rend/Case#2023DCV-0485-B/Weatherspoon, J., 04/09/25
4/25/2025	27951	\$ 175.00	5/18/2025		Svc Rend/Case#SP-00076/Early, S., 03/24/25
4/25/2025	27953	\$ 165.00	5/18/2025		Svc Rend/Case#416-02498-2025/Alexandro, H., 04/15/25
4/28/2025	27985	\$ 863.15	5/18/2025		Svc Rend/Case#D-1-GN-24-003118/Wauthier, J., 04/15/25

13117 - Mullin, Nancy

4/23/2025	K-2365	\$ 156.00	5/18/2025		Per Diem/San Patricio County, TX - 04/21-23/25
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13682 - Price Proctor

4/14/2025	2240	\$ 17,850.00	5/18/2025		Svc Rend/Mallett, M., - 12/04/24-04/10/25
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13731 - Simple Cellular

4/28/2025	2817	\$ 80.00	5/18/2025	PA - 2566	Take employee's laptop, remove data and profile, create new account with standard password for another employee
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13856 - Optimum

5/5/2025	07707154276015. 2505	\$ 290.00	5/18/2025		Monthly Service-05/05/25-06/04/25
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13991 - Maddox-Bennett, Peyton

4/5/2025	K-2357	\$ 272.00	5/18/2025		Per Diem/San Angelo, TX - 04/02-05/25
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Walker County  
Claims and Invoices Submitted for Payment

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Invoice date	Invoice	Amount	Due Date	PO/PA	Description
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SPU Civil Division

4/11/2025	K-2358	\$ 200.00	5/18/2025		Per Diem/Sugarland, TX - 04/08-11/25
4/17/2025	K-2359	\$ 244.00	5/18/2025		Per Diem/ Waco, TX - 04/13-17/25
<u>14236 - Foley, Catherine</u>					
4/23/2025	K-2366	\$ 156.00	5/18/2025		Per Diem/Sinton, TX - 04/21-23/25

**SPU Civil Division-35040 - Totals** **\$ 66,901.67**

SPU Juvenile Division

11864 - Whitley, Greg

4/7/2025	K-2369	\$ 100.00	5/18/2025		Per Diem/Austin, TX - 04/06-07/25
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13731 - Simple Cellular

5/1/2025	2825	\$ 165.00	5/18/2025	PA - 2566	Monthly charge, weekly backup and hard drive swap x1.5
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13862 - Ruiz, Oscar

4/4/2025	K-2371	\$ 156.00	5/18/2025		Per Diem/Alamo, TX - 04/02-04/25
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**SPU Juvenile Division-35050 - Totals** **\$ 421.00**

Texas AgriLife Extension Service

10090 - Walker County Special Utility District

4/30/2025	818.2504	\$ 64.67	5/18/2025		Monthly Service Thru 04/30/2025
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13796 - ODP Business Solutions, LLC

4/24/2025	420263400001	\$ 9.83	5/18/2025	PO - 42650	Invisible Tape Refills, 3/4" x 1,296", Pack Of 10
4/24/2025	420263971001	\$ 83.98	5/18/2025	PO - 42650	Printer & Copy Paper, 10 Reams x2

**Texas AgriLife Extension Service-70020 - Totals** **\$ 158.48**

Walker County Central Dispatch Services

10270 - Texas Association of Counties HEBP

5/5/2025	BCBS0425	\$ 910.48	5/18/2025		April 2025-County's Portion
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**Walker County Central Dispatch Services-46500 - Totals** **\$ 910.48**

Walker County EMS - Emergency Services

10073 - Linde Gas & Equipment, Inc.

5/8/2025	49652803	\$ 223.95	5/18/2025	PO - 42781	Oxygen USP AD x14, Oxygen USP K x2, Energy and Fuel Charge, Haz Material Charge, Delivery Charge
5/8/2025	49652806	\$ 164.13	5/18/2025	PO - 42781	Oxygen USP AD x12, Energy and Fuel Charge, Haz Material Charge, Delivery Charge



Walker County  
Claims and Invoices Submitted for Payment

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Invoice date	Invoice	Amount	Due Date	PO/PA	Description
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Walker County EMS - Emergency Services

10143 - Walker County Hardware

4/29/2025	162030	\$ 8.29	5/18/2025	PO - 42785	FAS#13840, #13854 - Stop Nuts for License Plate Holders Hillman 2" Reflective Black Vinyl Self Adhesive Number 7, Hillman 2" Reflective Black Vinyl Self Adhesive Number 1
4/29/2025	162030	\$ 2.37	5/18/2025	PO - 42785	FAS#13840, #13854 - Stop Nuts for License Plate Holders Hillman 2" Reflective Black Vinyl Self Adhesive Number 7, Hillman 2" Reflective Black Vinyl Self Adhesive Number 1
	<b>Invoice Total</b>	<b>\$ 10.66</b>			
5/7/2025	162450	\$ 10.87	5/18/2025	PO - 42785	FAS#13736 - Clear Synthetic Rubber All Purpose Caulk 5 oz, 8-32 x 1/2 Machine Screws x12
5/9/2025	162537	\$ 63.98	5/18/2025	PO - 42785	Adjustable Jet Stream Brass Hose Nozzle, SmartFLO 3/4 in. D X 50 ft. L Contractor Grade Garden Hose

10159 - Motorola Solutions, Inc.

4/29/2025	8282123770	\$ 382.32	5/18/2025	PO - 43233	Charger
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10269 - AT&T

5/1/2025	435-2474.050125	\$ 159.74	5/18/2025		Monthly Service - 05/01/25-05/31/25
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10317 - Home Depot

4/2/2025	9900521	\$ 577.00	5/18/2025	PA - 2520	Replacement Washer, Delivery Fee
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10324 - Huntsville Discount Tires

4/24/2025	11802	\$ 212.03	5/18/2025	PO - 42791	FAS#13854 - 150 HR PM Battery Check, Oil Filter, Air Filter, Oil 30W Quart x2, Parts & Labor
4/28/2025	97	\$ 182.03	5/18/2025	PO - 42791	FAS#13492 - 150 HR PM Battery Check, Oil Filter, Air Filter. Oil 30W Quart x2, Parts & Labor

10345 - Bill Fick Ford

4/26/2025	FOCS417713	\$ 313.99	5/18/2025	PO - 42913	FAS#13492 - Diesel Oil Change, Rotate & Balance Tires, Parts & Labor
5/2/2025	FOCS418055	\$ 69.36	5/18/2025	PO - 42913	FAS#12660 - Change Oil & Filter, Rotate & Inspect 4 Tires, Shop Supplies, Labor & Parts

10355 - Stryker Medical

4/17/2025	9209035145	\$ 379.80	5/18/2025	PO - 43127	Footrest
4/17/2025	9209035145	\$ 61.85	5/18/2025	PO - 43127	Freight/shipping
4/17/2025	9209035145	\$ 4,568.40	5/18/2025	PO - 43127	Stair-PRO Model 6252 - Serial # 2504010000079
	<b>Invoice Total</b>	<b>\$ 5,010.05</b>			

10361 - Bound Tree Medical LLC

4/17/2025	85738823	\$ 24.60	5/18/2025	PA - 2586	IV Solution, Sodium Chloride 0.9% 100ml Bag, Singles 96/cs x10cs
5/5/2025	85758494	\$ 93.00	5/18/2025	PO - 42937	C4 Midazolam 5mg, 5ml vial 10/bx x4
5/12/2025	85767355	\$ 64.56	5/18/2025	PA - 2586	Disposable PEEP Valve with Adaptor, 0 to 22cm, 12/cs
5/12/2025	85767356	\$ 80.00	5/18/2025	PA - 2586	Diltiazem, 25mg, 5ml Vial 10ea/Bx x2
5/12/2025	85767357	\$ 29.11	5/18/2025	PA - 2586	Rapid Cold Ice Packs24/cs



Walker County  
Claims and Invoices Submitted for Payment

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Invoice date	Invoice	Amount	Due Date	PO/PA	Description
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Walker County EMS - Emergency Services

10412 - Frazer, LTD

5/12/2025	100464	\$ 62.71	5/18/2025	PO - 42787	FAS#13492 - Switch-Push Button, Door, SPST, 5A 12V FAS#13755, #13771 - Label Set-Seat Belt, No Smoking, CO Warn x2 Freight
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10771 - IIX Insurance Information Exchange

4/30/2025	4349151	\$ 270.24	5/18/2025		Background Search -04/01-30/25
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12999 - Teleflex LLC

4/1/2025	9509813081	\$ 1,650.00	5/18/2025	PO - 42782	EZ-IO 45mm Needle (Box of 5) x2, EZ-IO 25mm Needle (Box of 5) x1
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13571 - Impact Promotional Services, LLC

4/30/2025	CM4282	(\$ 27.19)	5/18/2025		(Ref P O #43031 - Credit for Invoice #INV123166 Dated 3/26/25) 1.5" Plain Leather Garrison Belt
4/30/2025	CM4283	(\$ 123.25)	5/18/2025		(Ref P O #43031 - Credit for Invoice #INV117845 Dated 2/11/25) 5.11 Company 3.0 Boot
4/30/2025	CM4285	(\$ 89.24)	5/18/2025		(Ref P O #43031 - Credit for Invoice #INV111466 Dated 12/23/24) Cargo Pocket Pant
4/30/2025	INV125241	\$ 18.57	5/18/2025	PO - 43031	Shipping Cost
4/25/2025	INV127391	\$ 123.25	5/18/2025	PO - 43031	5.11 Company 3.0 Boot
4/25/2025	INV127392	\$ 267.69	5/18/2025	PO - 43031	Long Sleeve Supershirt, EMT-LP x2, Namestrip x2, SS Supershirt, Cargo Pocket Pant
5/5/2025	INV128721	\$ 57.56	5/18/2025	PO - 43031	Performance Polo Shirt, Embroider Name, Embroider Logo
5/5/2025	INV128722	\$ 75.00	5/18/2025	PO - 43031	Namestrip x9
5/5/2025	INV128723	\$ 43.35	5/18/2025	PO - 43031	Dark Navy XS Women's Performance S/S Polo

13614 - Auto Parts of Huntsville, Inc

4/21/2025	668603	\$ 51.96	5/18/2025	PO - 42788	FAS#13854 - NAPA Diesel Exhaust Fluid (DEF) - 2.5-gal x4
5/6/2025	671261	\$ 9.37	5/18/2025	PO - 42788	FAS#13492 - End Cap Filter, Sand Pad - Generator Repair

13856 - Optimum

5/5/2025	07707154276015.2505	\$ 272.00	5/18/2025		Monthly Service-05/05/25-06/04/25
5/5/2025	07707154276015.2505	\$ 64.95	5/18/2025		Monthly Service-05/05/25-06/04/25
5/5/2025	07707154276015.2505	\$ 105.00	5/18/2025		Monthly Service-05/05/25-06/04/25

**Invoice Total \$ 441.95**

14367 - EMS Management & Consultants Inc.

4/30/2025	EMS-015599	\$ 16,648.37	5/18/2025		Commission on collections billed by EMS MC - April 2025
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14390 - Kovar, Jay

4/30/2025	K-2385	\$ 229.74	5/18/2025		Per Diem/Miles 128.20 - College Station, TX - 04/27-30/25
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**Walker County EMS - Emergency Services-46100 - Totals \$ 27,381.46**



Walker County  
Claims and Invoices Submitted for Payment

Invoice date	Invoice	Amount	Due Date	PO/PA	Description
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Weigh Station Utilites and Services

12203 - Frontier Communications of Texas

5/7/2025	344-8553.050725	\$ 375.90	5/18/2025		Monthly Service - 05/07/25-06/06/25
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13654 - Honey Bucket

5/1/2025	0554840790	\$ 100.00	5/18/2025		Monthly Service -05/01/25 - 05/28/25 3179 I45 S
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Weigh Station Utilites and Services-45020 - Totals	\$ 475.90
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Report Totals	\$ 1,201,114.88
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## Claims/invoices/other items for payment as presented by Community Supervision and Corrections Department

### April 2025

Grimes County Restitution recipients	\$720.89
Grimes County CSCD	<u>\$26,864.33</u>
<b>Total</b>	\$27,585.22
Madison County Restitution recipients	\$2,086.11
Madison County CSCD	<u>\$27,362.38</u>
<b>Total</b>	\$29,448.49
Leon County Restitution recipients	\$1,715.52
Leon County CSCD	<u>\$30,863.20</u>
<b>Total</b>	\$32,578.72
Walker County Restitution recipients	\$8,965.83
Walker County CSCD	<u>\$37,324.76</u>
<b>Total</b>	\$46,290.59
<b>Grand Total</b>	<u><u>\$135,903.02</u></u>

DATE	BEGINNING CHECK #	ENDING CHECK #	AMOUNT	BANK ACCOUNT	INITIALS
4/30/2025	51648	51668	\$8,965.83	RS-W	/
4/30/2025	51669	51678	\$720.89	W(RS-G)	/
4/30/2025	51679	51688	\$2,086.11	W(RS-M)	/
4/30/2025	51689	51694	\$1,715.52	W(RS-L)	/
4/30/2025	51695	51698	\$37,324.76	W	/
4/30/2025	51699	51702	\$26,864.33	G	/
4/30/2025	51703	51706	\$27,362.38	M	/
4/30/2025	51707	51710	\$30,863.20	L	/
			\$135,903.02		

## SUMMARY CHECK REGISTER

GRIMES

ON 04/30/2025

ACCOUNT: WALKER

CHECK NO	CHK AMT	CHK DATE	WHOM TO
51669	20.91	04/30/25	BRODERICK TURNER
51670	110.32	04/30/25	BVSWMA INC
51671	7.48	04/30/25	CHARLES POWELL
51672	412.65	04/30/25	DPS
51673	57.00	04/30/25	EDUARDO QUIROZ
51674	16.21	04/30/25	FRANCES CRAWFORD
51675	32.39	04/30/25	GERALDINE CHAPPELL
51676	28.66	04/30/25	REBECCA CALLICOAT
51677	28.00	04/30/25	REGGINALD MARELL THORNTON
51678	7.27	04/30/25	SAMUEL WATSON
51699	8988.19	04/30/25	GRIMES COUNTY TREASURER
51700	17216.83	04/30/25	JUDICIAL DISTRICT CSCD
51701	619.31	04/30/25	CRIME VICTIM COMP DIV, OFFICE
51702	40.00	04/30/25	TEXAS DEPT. PUBLIC SAFETY
TOTALS	27585.22		

SUMMARY CHECK REGISTER  
ON 04/30/2025  
ACCOUNT: WALKER

MADISON

CHECK NO	CHK AMT	CHK DATE	WHOM TO
51679	23.29	04/30/25	BOBBY AND DAWN CAGLE
51680	54.26	04/30/25	JAMES TURNER
51681	280.00	04/30/25	JOSHUA MURRAY
51682	500.00	04/30/25	MADISONVILLE III ENTERPRISES,
51683	70.59	04/30/25	MARK WILLIAM BEARD
51684	613.00	04/30/25	NORTH ZULCH MUNICIPAL UTILTIY
51685	169.30	04/30/25	TEXAS D.P.S.
51686	173.00	04/30/25	TEXAS D.P.S.
51687	176.00	04/30/25	TEXAS PRIDE TRAILERS
51688	26.67	04/30/25	WENDY BARKER
51703	12125.85	04/30/25	JUDICIAL DISTRICT CSCD
51704	14380.53	04/30/25	MADISON COUNTY TREASURER
51705	796.00	04/30/25	MADISON COUNTY BOND FEES
51706	60.00	04/30/25	TEXAS DEPT. PUBLIC SAFETY
TOTALS	29448.49		

SUMMARY CHECK REGISTER  
ON 04/30/2025  
ACCOUNT: WALKER

LEON

CHECK NO	CHK AMT	CHK DATE	WHOM TO
51689	522.29	04/30/25	LEON COUNTY TREASURER
51690	557.71	04/30/25	MARION STAWNICZ
51691	111.00	04/30/25	MARK HAAS
51692	150.00	04/30/25	STATE BANK OF JEWETT
51693	224.52	04/30/25	TEXAS DEPARTMENT OF PUBLIC SAF
51694	150.00	04/30/25	TEXAS DEPARTMENT OF PUBLIC SAF
51707	16498.74	04/30/25	JUDICIAL DISTRICT CSCD
51708	13942.46	04/30/25	LEON COUNTY TREASURER
51709	180.00	04/30/25	TEXAS DEPT. PUBLIC SAFETY
51710	242.00	04/30/25	BOND SUPERVISION FEE
TOTALS	32578.72		



SUMMARY CHECK REGISTER  
ON 04/30/2025  
ACCOUNT: RESTITUTION

WALKER

CHECK NO	CHK AMT	CHK DATE	WHOM TO
51648	138.00	04/30/25	ADVANCED HIGH-TECH NURSING
51649	20.00	04/30/25	AVIS RENT A CAR SYSTEM, LLC
51650	32.99	04/30/25	BILLY BENNETT
51651	147.07	04/30/25	BILLY CORLEY
51652	27.25	04/30/25	CRIME VICTIM COMPENSATION DIVI
51653	99.00	04/30/25	DEBBIE TONEY
51654	76.25	04/30/25	DEIDRIC OBRYANT
51655	3959.56	04/30/25	DENNIS LOFTIN
51656	50.00	04/30/25	ELKINS LAKE BAPTIST CHURCH
51657	74.64	04/30/25	FIRST CHOICE MANAGEMENT GROUP
51658	450.00	04/30/25	FRANK ROBINSON III D/B/A PREST
51659	154.94	04/30/25	H-E-B
51660	302.30	04/30/25	HENRY HOKE
51661	87.67	04/30/25	JERALD NUNEZ
51662	555.88	04/30/25	JOHN EVARTS FARNHAM
51663	987.95	04/30/25	MCCAFFETY ELECTRIC
51664	55.01	04/30/25	PATRICK PEERENBOOM
51665	160.00	04/30/25	PHILLIP CHARLES JENKINS
51666	1311.96	04/30/25	TEXAS DEPARTMENT OF PUBLIC SAF
51667	250.00	04/30/25	THADDEUS WHITESIDE
51668	25.36	04/30/25	TUKURIA TERRELL
51695	36259.88	04/30/25	JUDICIAL DISTRICT CSCD
51696	731.88	04/30/25	CRIME VICTIM COMP DIV, OFFICER
51697	297.00	04/30/25	TEXAS DEPT. PUBLIC SAFETY
51698	36.00	04/30/25	BRAYSHAW, CLIFTON JAMES

TOTALS 46290.59

Walker County  
TAX LEVY 2023-2024 - CURRENT TAX LEVY 2024-2025

Month	Prior Adj. Tax Levy 23-24 Yr	Total Collected to Date (Prior Year) 23-24 Yr	Percentage	Current Adj. Tax Levy 24-25 Yr	Total Collected to Date (Current Year 24-25)	Percentage Adj. Levy	Percentage Original Levy
October	28,401,039.23	402,153.29	0.0142	30,795,490.42	256,028.02	0.0083	0.0083
November	28,397,743.83	1,915,854.67	0.0675	30,726,290.11	2,214,602.21	0.0721	0.0719
December	28,205,562.23	6,914,527.00	0.2451	30,698,539.08	8,099,193.79	0.2638	0.2630
January	28,210,792.05	16,358,517.00	0.5799	30,668,636.64	23,214,794.85	0.7570	0.7538
February	28,191,298.90	24,921,841.13	0.8840	30,660,314.26	27,780,765.51	0.9061	0.9021
March	28,182,320.65	26,084,061.91	0.9255	30,658,113.56	28,453,897.13	0.9281	0.9240
April	28,136,896.49	26,445,825.46	0.9399	30,644,641.54	28,622,870.07	0.9340	0.9295
May							
June							
July							
August							
September							



# Walker County Monthly Investment Report April 2025

This report is made in accordance with provisions of Government code 2256 (Section 2256.023), The Public Funds Investment Act. The investments held in the Walker County portfolio comply with the Public Funds Investment Act and with the County's investment policy and strategies

	Beginning	Ending
Book Value	\$51,872,941.76	\$50,054,567.37
Market Value	\$51,872,941.76	\$50,054,567.37
Interest Added		\$181,625.61
Weighted Average Maturity		30
Average yield to Maturity at 04/30/2025		4.34%

Kaufeigh Punsley  
05/09/25  
Amy Klawnsky  
05/09/25

Summary of Investments Earnings

April-25

Fund	Beginning Balance	Deposits to Texpool	Withdrawals from Texpool	Interest Earnings	Month Ending Balance
<b>Texpool Account 236151301000</b>					
General Fund	\$ 14,174,254.05	\$ 351,627.34	\$ (2,000,257.09)	\$ 48,439.38	\$ 12,574,063.68
General Projects Fund	\$ 3,786,251.13	\$ -	\$ (45,000.12)	\$ 13,430.37	\$ 3,754,681.38
General Capital Projects Fund	\$ 5,853,489.02	\$ -	\$ -	\$ 20,858.47	\$ 5,874,347.49
Corona Virus Relief Fund	\$ -	\$ -	\$ -	\$ -	\$ -
TASK FORCE	\$ 69,330.53	\$ -	\$ -	\$ 247.05	\$ 69,577.58
Heathly County Initiative	\$ 15,656.33	\$ -	\$ -	\$ 55.79	\$ 15,712.12
State Sheriff Grant	\$ 16,444.97	\$ -	\$ -	\$ 58.60	\$ 16,503.57
State CDA Grant	\$ 34.19	\$ -	\$ -	\$ 0.12	\$ 34.31
Series 2012 CO Interest & Sinking	\$ 1,495,878.02	\$ -	\$ -	\$ 5,330.45	\$ 1,501,208.47
Road & Bridge	\$ 3,789,656.46	\$ -	\$ (250,000.00)	\$ 13,373.29	\$ 3,533,029.75
EMS	\$ 4,755,359.32	\$ -	\$ -	\$ 16,945.37	\$ 4,772,304.69
SB22-CDA Grant FY 2025	\$ 153,619.46	\$ -	\$ (22,973.84)	\$ 511.99	\$ 131,157.61
SB22-Sheriff Grant FY 2025	\$ 497,950.14	\$ -	\$ (28,653.38)	\$ 1,698.26	\$ 470,995.02
Affordable Housing Initiatives	\$ -	\$ -	\$ -	\$ -	\$ -
County Records Management	\$ -	\$ -	\$ -	\$ -	\$ -
County Records II Digitize	\$ 69,787.15	\$ -	\$ -	\$ 248.68	\$ 70,035.83
County Records Preservation	\$ 314,036.98	\$ -	\$ -	\$ 1,119.05	\$ 315,156.03
Archive Fund	\$ 371,866.50	\$ -	\$ -	\$ 1,325.12	\$ 373,191.62
Court Facilities Fund	\$ 57,530.93	\$ -	\$ -	\$ 205.01	\$ 57,735.94
District Clerk Records Fund	\$ 48,916.21	\$ -	\$ -	\$ 174.31	\$ 49,090.52
Rider 42 Prosecution	\$ 115,434.72	\$ -	\$ -	\$ 411.34	\$ 115,846.06
County Jury Fund	\$ 5,391.98	\$ -	\$ -	\$ 19.21	\$ 5,411.19
Court Reporter Service Fund	\$ 10,783.99	\$ -	\$ -	\$ 38.43	\$ 10,822.42
Law Library	\$ 73,281.01	\$ -	\$ -	\$ 261.13	\$ 73,542.14
Courthouse Security	\$ -	\$ -	\$ -	\$ -	\$ -
Justice Courts Security Fund	\$ 51,889.08	\$ -	\$ -	\$ 184.90	\$ 52,073.98
JP TruancyPrev and Diversion Fund	\$ 4,486.48	\$ -	\$ -	\$ 15.99	\$ 4,502.47
County Specialty Court Programs	\$ 11,408.69	\$ -	\$ -	\$ 40.65	\$ 11,449.34
US Forest Service-Fire Projects	\$ 17,354.47	\$ -	\$ -	\$ 0.00	\$ 17,354.47
Justice Technology	\$ 81,334.51	\$ -	\$ (5,000.00)	\$ 285.09	\$ 76,619.60
County & District Court Tech. Fund	\$ 934.63	\$ -	\$ -	\$ 3.33	\$ 937.96
Prof Prosecutors Supplement	\$ -	\$ -	\$ -	\$ -	\$ -
Pretrial Intervention Fund	\$ 159,850.95	\$ -	\$ -	\$ 569.62	\$ 160,420.57
DA Narcotics	\$ 226,955.52	\$ -	\$ -	\$ 808.74	\$ 227,764.26
Hot Check	\$ -	\$ -	\$ -	\$ -	\$ -
SO Narcotics	\$ 580,820.98	\$ -	\$ -	\$ 2,069.71	\$ 582,890.69
Inmate Medical Fund	\$ 61,596.33	\$ -	\$ -	\$ 219.49	\$ 61,815.82
DOJ Equitable Sharing Fund	\$ 577,833.18	\$ -	\$ -	\$ 2,059.07	\$ 579,892.25
Sheriff Commissary Fund	\$ 508,887.43	\$ -	\$ -	\$ 1,813.38	\$ 510,700.81
Elections Equipment Fund	\$ 583	\$ -	\$ -	\$ -	\$ -
Elections Services Contract Fund	\$ 62,559.22	\$ -	\$ -	\$ 222.93	\$ 62,782.15
Special Inventory Tax	\$ 64,470.17	\$ 257.09	\$ -	\$ 230.22	\$ 64,957.48
ERRP Fund	\$ -	\$ -	\$ -	\$ -	\$ -
Adult Probation	\$ 97,173.45	\$ -	\$ -	\$ 346.27	\$ 97,519.72
Juvenile Fund	\$ 83,514.40	\$ -	\$ -	\$ 297.60	\$ 83,812.00
Retiree Health Insurance Fund	\$ 904,351.25	\$ -	\$ -	\$ 3,222.59	\$ 907,573.84
Jail Project Fund	\$ -	\$ -	\$ -	\$ -	\$ -
Central Dispatch	\$ 1,471,973.99	\$ -	\$ -	\$ 5,245.27	\$ 1,477,219.26
<b>Total Primary Account</b>	\$ 40,622,347.82	\$ 351,884.43	\$ (2,351,884.43)	\$ 142,386.27	\$ 38,764,734.09

Total All Texpool Accounts

\$ 40,622,347.82 \$ 351,884.43 \$ (2,351,884.43) \$ 142,386.27 \$ 38,764,734.09

Summary of Investments Earnings  
April-25

Average Daily Net Yield

4.34

Interest

Texpool Account 236151301000

General Fund	101.48010.20020	\$	48,439.38
General Projects Fund	105.48010.11105	\$	13,430.37
General Capital Projects Fund	115.48010.11115	\$	20,858.47
Corona Virus Relief Fund	119.48010.11119	\$	-
Task Force Seizure Fund	180.21990.10000	\$	247.05
Heathly County Initiative	185.48010.11185	\$	55.79
	186.48010.11186	\$	58.60
	187.48010.11192	\$	0.12
	192.48010.11192	\$	5,330.45
Road & Bridge	220.48010.11220	\$	13,373.29
EMS	301.48010.11301	\$	16,945.37
SB22-CDA Grant FY 2025	401.48010.11401	\$	511.99
SB22-Sheriff Grant FY 2025	410.48010.11410	\$	1,698.26
Affordable Housing Initiatives	460.48010.62040	\$	-
County Records Management	511.48010.11511	\$	-
County Records II Digitize	512.48010.11512	\$	248.68
County Records Preservation	515.48010.11515	\$	1,119.05
Archive Fund	516.48010.11516	\$	1,325.12
Court Facilities Fund	517.48010.11517	\$	205.01
District Clerk Records Fund	518.48010.11518	\$	174.31
Rider 42 Prosecution	519.48010.11519	\$	411.34
County Jury Fund	524.48010.11524	\$	19.21
Court Reporter Service Fund	525.48010.11525	\$	38.43
Law Library	526.48010.11526	\$	261.13
Courthouse Security	536.48010.11536	\$	-
Justice Courts Security Fund	537.48010.11537	\$	184.90
JP TruancyPrev and Diversion Fund	538.48010.11538	\$	15.99
County Speciality Court Programs	539.48010.11539	\$	40.65
US Forest Service-Fire Projects	540.48010.11540	\$	0.00
Justice Technology	550.48010.11550	\$	285.09
Co. and Dist Court Tech Fund	551.48010.11551	\$	3.33
Prof Prosecutors Supplement	560.48010.11560	\$	-
Pretrial Intervention Fund	561.48010.11561	\$	569.62
DA Narcotics	562.48010.11562	\$	808.74
Hot Check	563.48010.11563	\$	-
SO Narcotics	574.48010.11574	\$	2,069.71
Inmate Medical	576.48010.11576	\$	219.49
DOJ Equitable Sharing	577.48010.11577	\$	2,059.07
Sheriff Commissary Fund	578.48010.11578	\$	1,813.38
Elections Equipment Fund	583.48010.11583	\$	-
Elections Svcs Contract Fund	584.48010.11584	\$	222.93
Special Inventory Tax	589.48010.11589	\$	230.22
ERRP Fund	590.48010.11590	\$	-
Adult Probation	615.48010.50130	\$	346.27
Juvenile Fund	640.48010.36030	\$	297.60
Retiree Health Insurance Fund	701.48010.11701	\$	3,222.59
Jail Project Fund	756.48010.11756	\$	-
Central Dispatch	802.48010.11802	\$	5,245.27
<b>Total Primary Account</b>		<b>\$</b>	<b>142,386.27</b>
<b>Total Monthly Interest</b>		<b>\$</b>	<b>142,386.27</b>

Summary of Investments Earnings  
Apr-25

Fund	Beginning Balance	Deposits to Wells Fargo	Withdrawals Wells Fargo	Interest Earnings	Month Ending Balance
101	\$ 6,635,701.79	\$ -	\$ -	\$ 22,525.02	\$ 6,658,226.81
105	\$ 365,553.05	\$ -	\$ -	\$ 1,240.88	\$ 366,793.93
220	\$ -	\$ -	\$ -	\$ -	\$ -
301	\$ 181,170.44	\$ -	\$ -	\$ 614.99	\$ 181,785.43
<b>Total All Accounts</b>	<b>\$ 7,182,425.28</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 24,380.89</b>	<b>\$ 7,206,806.17</b>

Landing Rock-  
Account #01127000265  
General Fund  
General Project Fund  
Road and Bridge  
Walker County EMS  
  
**Total All Accounts**

Interfund transfers \$0

**Interest Summary**  
**April-25**

**4.13 APR**

**Landing Rock-**  
**Account #01127000265**

	<u>Interest</u>	
General Fund	101.12070.10000	\$ 22,525.02
General Project Fund	105.12070.10000	\$ 1,240.88
Road and Bridge	220.12070.10000	\$ -
Walker County EMS	301.12070.10000	\$ 614.99

**Total Primary Account**

**\$ 24,380.89**

Interfund transfers \$0



Summary of Investments Earnings  
April-25

Fund	Beginning MBIA	Deposits to MBIA	Withdrawals from MBIA	Interest Earnings	Month Ending Balance
<b>MBIA Account TX-01-0435-0001</b>					
General Fund	\$ 1,463,691.29	\$ -	\$ -	\$ 5,345.93	\$ 1,469,037.22
General Project Fund	\$ 920,584.74	\$ -	\$ -	\$ 3,362.31	\$ 923,947.05
Road and Bridge	\$ -	\$ -	\$ -	\$ -	\$ -
Walker County EMS	\$ 69,290.64	\$ -	\$ -	\$ 253.08	\$ 69,543.72
County Records M&P	\$ -	\$ -	\$ -	\$ -	\$ -
County Clerk Records M&P	\$ 75,886.47	\$ -	\$ -	\$ 277.17	\$ 76,163.64
County Clerk Records Archive	\$ -	\$ -	\$ -	\$ -	\$ -
District Clerk Rider	\$ -	\$ -	\$ -	\$ -	\$ -
Justice Courts Technology	\$ -	\$ -	\$ -	\$ -	\$ -
District Attorney Forfeiture	\$ -	\$ -	\$ -	\$ -	\$ -
DOJ Equitable Sharing	\$ 27,417.05	\$ -	\$ -	\$ 100.14	\$ 27,517.19
Adult Probation - Basic Services	\$ 132,281.33	\$ -	\$ -	\$ 483.14	\$ 132,764.47
Adult Probation - Substance Abuse	\$ -	\$ -	\$ -	\$ -	\$ -
Juvenile Grant Title IVE	\$ -	\$ -	\$ -	\$ -	\$ -
Juvenile Grant - State Aid	\$ -	\$ -	\$ -	\$ -	\$ -
Juvenile Grant - Medical Services	\$ -	\$ -	\$ -	\$ -	\$ -
Retiree Health Insurance	\$ 1,379,017.14	\$ -	\$ -	\$ 5,036.68	\$ 1,384,053.82
Jail Project Fund	\$ -	\$ -	\$ -	\$ -	\$ -
Sheriff Commissary	\$ -	\$ -	\$ -	\$ -	\$ -
Total Primary Account	\$ 4,068,168.66	\$ -	\$ -	\$ 14,858.45	\$ 4,083,027.11
<b>Total All MBIA Accounts</b>	\$ 4,068,168.66	\$ -	\$ -	\$ 14,858.45	\$ 4,083,027.11

4/1/2025  
April-25

Average Monthly Yield	4.4362	
	Interest	
<b>MBIA Account TX-01-0435-0001</b>		
General Fund	101.12020.10000	\$ 5,345.93
General Project Fund	105.12020.10000	\$ 3,362.31
Road and Bridge	220.12020.10000	\$ -
Walker County EMS	301.12020.10000	\$ 253.08
County Records M&P	511.12020.10000	\$ -
County Clerk Records M&P	515.12020.10000	\$ 277.17
County Clerk Records Archive	516.12020.10000	\$ -
District Clerk Rider	519.12020.10000	\$ -
Justice Courts Technology	550.12020.10000	\$ -
District Attorney Forfeiture	562.12020.10000	\$ -
DOJ Equitable Sharing	577.12020.10000	\$ 100.14
Adult Probation - Basic Services	615.12020.10000	\$ 483.14
Adult Probation - Substance Abuse	617.12020.10000	\$ -
Juvenile Grant Title IVE	640.12020.10000	\$ -
Juvenile Grant - State Aid	641.12020.10000	\$ -
Retiree Health Insurance	701.12020.10000	\$ 5,036.68
Juvenile Grant - Medical Services	644.12020.10000	\$ -
Jail Project Fund	756.12020.10000	\$ -
Sheriff Commissary	801.12020.10000	\$ -
<b>Total Primary Account</b>		<b>\$ 14,858.45</b>
<b>Total Monthly Interest</b>		<b>\$ 14,858.45</b>



**Walker County EMS**  
**Monthly Report**  
**April 2025**

Vehicles Available	Location/Notes	Availability
701- 2012 RAM 4500 Frazer	Reserve at EMS South Station/M60 reserve	Reserve/Available for use
702- 2015 Ford F350 Frazer	Reserve/ HFD Station #4/M64 reserve	Reserve/Available for use
703- 2016 Dodge 4500 Frazer		Reserve/Available for use
721- 2022 Ford F450	HFD Station #2/M62	In Service
782- 2018 Ford F450	South Station/M60	In Service
783- 2020 Ford F450	HFD Station #1/M61	In Service
789- 2021 Ford F450	South Station/M60	Reserve/Available for use
780- 2013 Ford F450 Frazer	Frazer, Remount in Progress	Out of Service- Awaiting licensing
790- 2017 Ford F450 Frazer	ESD #2 Station 71/M71	In Service
761- 2023 Ford F450 Frazer	HFD Station #4/M64	In Service
762- 2023 Ford F450	HFD Station #4/M64	In Service

Other Vehicles		
R33- 2023 ATV BRP/CanAm Defender Pro	North Station	In Service
7101- 2023 Chevy Tahoe SSV	District Chief	In Service
7021- 2023 Chevy Tahoe SSV	Assistant Chief	Reserve/In Service
793- 2017 Ford Explorer	EMS Chief	In Service
7099- 2024 Ford F150	Logistics Chief	In Service
780- 210 Crown Victoria	OOS	OOS
791- 2017 Ford Explorer	Back-up/crew vehicle	Reserve Status
2025Chevy Tahoe	EMS Chief	Awaiting Upfitting

Call Volume By Unit	Apr-25	
M60/A60	161	
M61/A61	148	
M62/A62	181	
M64/A64	189	
M71	87	
Special Event Units	3	
Total Calls	832	Including null/test calls

Call Volume By District	Apr-25	
North		
East		
West		
South		
Central		
Total		

Year to Date Calls- Jan. 1-April 30, 2025	3,339	Including null/test calls
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Response Time by Unit	Apr-25
M60/A60	16:00
M61/A61	12:16
M62/A62	8:49
M64/A64	12:36
M71	10:13
Department Average	11:54

Transport by Destination	Apr-25
Huntsville Memorial	435
HCA Conroe	42
St. Luke's The Woodlands	4
St. Luke's HUNTSVILLE	1
Methodist The Woodlands	10
Hermann The Woodlands	2
Trinity Mid-Coast ER	0
Texas Children's The Woodlands	4
St. Joseph's Madisonville	1
PETC	0
Total Transports	499

TDCJ Call Volume	Apr-25
Estelle	36
Ellis	10
Goree	1
Byrd	2
Walls	3
Wynne	9
Holiday	2
Total	63


12.62 of monthly transports

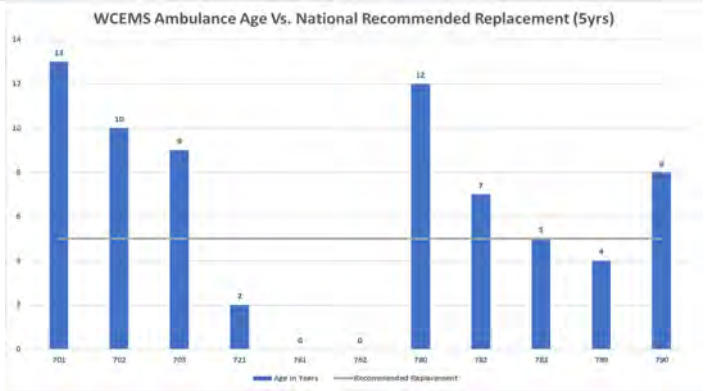
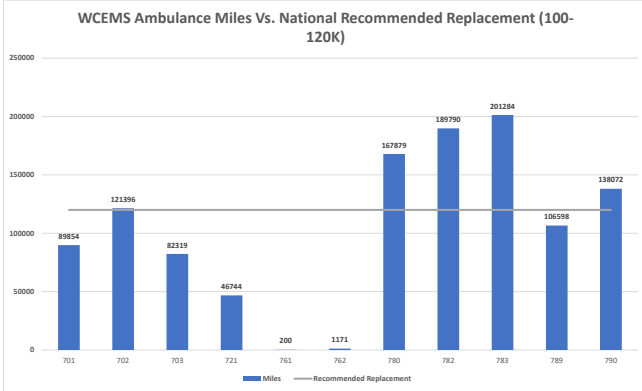
Air Medical Utilization	Apr-25
Total	1
Reasons For Air Medical Utilization	
Multiple Injuries/Multisystem Trauma	PHI

Public Relations Events	12
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Top 10 Primary Impressions	Mar-25
Chest Pain	41
Generalized Weakness	36
Abdominal Pain	33
Shortness of Breath	30
No Complaints or injury/illness	27
Injury of Head	25

Seizure	24
Syncopal/Fainting	21
Adult General Exam- No Findings	19
Pain due to Trauma	17

<div>  <div> <b>WCEMS Fleet Info Reference Chart</b> </div> </div>													
Mileage as of 04/01/2025													
Truck Number	FAS Number	Year	Make	Model	VIN	License Plate	Ambulance Manufacturer	Current Location	Current Miles	Current Hours	Powerload Equipped?	Ambulance In Service?	Notes as of 04/01/2025
701	13755	2012	RAM	4500	3C7WDKCL9CQ217436	159-4749	Frazer	Reserve Status @ 60	89,854	7,398	N	Y	
702	13756	2015	Ford	F-350	1FDRF3GT6FEC98942	159-4750	Frazer	Reserve Status @ 64	121,396	7,090	N	Y	
703	13771	2016	RAM	4500	3C7WRKCL9GG310030	159-4862	Frazer	OOS @ Frazer	82,319	6,865	Y	N	
721	13492	2022	Ford	F-450	1FDUF4GT3NDA17135	156-9959	Frazer	Front Line M62	46,744	3,863	Y	Y	
761	13840	2023	Ford	F-450	1FDUF4GT1PDA19520	161-2868	Frazer	Front Line M64	10,722	618	Y	Y	
762	13854	2023	Ford	F-450	1FDUF4GT1PDA16776	161-2885	Frazer	OOS @ 64	1,171	78	Y	N	Module AC out as of 03/31/2025. Working on getting it down to Frazer- <b>REPAIRED</b> at time of report
780	N/A	2013	Ford	F-450	1FDUF4GT9DKA35048	141-6293	Frazer	OOS @ Frazer	167,879	10,324	Y	N	WCESD2 Provided Ambulance. At Frazer for remount, will return as a different truck number (771)
782	12934	2018	Ford	F-450	1FDUF4GT6JEB84982	143-4189	Siddons-Martin	Front Line M60	189,790	12,101	Y	Y	
783	13006	2020	Ford	F-450	1FDUF4GT3LDA02535	145-2956	Siddons-Martin	Front Line M61	201,284	11,703	Y	Y	
789	13088	2021	Ford	F-450	1FDUF4GT9MDA02492	145-8649	Horton-Carter	Reserve Status @ 60	106,598	6,557	N	Y	Rear Scene Lights out.
790	N/A	2017	Ford	F-450	1FDUF4HTSHB41713	136-4582	Frazer	Front Line @ 71	138,072	6,700	Y	Y	WCESD2 Provided Ambulance
R33	13669	2023	BRP/Can-Am	Defender Pro	3JB7KAX26PK000029	N/A	N/A	Auxiliary @ 64	299	82			



## April 2025 Staffing by Day

Date	M60	M61	M62	M64	M71	Notes
4/1/2025		OOS full 24 hrs				
4/2/2025						
4/3/2025						
4/4/2025						
4/5/2025	D10 covering 24 hours			OOS night half		sick call off
4/6/2025						
4/7/2025						
4/8/2025						
4/9/2025	D10 Covered 9.5 hours					
4/10/2025		D10 covering 24 hours				call off
4/11/2025		D10 covering day half				
4/12/2025						
4/13/2025						
4/14/2025				D10 covering 24 hours		
4/15/2025				D10 covering day half		
4/16/2025						
4/17/2025	D10 covering day half					Call off
4/18/2025				OOS night half		
4/19/2025				D10 covering day half/OOS PM		
4/20/2025		D10 covered 14 hours				call off
4/21/2025		OOS day half				call off
4/22/2025						
4/23/2025						
4/24/2025						
4/25/2025						
4/26/2025						
4/27/2025			OOS day half			
4/28/2025	D10 covered 7 hours					
4/29/2025						
4/30/2025						
						Staffed full 24 hrs
						OOS full 24 hrs
						OOS 12 hrs or less
						D10 covering opening on shift-unit staffed.

# Staffing Matrix as of May 1, 2025

As of May 1, 2024	A Shift Medic/Attendant	B Shift Medic/Attendant	C Shift Medic/Attendant
M-60	Staffed/Staffed	Staffed/Staffed	Staffed/Staffed
M-61	Staffed/Staffed	Staffed/Staffed	Staffed/Staffed
M-62	Staffed / Staffed	Staffed / Staffed	Staffed / Staffed
M-64	Staffed / Staffed	Staffed / Staffed	Staffed / Staffed
M-71	Staffed/Staffed	Staffed / Staffed	Staffed/Staffed
District Chief	OPEN	Staffed	Staffed
Medic 51 (Riverside)	OPEN/New Hire FTO	OPEN/New Hire FTO	OPEN/June 2 FTO

Hiring process March 17 & 18	Start Date April 14	Start Date Tentative June 2
Hired 4 EMTs	2 EMT - Currently in Phase II of FTO	2 EMT

Needs:

1 District Chief

3 Paramedics

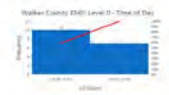
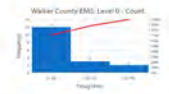
1 EMT

Will Fill Mid-May



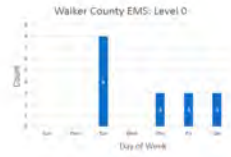
# Walker County EMS – Level 0

Walker County EMS	Value
Total EMS incidents	476
Number of Level 0	17
Average Time Delay (min)	1.2
Median Time Delay (min)	1.2



Level 0 Data Chart, Frequency grouped by Minutes, Frequency grouped by time of day and count by day of week

# Walker County EMS – Level 0



# Walker County EMS – Level 0

Walker County EMS	Value
Total EMS incidents	476
Total EMS incidents	476
Number of Level 0	17
Average Time Delay (min)	1.2
Median Time Delay (min)	1.2





SOUTHEAST TEXAS HOUSING FINANCE CORPORATION

April 28, 2025

The Honorable Colt Christian  
Walker County Judge's Office  
1100 University Ave., Room 204  
Huntsville, Texas 77340

RECEIVED

MAY 02 2025

WALKER COUNTY  
JUDGES' OFFICE

RE: Bay Terrace Apartments, Baytown  
Issuance of Tax-Exempt Bond Financing  
The Southeast Texas Housing Finance Corporation

Dear Judge Christian:

Please find enclosed:

- **General and No Litigation Certificates**

These documents represent the Approval for the Issuance of Tax-Exempt Bonds for the acquisition and rehabilitation of the Bay Terrace Apartments in Baytown, Texas.

Please **sign three (3) copies** of the **General and No Litigation Certificates**. *In order to meet the Attorney General's submission date, we respectfully request the return of the original executed copies no later than **May 30, 2025**, using the pre-paid Fed Ex Envelope included in this packet.*

NOTE: Please Do Not Date the General and No Litigation Certificate. The State of Texas' Attorney General's Office will date those forms when appropriate.

For your review, I have also included a copy of the:

- **Resolution of No Objection from the City of Baytown**
- **Certificate of Hearing Officer**

If you or your staff have any questions, please do not hesitate to contact me at 281-484-4663 ext. 108 or at [rwilliams@sethfc.com](mailto:rwilliams@sethfc.com).

Sincerely,

Ron Williams  
Executive Director

xc: Ms. Liesa Hackett, SETH Director (w/o Attachments)

NOTE: Neither the State of Texas' Attorney General's Office nor the Housing Finance Corporation Act requires a Resolution of Approval by City Councils or Commissioners' Courts. SETH must obtain approval from all nineteen (19) of its jurisdictions for the issuance of any tax-exempt bonds.

## GENERAL AND NO LITIGATION CERTIFICATE OF WALKER COUNTY

We hereby certify that we are duly elected or appointed and acting officers of Walker County, Texas (the "*County*"). We do hereby further certify that:

1. This Certificate is for the benefit of the Attorney General of the State of Texas (the "*Attorney General*") and all persons interested in the validity of the proceedings of The Southeast Texas Housing Finance Corporation (the "*Corporation*") related to the issuance by the Corporation of its tax-exempt obligations for the Bay Terrace Apartments project, to be issued in one or more series in an aggregate principal amount not to exceed \$22,500,000 (the "*Bonds*").

2. The Commissioners Court (the "*Governing Body*") of the County authorized the membership of the County in the Corporation, a joint housing finance corporation created pursuant to the Texas Housing Finance Corporations Act, Chapter 394, Local Government Code, as amended (the "*Act*"), and approved the Corporation's articles of incorporation (and all amendments thereto).

3. The County has appointed Liesa Hackett to act as a member of the board of directors of the Corporation. The individual is a resident of a city or county which is a member of the Corporation.

4. The Governing Body has taken no action pursuant to the Act, including Section 394.016(c) thereof, or otherwise, to limit the effectiveness of the resolution authorizing the issuance of the Bonds or in any way affecting the proceedings relating to the issuance of the Bonds.

5. The Governing Body has not created any other Corporation that currently has the power to make home mortgages or loans to lending institutions, the proceeds of which are to be used to make home mortgage or loans on residential developments.

6. No litigation is pending, or to our knowledge threatened, in any court in any way affecting the existence of the Corporation or seeking to restrain or to enjoin the issuance, sale or delivery of the Bonds, or in any way contesting or affecting the validity or enforceability of the Bonds or the financing documents to which the Corporation is a party, or contesting in any way the completeness or accuracy of any disclosure document prepared in connection with the issuance of the Bonds, or contesting the powers of the Corporation or its authority with respect to the financing documents to which it is party.

7. Each of the undersigned officers of the County hereby certifies that he or she is the duly elected or appointed incumbent of the office appearing below his or her signature and that the signature of the other officer appearing below is the true and correct signature of such person.

8. The Attorney General of the State of Texas is hereby authorized and directed to date this Certificate concurrently with the date of his approval of the Bonds and this Certificate shall be deemed for all purposes to be accurate and correct on and as of that date and on and as of the date of the initial issuance and delivery of the Bonds to the initial purchasers thereof.

9. By his or her signature hereto, the undersigned representative of the Governing Body assumes no liability whatsoever with respect to the Bonds. The Bonds are not an indebtedness of the Governing Body or the County and the Governing Body and the County shall have no liability therefor.

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WALKER COUNTY, TEXAS

By \_\_\_\_\_  
Judge Colt Christian

ATTEST

By \_\_\_\_\_  
[Deputy] County Clerk

DATED: \_\_\_\_\_  
[TO BE DATED BY ATTORNEY  
GENERAL OF THE STATE OF TEXAS]

RESOLUTION NO. 2973

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BAYTOWN, TEXAS, REGISTERING NO OBJECTION TO THE ATRIUM BAY TERRACE, LP'S PROPOSED REHABILITATION OF THE BAY TERRACE APARTMENTS AND POSSIBLE ALLOCATION OF 4% AND 9% LOW INCOME HOUSING TAX CREDIT FOR THE PROJECT; AND PROVIDING FOR THE EFFECTIVE DATE THEREOF.

\*\*\*\*\*

WHEREAS, Atrium Bay Terrace, LP, is seeking a declaration from the City of Baytown that it does not object to the allocation of 4% and 9% Low Income Housing Tax Credit ("LIHTC") for its proposed rehabilitation of 130 affordable rental housing units at the Bay Terrace Apartments located at 1502 Nolan Road in the corporate limits City of Baytown, Harris County, Texas (the "Project"); and

WHEREAS, Resolution No. 1913 of the City Council of the City of Baytown, opposes any additional low income housing tax credit ("LIHTC") units within the City; and

WHEREAS, Resolution No. 2087 amends Resolution No. 1913 to provide a limited exception that allows the City Council to consider the approval of an application for low income housing tax credit units associated with the Texas Department of Housing and Community Affairs' Low Income Housing Tax Credit Program (LIHTC); and

WHEREAS, the Project in the City's corporate limits does not create new subsidized housing but merely proposes to upgrade the existing housing stock; NOW THEREFORE,

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BAYTOWN, TEXAS:

Section 1: That in accordance with the requirements of Tex. Gov't Code §2306.67071 and Texas Administrative Code §11.204(4), the City Council hereby finds that:

- a. notice was provided to the City Council in accordance with Tex. Gov't Code, §2306.67071(a); and
- b. the City Council has had sufficient opportunity to obtain a response from the Applicant regarding any questions or concerns about the proposed Development; and
- c. on February 13, 2025, the City Council held a hearing at which public comment may be made on the proposed Project in accordance with Tex. Gov't Code, §2306.67071(b); and
- d. after due consideration of the information provided by Atrium Bay Terrace, LP, and public comment, the City Council does not object to the proposed application for the allocation of 4% and 9% LIHTC for the Project.

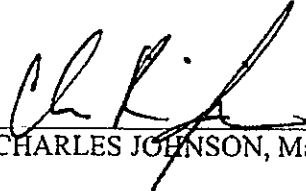
Section 2: That the City Council hereby registers no objection to the rehabilitation of the Piedmont Apartments pursuant to Tex. Gov't Code §2306.6703(a)(4) and no objection to Atrium Bay Terrace, LP applying and receiving the 4% and 9% Low Income Housing Tax

Credit (LIHTC) through the Texas Department of Housing and Community Affairs (TDHCA) to rehabilitate the Bay Terrace Apartments.


Section 3: That the City Clerk is hereby authorized and directed to send a certified copy of this resolution to the Texas Department of Housing and Community Affairs.

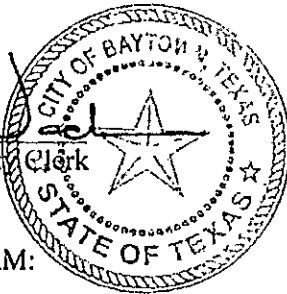
Section 4: This resolution shall take effect immediately from and after its passage by the City Council of the City of Baytown, Texas.

INTRODUCED, READ and PASSED by the City Council of the City of Baytown this the 13<sup>th</sup> day of February, 2025.

  
CHARLES JOHNSON, Mayor

ATTEST:

  
ANGELA JACKSON, City Clerk



APPROVED AS TO FORM:

  
SCOTT LEMON, City Attorney



## CERTIFICATE OF HEARING OFFICER

I, the undersigned, acting as hearing officer (the "*Hearing Officer*"), do hereby make and execute this certificate for the benefit of all persons interested in the proposed issuance of one or more series of tax-exempt obligations by The Southeast Texas Housing Finance Corporation in an aggregate principal amount not to exceed \$22,500,000 (the "*Bonds*") for the benefit of Atrium Bay Terrace, Limited Partnership, or an affiliate thereof, in connection with the acquisition, rehabilitation and equipping of an approximately 130-unit multifamily housing development located at 1502 Nolan Road, Baytown, Texas 77520 (the "*Development*").

I hereby certify as follows:

1. That I am the duly appointed Hearing Officer for the public hearing that was held on April 2, 2025, at 11:00 a.m. Central time telephonically whereby all interested persons could monitor and participate in the hearing by calling (877) 853-5247 (a toll-free telephone number) and entering 802-469-2463, followed by a pound key (#), in connection with the issuance of the Bonds.

2. That notice of the public hearing was published no less than seven days before the date of the public hearing in a newspaper or newspapers of general circulation available to residents of the Texas Counties of Austin, Brazoria, Chambers, Galveston, Liberty, Matagorda, Walker, Waller and Wharton and the Texas Cities of Baytown, Deer Park, Dickinson, La Marque, La Porte, Pasadena, Santa Fe, Shoreacres, Texas City and Tomball, as described in *Exhibit A* attached hereto; the notice included the date, time and place of the public hearing, the location, a description of the Development and the maximum aggregate principal amount of the Bonds.

3. That all interested persons who attended the public hearing telephonically were given an opportunity to comment on the proposed issuance of the Bonds and the Development. The names and comments of all interested persons appearing at the public hearing, if any, are set forth in *Exhibit A* attached hereto.

4. That after giving all interested persons an opportunity to attend the hearing telephonically by dialing into the toll-free telephone conference line number noted above and comment, the public hearing was declared closed.

5. That copies of the affidavits of publication of notice of public hearing are set forth in *Exhibit B* attached hereto.

[Remainder of Page Intentionally Left Blank]

## EXHIBIT A

### MINUTES OF PUBLIC HEARING

A public hearing was held by The Southeast Texas Housing Finance Corporation (the "Issuer") telephonically whereby all interested persons could monitor and participate in the hearing by calling (877) 853-5247 (a toll-free telephone number) and entering 802-469-2463, followed by a pound key (#), on April 2, 2025, beginning at 11:00 a.m. Central time.

The hearing was held with respect to the proposed issuance by the Issuer of not to exceed \$22,500,000 of tax-exempt obligations in one or more series (the "Bonds") in satisfaction of the requirements of Section 147(f) of the Internal Revenue Code of 1986, as amended, regarding the public approval prerequisite to the excludability of the interest on the Bonds from gross income for federal income tax purposes.

The notice of public hearing published in the *Houston Chronicle* on March 14, 2025 and in *The Baytown Sun* on March 16, 2025 indicated that the proceeds of the Bonds will be used to finance the acquisition, rehabilitation and equipping of the Bay Terrace Apartments (the "Development"), located within the City of Baytown, Texas, by Atrium Bay Terrace, Limited Partnership, or an affiliate thereof (the "Borrower").

Present at the hearing on behalf of the Issuer were Ron Williams, the hearing officer for the Issuer (the "Hearing Officer") and Candace Carrier-Spencer, executive assistant, of the Issuer. Others present were Ryan J. Bowen and Michelle Krofel of Chapman and Cutler LLP, bond counsel, Sharon Rose, Community Development Supervisor, of the City of Baytown, and Steve Anderson of Atrium Housing, Inc., an affiliate of the Borrower.

The Hearing Officer called the meeting to order and asked if there were any interested persons present who wished to express their views with respect to the issuance of the Bonds, or the Development being financed.

No one expressed an interest to speak.

Whereupon the Hearing Officer closed the public hearing at 11:13 a.m.

The Baytown Sun  
1301 Memorial Drive  
Baytown, Texas 77520  
281-422-8302

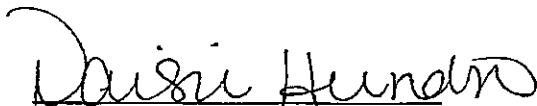
AFFIDAVIT OF PUBLICATION

Miller Advertising Agency  
909 Third Avenue, 15<sup>th</sup> Floor  
New York, New York 10022  
Attn: Gus Egloff

COUNTY OF HARRIS

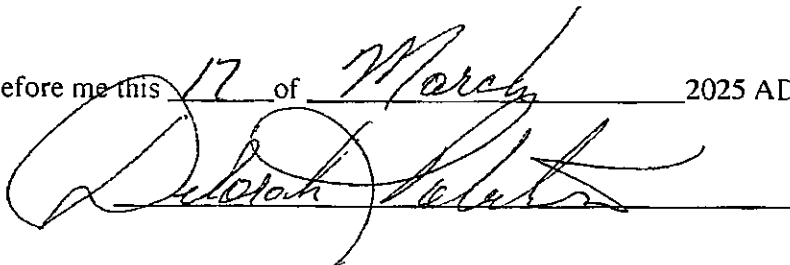
Reference: Southeast Texas Housing Finance Corporation Public Hearing – Atrium Bay Terrace

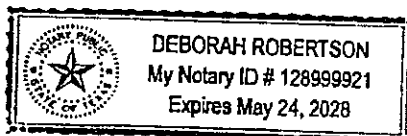
Before me, the undersigned authority, on this day personally appeared, Daisie Herndon who being duly sworn, deposes and says that she is an agent of the Baytown Sun: that said newspaper is regularly published in Harris County and generally circulated in Harris and Chambers Counties, Texas: that the attached notice was published on the following date.

  
Daisie Herndon, Agent

Printed: March 16, 2025

Subscribed and sworn before me this 17 of March 2025 AD





## GARAGE SALES

501 E. Wright St.  
Sat. 10h-3pm  
Misc. household items & more

**Big Spring Sale**  
Monte Bellu  
10629 Eagle Dr.  
Thurs & Fri 8-4pm  
Sat 9-11 Great Prices

**Estate Sale**  
3301 Savell Dr.  
Sat. 3-5, 5-7pm  
Prices 50% off - A  
fewer till all items  
sold. Pcs  
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Cash Only  
No Children!  
K. Hester Estate Sales

## Handyman Services

**"HAULING HANK"**  
Will haul off trash,  
debris, buildings &  
junk. 281-420-2281

## Tree Services

**AAA Quality Tree**  
Trim & Removal  
For low rates call  
281-420-2281

## Full-time Employment

Personal assistant,  
office help, up to \$9/  
hr flexible hours.  
Please send resume  
to linda22miller@  
outlook.com or text to  
713-551-1994

## Pet Supplies/Services

If veterinary care is  
unavailable or unaf-  
fordable, ask for  
"Happy Jack's" mange  
medicine to treat  
mange, demodectic & fur-  
y without steroids.  
P.O. BOX 1000  
FEED. 424-7731

## Legal Notices

### NOTICE TO BIDDERS

The City of Morgan's Point is accepting sealed proposals for the construction of an effluent outfall. The project is located at 227 North Wilson Road. Bids will be received at City Hall, 510 Bayridge Rd., Morgan's Point, TX 77571, until 2:00 PM, local time, April 1, 2025, and then publicly opened and read.

### A NON-MANDATORY pre-bid conference

will be held at City Hall, 510 Bayridge Rd., Morgan's Point, TX 77571, at 2:00 PM, March 25, 2025 with an on-site visit to follow. Each bid must be accompanied by a certified check or bid bond, duly executed, in the amount of five (5%) percent of the bid. Complete bidding documents are available at www.civictusa.com.

### The City of Morgan's Point hereby notifies

all bidders that minority business enterprises will be afforded equal opportunities to submit bids in response to this invitation and will not be discriminated against on the grounds of race, color, sex, age, religion or national origin, or any protected class in consideration for an award.

### The City reserves the right to reject any and/or all bids, to waive any and/or all technicalities and to accept any bid or part thereof, which in the opinion of the city council, is most advantageous to the City in the event of ambiguity or lack of clearness in stating the prices in the bid, the City reserves the right to consider the most advantageous bid thereof or to reject the bid.

### Legal Notice for Lee College

Lee College (the "College") is requesting proposals for a five (5) year bank depositary services contract. The initial service is to begin September 1, 2025 and extend through August 31, 2030. Through this contract the College intends to minimize banking costs, improve operational efficiency, and maximize its investment capabilities. This Request for Proposal (RFP), which represents the College's cash management goals, also specifies all required qualifications, the banking services required, the estimated activity volumes on all accounts, the method of compensation, submission instructions and contract award provisions. All qualified institutions, as defined below, are invited to submit a proposal. Institutions responding to this Request for Proposal (RFP) must be insured through the Federal Deposit Insurance Corporation (FDIC) and must be able to demonstrate a capacity to meet the College's requirements as stated in the RFP.

### Please contact Jonathan Harris, Purchasing Director at jharris@lee.edu if you have any questions or you need any additional information.

### LC will make a good faith effort to follow the timeline for evaluating, negotiating and issuing an award:

Release Project Date: March 10, 2025  
Question Submission Deadline: March 25, 2025 5:00 pm CST  
Proposal Submission Deadline: April 9, 2025 5:00 pm CST  
Evaluation of Proposals: April-May 2025  
Award date: May 2025  
Contract start date: September 1, 2025.

### ORDINANCE NO. 16.088

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF BAYTOWN, TEXAS, AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF BAYTOWN TO REZONE APPROXIMATELY 5.56 ACRES GENERALLY LOCATED AT 4300 AND 4350 EAST INTERSTATE HIGHWAY 10 (E.H. 10), LEGALLY DESCRIBED AS LOT 1, BLOCK 1, RAPSON PAD, AND 2.5 ACRES OUT OF TRACT 51F, BLOCK 19, HIGHLAND FARMS, BAYTOWN, HARRIS COUNTY, TEXAS, FROM SAN JACINTO (S-J) TO A FREEWAY COMMERCIAL (FC) ZONING DISTRICT, PRESCRIBING A MAXIMUM PENALTY OF TWO THOUSAND AND NO/100 DOLLARS (\$2,000.00), PROVIDING A REPEALING CLAUSE, CONTAINING A SOLLARS CLAUSE, AND PROVIDING FOR THE PUBLICATION AND EFFECTIVE DATE THEREOF.

### FREE EVENT • OVER 80 VENDORS

**South Texas HOME and Garden SHOW**  
Flowersville Event Center  
500 Hwy 97 W, Floresville  
www.southtexashomeandgarden.com

Sat., March 22  
9 am-5 pm

PLANTS  
DRAWINGS  
PRESENTATIONS  
FOOD TRUCKS  
MORE

Starting at \$49.900  
By Appointment Only  
830-310-6195

### WATERFRONT LAND SALE

March 29th Only  
Off of Matagorda Bay  
Texas' Newest Waterfront Community  
Featuring 1-3 Acre Bay Access  
Starting at \$49,900  
By Appointment Only  
830-310-6195

### WE BUY OIL, GAS, & MINERAL RIGHTS

Both non-producing and producing including Non-Participating Royalty Interest (NPRI)  
Provide us your leased deed for an offer evaluation.  
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PO Box 1805 - Lubbock, TX 79408-1802  
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**I BUY RVs & MOBILE HOMES**  
Travel Trailers • 5th Wheels  
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In Any Area! Any Condition!!  
Old/New !!! Dirty or Clean !!!  
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No Title - No Problem - We Can Apply For One  
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### RATES & INFO

832-806-6305  
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### BUSINESS SERVICES DIRECTORY

**TILES SERVICES**

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Specializing in all types of tile setting for over 45 years  
• Flooring • Countertops • Bathrooms • Showers  
Tim Morales, Owner 281-222-8307  
Baytown, Texas

**FENCE SERVICES**

**TRIPLE-A FENCE**  
Residential & Commercial  
Wood • Iron • Chainlink  
Gates and More  
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**FULL SERVICE GLASS**

**Baytown's Oldest FULL SERVICE GLASS COMPANY**  
Residential Commercial • Auto  
**BAYTOWN STRONG**  
3011 N. MAIN 281-427-4705  
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John Henderson  
john-henderson1@comcast.net  
SALES & REPAIR SERVICE  
Baytown 281-428-1157 • Pasadena 281-479-3332  
1-800-345-8471  
www.hendersongaragedoor.com

**Legal Notice**

**THE SOUTHEAST TEXAS HOUSING FINANCE CORPORATION NOTICE OF PUBLIC HEARING**  
In accordance with Section 147.01 of the Internal Revenue Code of 1986, as amended, the "Code" and Section 354.0025 of the Texas Housing Finance Corporation Act, Chapter 394, Texas Local Government Code, as amended, notice is hereby given that The Southeast Texas Housing Finance Corporation (the "Corporation") will hold a public hearing telephonically at 11:00 a.m. Central time on Wednesday, April 2, 2025. All persons interested may monitor and participate in the hearing by calling (877) 853-5247 (a toll-free telephone number) and entering 802-488-2463, followed by a four digit key at promptly at 11:30 a.m. Central time on Wednesday, April 2, 2025. The Corporation's designated hearing officer will conduct the hearing on behalf of the Texas Counties of Austin, Brazoria, Chambers, Galveston, Liberty, Matagorda, Walker, Waller and Wharton and the Texas Cities of Baytown, Deer Park, Dickinson, La Marque, La Porte, Pasadena, Santa Fe, Shorelands, Texas City and Tomball. The "Sponsoring Political Subdivisions" are the Texas Counties of Austin, Brazoria, Chambers, Galveston, Liberty, Matagorda, Walker, Waller and Wharton and the Texas Cities of Baytown, Deer Park, Dickinson, La Marque, La Porte, Pasadena, Santa Fe, Shorelands, Texas City and Tomball. The "Sponsoring Political Subdivisions" are the Texas Counties of Austin, Brazoria, Chambers, Galveston, Liberty, Matagorda, Walker, Waller and Wharton and the Texas Cities of Baytown, Deer Park, Dickinson, La Marque, La Porte, Pasadena, Santa Fe, Shorelands, Texas City and Tomball. The "Sponsoring Political Subdivisions" are the Texas Counties of Austin, Brazoria, Chambers, Galveston, Liberty, Matagorda, Walker, Waller and Wharton and the Texas Cities of Baytown, Deer Park, Dickinson, La Marque, La Porte, Pasadena, Santa Fe, Shorelands, Texas City and Tomball. 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Houston Chronicle  
AFFIDAVIT OF PUBLICATIONSTATE OF TEXAS:  
COUNTY OF HARRIS

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared, a Newspaper Representative for the Hearst Newspapers, LLC – dba: Houston Chronicle, a newspaper published in Harris County, Texas and generally circulated in the Counties of: Harris, Trinity, Walker, Grimes, Polk, San Jacinto, Washington, Montgomery, Liberty, Austin, Waller, Chambers, Colorado, Brazoria, Fort Bend, Galveston, Wharton, Jackson, and Matagorda and that the publication, of which the annexed herein, or attached to, is a true and correct copy, was published to wit:

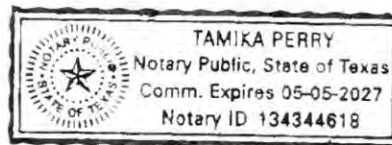
Customer ID	Customer	Campaign ID	Publication	Pub Date
21035429	THE SOUTHEAST TEXAS HOUSING	11035214	Houston Chronicle	3/14/2025

Victoria Bond  
Newspaper Representative (signature)

Victoria Bond  
Newspaper Representative (printed)

Sworn and subscribed to before me, this 17<sup>th</sup> day of March A.D. 2025

[Signature]  
Notary Public in and for the State of Texas



[illegible]





SOUTHEAST TEXAS HOUSING FINANCE CORPORATION

April 28, 2025

The Honorable Colt Christian  
Walker County Judge's Office  
1100 University Ave., Room 204  
Huntsville, Texas 77340

RECEIVED

MAY 02 2025

WALKER COUNTY  
JUDGE'S OFFICE

RE: Wyndham Park Apartments, Baytown  
Issuance of Tax-Exempt Bond Financing  
The Southeast Texas Housing Finance Corporation

Dear Judge Christian:

Please find enclosed:

- **General and No Litigation Certificates**

These documents represent the Approval for the Issuance of Tax-Exempt Bonds for the acquisition and rehabilitation of the Wyndham Apartments in Baytown, Texas.

Please **sign three (3) copies** of the **General and No Litigation Certificates**. *In order to meet the Attorney General's submission date, we respectively request the return of the original executed copies no later than **May 30, 2025**, using the pre-paid Fed Ex Envelope included in this packet.*

NOTE: Please Do Not Date the General and No Litigation Certificate. The State of Texas' Attorney General's Office will date those forms when appropriate.

For your review, I have also included a copy of the:

- **Resolution of No Objection from the City of Baytown**
- **Certificate of Hearing Officer**

If you or your staff have any questions, please do not hesitate to contact me at 281-484-4663 ext. 108 or at [rwilliams@sethfc.com](mailto:rwilliams@sethfc.com).

Sincerely,

Ron Williams

Executive Director



xc: Ms. Liesa Hackett, SETH Director (w/o Attachments)

NOTE: Neither the State of Texas' Attorney General's Office nor the Housing Finance Corporation Act requires a Resolution of Approval by City Councils or Commissioners' Courts. SETH must obtain approval from all nineteen (19) of its jurisdictions for the issuance of any tax-exempt bonds.

## GENERAL AND NO LITIGATION CERTIFICATE OF WALKER COUNTY

We hereby certify that we are duly elected or appointed and acting officers of Walker County, Texas (the "*County*"). We do hereby further certify that:

1. This Certificate is for the benefit of the Attorney General of the State of Texas (the "*Attorney General*") and all persons interested in the validity of the proceedings of The Southeast Texas Housing Finance Corporation (the "*Corporation*") related to the issuance by the Corporation of its tax-exempt obligations for the Wyndham Park project, to be issued in one or more series in an aggregate principal amount not to exceed \$20,000,000 (the "*Bonds*").

2. The Commissioners Court (the "*Governing Body*") of the County authorized the membership of the County in the Corporation, a joint housing finance corporation created pursuant to the Texas Housing Finance Corporations Act, Chapter 394, Local Government Code, as amended (the "*Act*"), and approved the Corporation's articles of incorporation (and all amendments thereto).

3. The County has appointed Liesa Hackett to act as a member of the board of directors of the Corporation. The individual is a resident of a city or county which is a member of the Corporation.

4. The Governing Body has taken no action pursuant to the Act, including Section 394.016(c) thereof, or otherwise, to limit the effectiveness of the resolution authorizing the issuance of the Bonds or in any way affecting the proceedings relating to the issuance of the Bonds.

5. The Governing Body has not created any other Corporation that currently has the power to make home mortgages or loans to lending institutions, the proceeds of which are to be used to make home mortgage or loans on residential developments.

6. No litigation is pending, or to our knowledge threatened, in any court in any way affecting the existence of the Corporation or seeking to restrain or to enjoin the issuance, sale or delivery of the Bonds, or in any way contesting or affecting the validity or enforceability of the Bonds or the financing documents to which the Corporation is a party, or contesting in any way the completeness or accuracy of any disclosure document prepared in connection with the issuance of the Bonds, or contesting the powers of the Corporation or its authority with respect to the financing documents to which it is party.

7. Each of the undersigned officers of the County hereby certifies that he or she is the duly elected or appointed incumbent of the office appearing below his or her signature and that the signature of the other officer appearing below is the true and correct signature of such person.

8. The Attorney General of the State of Texas is hereby authorized and directed to date this Certificate concurrently with the date of his approval of the Bonds and this Certificate shall be deemed for all purposes to be accurate and correct on and as of that date and on and as of the date of the initial issuance and delivery of the Bonds to the initial purchasers thereof.

9. By his or her signature hereto, the undersigned representative of the Governing Body assumes no liability whatsoever with respect to the Bonds. The Bonds are not an indebtedness of the Governing Body or the County and the Governing Body and the County shall have no liability therefor.

[Remainder of Page Intentionally Left Blank]

WALKER COUNTY, TEXAS

By \_\_\_\_\_  
Judge Colt Christian

ATTEST

By \_\_\_\_\_  
[Deputy] County Clerk

DATED: \_\_\_\_\_  
[TO BE DATED BY ATTORNEY  
GENERAL OF THE STATE OF TEXAS]

RESOLUTION NO. 2942

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BAYTOWN, TEXAS, REGISTERING NO OBJECTION TO PILLAR WYNDHAM PARK, LP'S PROPOSED REHABILITATION OF THE WYNDHAM PARK APARTMENTS AND POSSIBLE ALLOCATION OF 4% LOW INCOME HOUSING TAX CREDIT FOR THE PROJECT; AND PROVIDING FOR THE EFFECTIVE DATE THEREOF.

\*\*\*\*\*

WHEREAS, Pillar Wyndham Park, LP is seeking a declaration from the City of Baytown that it does not object to the allocation of 4% Low Income Housing Tax Credit ("LIHTC") for its proposed rehabilitation of 184 affordable senior rental housing units at Wyndham Park Apartments located at 2700 Rollingbrook Drive in the corporate limits City of Baytown, Harris County, Texas (the "Project"); and

WHEREAS, Resolution No. 1913 of the City Council of the City of Baytown, opposes any additional low income housing tax credit ("LIHTC") units within the City; and

WHEREAS, Resolution No. 2087 amends Resolution No. 1913 to provide a limited exception that allows the City Council to consider the approval of an application for low income housing tax credit units associated with the Texas Department of Housing and Community Affairs' Low Income Housing Tax Credit Program (LIHTC); and

WHEREAS, the Project in the City's corporate limits does not create new subsidized housing but merely proposes to upgrade the existing housing stock; NOW THEREFORE,

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BAYTOWN, TEXAS:

Section 1: That in accordance with the requirements of Tex. Gov't Code §2306.67071 and Texas Administrative Code §11.204(4), the City Council hereby finds that:

- a. notice was provided to the City Council in accordance with Tex. Gov't Code, §2306.67071(a); and
- b. the City Council has had sufficient opportunity to obtain a response from the Applicant regarding any questions or concerns about the proposed Development; and
- c. on September 26, 2024, the City Council held a hearing at which public comment may be made on the proposed Project in accordance with Tex. Gov't Code, §2306.67071(b); and
- d. after due consideration of the information provided by Pillar Wyndham Park, LP, and public comment, the City Council does not object to the proposed application for the allocation of 4% LIHTC for the Project.

Section 2: That the City Council hereby registers no objection to rehabilitation of the Wyndham Park Apartments pursuant to Tex. Gov't Code §2306.6703(a)(4); and no objection to Pillar Piedmont, LP applying and receiving the 4% Low Income Housing Tax

Credit (LIHTC) through the Texas Department of Housing and Community Affairs (TDHCA) to rehabilitate the Wyndham Park Apartments.

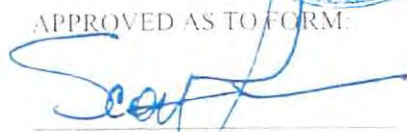
Section 3: That the City Clerk is hereby authorized and directed to send a certified copy of this resolution to the Texas Department of Housing and Community Affairs.

Section 4: This resolution shall take effect immediately from and after its passage by the City Council of the City of Baytown, Texas.

INTRODUCED, READ and PASSED by the City Council of the City of Baytown this the 26<sup>th</sup> day of September, 2024.

  
BRANDON CAPETILLO, Mayor

ATTEST  
  
ANGELA JACKSON, City Clerk

APPROVED AS TO FORM:  
  
SCOTT LEMON, City Attorney

## CERTIFICATE OF HEARING OFFICER

I, the undersigned, acting as hearing officer (the "*Hearing Officer*"), do hereby make and execute this certificate for the benefit of all persons interested in the proposed issuance of one or more series of tax-exempt obligations by The Southeast Texas Housing Finance Corporation in an aggregate principal amount not to exceed \$20,000,000 (the "*Bonds*") for the benefit of Pillar Wyndham Park, LP, or an affiliate thereof, in connection with the acquisition, rehabilitation and equipping of an approximately 184-unit multifamily housing development located at 2700 Rollingbrook Drive, Baytown, Texas 77521 (the "*Development*").

I hereby certify as follows:

1. That I am the duly appointed Hearing Officer for the public hearing that was held on April 2, 2025, at 11:30 a.m. Central time telephonically whereby all interested persons could monitor and participate in the hearing by calling (877) 853-5247 (a toll-free telephone number) and entering 802-469-2463, followed by a pound key (#), in connection with the issuance of the Bonds.

2. That notice of the public hearing was published no less than seven days before the date of the public hearing in a newspaper or newspapers of general circulation available to residents of the Texas Counties of Austin, Brazoria, Chambers, Galveston, Liberty, Matagorda, Walker, Waller and Wharton and the Texas Cities of Baytown, Deer Park, Dickinson, La Marque, La Porte, Pasadena, Santa Fe, Shoreacres, Texas City and Tomball, as described in *Exhibit A* attached hereto; the notice included the date, time and place of the public hearing, the location, a description of the Development and the maximum aggregate principal amount of the Bonds.

3. That all interested persons who attended the public hearing telephonically were given an opportunity to comment on the proposed issuance of the Bonds and the Development. The names and comments of all interested persons appearing at the public hearing, if any, are set forth in *Exhibit A* attached hereto.

4. That after giving all interested persons an opportunity to attend the hearing telephonically by dialing into the toll-free telephone conference line number noted above and comment, the public hearing was declared closed.

5. That copies of the affidavits of publication of notice of public hearing are set forth in *Exhibit B* attached hereto.

[Remainder of Page Intentionally Left Blank]

## EXHIBIT A

### MINUTES OF PUBLIC HEARING

A public hearing was held by The Southeast Texas Housing Finance Corporation (the "Issuer") telephonically whereby all interested persons could monitor and participate in the hearing by calling (877) 853-5247 (a toll-free telephone number) and entering 802-469-2463, followed by a pound key (#), on April 2, 2025, beginning at 11:30 a.m. Central time.

The hearing was held with respect to the proposed issuance by the Issuer of not to exceed \$20,000,000 of tax-exempt obligations in one or more series (the "Bonds") in satisfaction of the requirements of Section 147(f) of the Internal Revenue Code of 1986, as amended, regarding the public approval prerequisite to the excludability of the interest on the Bonds from gross income for federal income tax purposes.

The notice of public hearing published in the *Houston Chronicle* on March 14, 2025 and in *The Baytown Sun* on March 16, 2025 indicated that the proceeds of the Bonds will be used to finance the acquisition, rehabilitation and equipping of Wyndham Park (the "Development"), located within the City of Baytown, Texas, by Pillar Wyndham Park, LP, or an affiliate thereof (the "Borrower").

Present at the hearing on behalf of the Issuer were Ron Williams, the hearing officer for the Issuer (the "Hearing Officer") and Candace Carrier-Spencer, executive assistant, of the Issuer. Others present were Ryan J. Bowen and Michelle Krofel of Chapman and Cutler LLP, bond counsel, Sharon Rose, Community Development Supervisor, of the City of Baytown, Jeremy Bartholomew of Resolution Companies, an affiliate of the Borrower.

The Hearing Officer called the meeting to order and asked if there were any interested persons present who wished to express their views with respect to the issuance of the Bonds, or the Development being financed.

No one expressed an interest to speak.

Whereupon the Hearing Officer closed the public hearing at 11:43 a.m.



The Baytown Sun  
1301 Memorial Drive  
Baytown, Texas 77520  
281-422-8302

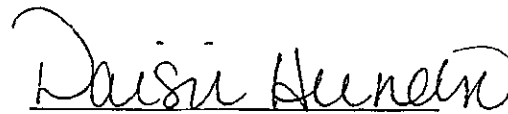
AFFIDAVIT OF PUBLICATION

Miller Advertising Agency  
909 Third Avenue, 15<sup>th</sup> Floor  
New York, New York 10022  
Attn: Gus Egloff

COUNTY OF HARRIS

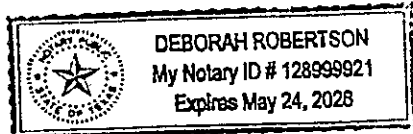
Reference: Southeast Texas Housing Finance Corporation Public Hearing – Wyndham Park

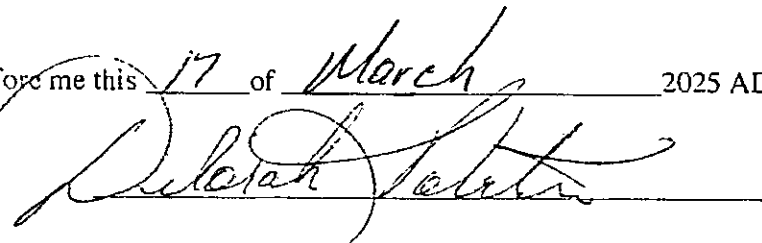
Before me, the undersigned authority, on this day personally appeared, Daisie Herndon who being duly sworn, deposes and says that she is an agent of the Baytown Sun: that said newspaper is regularly published in Harris County and generally circulated in Harris and Chambers Counties, Texas: that the attached notice was published on the following date.

  
Daisie Herndon, Agent

Printed: March 16, 2025

Subscribed and sworn before me this 17 of March 2025 AD





## GARAGE SALES

501 E. Wright St.  
Sat. 10th 9-3pm  
Misc house hold  
items & more

**Big Spring Sale**  
Mont Belvieu  
Methodist Church  
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Thur & Fri 9-4pm  
Sat 8-11 Great Prices

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3301 Savelle Dr  
Sat. 3/15, 9-2pm  
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www.estatesales.net  
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No Children!  
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## Handyman Services

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Will haul off trash,  
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junk. 281-420-2281

## Tree Services

**AAA Quality Tree**  
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For low rates call  
281-420-2281

## Full-time Employment

Personal assistant,  
office help, up to \$9/  
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Please send resume  
to linda22miller@  
outlook.com or text to  
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If veterinary care is  
unavailable or unaf-  
fordable, ask for  
Happy Jack's mange  
medicine to treat  
mange and/or itchy  
without steroids.  
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## Don't Get Left in the DARK

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that special sale?

You wouldn't  
have if you  
had read the  
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Find out where  
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baytownsun.com

**The Baytown Sun**

## Legal Notices

### NOTICE TO BIDDERS

The City of Morgan's Point is accepting sealed proposals for the construction of an effluent outfall. The project is located at 227 North Wilson Road. Bids will be received at City Hall, 510 Bayridge Rd. Morgan's Point, TX, 77571 and via CIVICAST Online Bidding, until 2:00 P.M. local time, April 1, 2025, and then publicly opened and read.

A NON-MANDATORY pre-bid conference will be held at City Hall, 510 Bayridge Rd. Morgan's Point, TX, 77571 at 2:00 P.M. March 25, 2025 with an on-site visit to follow. Each bid must be accompanied by a certified check or bid bond, duly executed in the amount of five (5%) percent of the bid. Complete bidding documents are available at www.civicast.com.

The City of Morgan's Point hereby notifies all bidders that minority business enterprises will be afforded equal opportunities to submit bids in response to this invitation and will not be discriminated against on the grounds of race, color, sex, age, religion or national origin, or any protected class in consideration for an award.

The City reserves the right to reject any and/or all bids, to waive any and/or all technicalities and to accept any bid or part thereof, which in the opinion of the city council, is most advantageous to the City in the event of ambiguity or lack of clearness in stating the prices in the bid. The City reserves the right to consider the most advantageous bid thereof or to reject the bid.

### Legal Notice for Lee College

Lee College (the "College") is requesting proposals for a five (5) year bank depository services contract. The initial service is to begin September 1, 2025 and extend through August 31, 2030. Through this contract the College intends to minimize banking costs, improve operational efficiency, and maximize its investment capabilities. This Request for Proposal (RFP), which represents the College's cash management goals, also specifies all required qualifications, the banking services required, the estimated annual volume on all accounts, the method of compensation, submission instructions and contract award provisions. All qualified institutions, as defined below, are invited to submit a proposal, institutions responding to this Request for Proposal (RFP) must be insured through the Federal Deposit

Insurance Corporation (FDIC) and must be able to demonstrate a capacity to meet the College's requirements as stated in the RFP. Please contact Jonathan Harris, Purchasing Director at jharris@lee.edu if you have any questions or you need any additional information.

LG will make a good faith effort to follow the Timeline to evaluating, negotiating, and issuing an award.

Release Project Date: March 10, 2025  
Question Submission Deadline: March 25, 2025 at 4:00 pm CST  
Proposal Submission Deadline: April 9, 2025 at 5:00 pm CST  
Evaluation of Proposals: April-May 2025  
Award date: May 2025  
Contract start date: September 1, 2025

### ORDINANCE NO. 16,388

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF BAYTOWN, TEXAS, AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF BAYTOWN TO REZONE APPROXIMATELY 5.56 ACRES GENERALLY LOCATED AT 4350 AND 4350 EAST INTERSTATE HIGHWAY 10 (I-10) + 3), LEGALLY DESCRIBED AS LOT 1, BLOCK RAPSON RD. AND 2.5 ACRES OUT OF TRACT 519, BLOCK 19, HIGHLAND FARMS, BAYTOWN, HARRIS COUNTY, TEXAS, FROM SAN JACINTO 3 (SJ-3) TO A FUTURE COMMERCIAL (FC) ZONING DISTRICT, PRESCRIBING A MAXIMUM PENALTY OF TWO THOUSAND AND NO/100 DOLLARS (\$2,000.00), PROVIDING A REPEALING CLAUSE, CONTAINING A SAVINGS CLAUSE AND PROVIDING FOR THE PUBLICATION AND EFFECTIVE DATE THEREOF.

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**South Texas HOME and GARDEN SHOW**  
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### Legal Notice

**THE SOUTHEAST TEXAS HOUSING FINANCE CORPORATION**  
**NOTICE OF PUBLIC HEARING**  
In accordance with Section 1477 of the Internal Revenue Code of 1986, as amended (the "Code") and Section 284.9025 of the Texas Housing Finance Corporation Act, Chapter 284, Texas Local Government Code, as amended, notice is hereby given that The Southeast Texas Housing Finance Corporation (the "Corporation") will hold a public hearing telephonically at 11:30 a.m. Central time on Wednesday, April 2, 2025. All persons interested may monitor and participate in the hearing by calling (877) 853-5247 at a toll-free telephone number and entering 802-489-2463, followed by a sound key (if promptly at 11:30 a.m. Central time on Wednesday, April 2, 2025). The Corporation's designated hearing officer will conduct the hearing on behalf of the Texas Counties of Austin, Brazoria, Chambers, Galveston, Liberty, Matagorda, Walker, Wharton and the Texas Cities of Baytown, Deer Park, Dickinson, La Marque, La Porte, Pasadena, Santa Fe, Shoreacres, Texas City and Tomball (the "Sponsoring Political Subdivisions"). The purpose of the hearing is to provide residents of the Sponsoring Political Subdivisions an opportunity to comment on the proposed issuance by the Corporation of its tax-exempt obligations to be issued in one or more series pursuant to Section 142(a)(7) of the Code (the "Bonds") in an aggregate principal amount of not more than \$20,000,000. The Bonds will be issued for the benefit of Pillar Wyndham Park, LP or an affiliate thereof (the "Borrower"), in connection with the acquisition, rehabilitation and equipping of a multifamily housing development known as Wyndham Park located at 2700 Rattlesnake Drive, City of Baytown, Texas 77521 and consisting of approximately 184 units (the "Development"). The Borrower will own the Development. It is anticipated that a wholly-owned affiliate of Southeast Texas Multifamily Resources, Inc., an affiliate of the Corporation, will own the land on which the Development will be located and lease such land to the Borrower. Further, it is anticipated that the general partner of the Borrower will be wholly-owned by Southeast Texas Multifamily Resources, Inc. The Bonds will be limited obligations of the Corporation, payable solely from the revenues, receipts and resources of the Corporation pledged to their payment. The Bonds will not constitute an indebtedness or obligation of any of the Sponsoring Political Subdivisions or any other city, county or other municipal or political corporation or subdivision of the State of Texas or of the State of Texas, or a part or credit of any of them, within the meaning of any constitutional or statutory provision. All interested persons are invited to attend the hearing telephonically by dialing into the toll-free telephone conference line number noted above and will be given the opportunity to express their views on the proposed issuance of the Bonds. Questions or written comments prior to 4:00 p.m. Central time on Tuesday, April 1, 2025 may be directed to the Corporation, 11111 South Sam Houston Parkway East, Houston, Texas 77059 Attention: Mr. Williams at (281) 454-4663 ext. 108 or via e-mail at williams@stehfc.com.

### Legal Notice

### NOTICE OF PUBLIC HEARING OF THE ZONING BOARD OF ADJUSTMENT

Notice is hereby given that the La Porte Zoning Board of Adjustment will conduct public hearings at 6:00 P.M. on the March 27, 2025 in the Council Chambers of City Hall located at 604 West Fairmont Parkway, La Porte, Texas, in accordance with the provisions in Section 106-171 of the City of La Porte Code of Ordinances and the provisions of the Texas Local Government Code giving all interested persons the right to appear and be heard on the following items:

- The purpose of the public hearing is to receive public input on Special Exception Request #SE-2025-0004, a request by Margaret Holloway, applicant, on behalf of Mary Margaret Holloway Revocable Trust, owner, for a special exception to deviate from requirements and to waive or reduce off-street parking and loading requirements in accordance with Sec. 106-191 within the Low Density Residential (R-1) zoning district, on an approximately 0.17-acre tract of land located at 1614 Roscoe St. and legally described as Lots 22 & 23 Block 28 Bay Front to La Porte, Harris County, Texas.
- The purpose of the public hearing is to receive public input on Special Exception Request #SE-2025-0005, by Susel Briseño, applicant, on behalf of Mayela Calderon, owner, for a special exception to allow for an enlargement of a nonconforming structure in accordance with Sec. 106-262, and an exemption from extended useful life requirement of Sec. 106-265 to provide a schedule to eliminate nonconformity in the Low Density Residential (R-1) zoning district, on an approximately 0.143-acre tract of land located at 210 S. 5th St. and legally described as Lots 24 & 25 Block 31 La Porte, Harris County, Texas.

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### Legal Notice

**THE SOUTHEAST TEXAS HOUSING FINANCE CORPORATION**  
**NOTICE OF PUBLIC HEARING**  
In accordance with Section 1477 of the Internal Revenue Code of 1986, as amended (the "Code") and Section 284.9025 of the Texas Housing Finance Corporation Act, Chapter 284, Texas Local Government Code, as amended, notice is hereby given that The Southeast Texas Housing Finance Corporation (the "Corporation") will hold a public hearing telephonically at 11:30 a.m. Central time on Wednesday, April 2, 2025. All persons interested may monitor and participate in the hearing by calling (877) 853-5247 at a toll-free telephone number and entering 802-489-2463, followed by a sound key (if promptly at 11:30 a.m. Central time on Wednesday, April 2, 2025). The Corporation's designated hearing officer will conduct the hearing on behalf of the Texas Counties of Austin, Brazoria, Chambers, Galveston, Liberty, Matagorda, Walker, Wharton and the Texas Cities of Baytown, Deer Park, Dickinson, La Marque, La Porte, Pasadena, Santa Fe, Shoreacres, Texas City and Tomball (the "Sponsoring Political Subdivisions"). The purpose of the hearing is to provide residents of the Sponsoring Political Subdivisions an opportunity to comment on the proposed issuance by the Corporation of its tax-exempt obligations to be issued in one or more series pursuant to Section 142(a)(7) of the Code (the "Bonds") in an aggregate principal amount of not more than \$20,000,000. The Bonds will be issued for the benefit of Pillar Wyndham Park, LP or an affiliate thereof (the "Borrower"), in connection with the acquisition, rehabilitation and equipping of a multifamily housing development known as Bay Terrace Apartments located at 1502 Nolan Road, City of Baytown, Texas 77520 and consisting of approximately 130 units (the "Development"). The Borrower will own the Development. It is anticipated that a wholly-owned affiliate of Southeast Texas Multifamily Resources, Inc., an affiliate of the Corporation, will own the land on which the Development will be located and lease such land to the Borrower. Further, it is anticipated that the general partner of the Borrower will be wholly-owned by Southeast Texas Multifamily Resources, Inc. The Bonds will be limited obligations of the Corporation, payable solely from the revenues, receipts and resources of the Corporation pledged to their payment. The Bonds will not constitute an indebtedness or obligation of any of the Sponsoring Political Subdivisions or any other city, county or other municipal or political corporation or subdivision of the State of Texas or of the State of Texas, or a part or credit of any of them, within the meaning of any constitutional or statutory provision. All interested persons are invited to attend the hearing telephonically by dialing into the toll-free telephone conference line number noted above and will be given the opportunity to express their views on the proposed issuance of the Bonds. Questions or written comments prior to 4:00 p.m. Central time on Tuesday, April 1, 2025 may be directed to the Corporation, 11111 South Sam Houston Parkway East, Houston, Texas 77059 Attention: Mr. Williams at (281) 454-4663 ext. 108 or via e-mail at williams@stehfc.com.

### Legal Notice

The purpose of the public hearing is to receive public input on Special Exception Request #SE-2025-0006, by Daphne Roscoe, applicant, on behalf of Wanda Roscoe-McCarthy, owner, for a special exception to allow for an enlargement of a nonconforming structure in accordance with Sec. 106-262, and an exemption from extended useful life requirement of Sec. 106-265 to provide a schedule to eliminate nonconformity in the General Commercial (GC) zoning district, on a 0.287-acre tract of land located at 332 N. 8th St. and legally described as Lots 1, 2, 3, & 4 Block 77 La Porte, Harris County, Texas. Following the public hearing, the Zoning Board of Adjustment will act upon the public hearing item and conduct other matters pertaining to the Board. Citizens wishing to address the Board prior or during the public hearing are required to sign in before the meeting is convened.

**NEED EXTRA CASH !!! ???**  
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Houston Chronicle  
AFFIDAVIT OF PUBLICATION

STATE OF TEXAS:  
COUNTY OF HARRIS

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared, a Newspaper Representative for the Hearst Newspapers, LLC - dba: Houston Chronicle, a newspaper published in Harris County, Texas and generally circulated in the Counties of: Harris, Trinity, Walker, Grimes, Polk, San Jacinto, Washington, Montgomery, Liberty, Austin, Waller, Chambers, Colorado, Brazoria, Fort Bend, Galveston, Wharton, Jackson, and Matagorda and that the publication, of which the annexed herein, or attached to, is a true and correct copy, was published to wit:

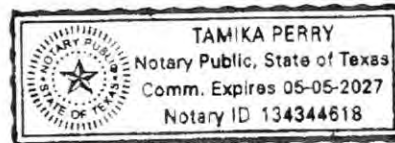
Customer ID	Customer	Campaign ID	Publication	Pub Date
21035429	THE SOUTHEAST TEXAS HOUSING	11035147	Houston Chronicle	3/14/2025

Victoria Bond  
Newspaper Representative (signature)

Victoria Bond  
Newspaper Representative (printed)

Sworn and subscribed to before me, this 17<sup>th</sup> day of March A.D. 2025

Tamika Perry  
Notary Public in and for the State of Texas



[illegible]





COMMITTEE/BOARD MEMBER APPLICATION FORM

NAME \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

PHONE \_\_\_\_\_ EMAIL \_\_\_\_\_

What board/committee are you interested in serving on? \_\_\_\_\_

Have you served on any County boards or committees before? If yes, which one?

\_\_\_\_\_  
\_\_\_\_\_

What kind of experience would you bring?

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Describe any type of community involvement you have had.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Date Received \_\_\_\_\_ By \_\_\_\_\_

COMMITTEE/BOARD MEMBER APPLICATION FORM

NAME Janet Culak  
ADDRESS [REDACTED]  
CITY Huntsville STATE Tx ZIP 77320  
PHONE [REDACTED] EMAIL [REDACTED]

What board/committee are you interested in serving on? CPS

Have you served on any County boards or committees before? If yes, which one?  
No

What kind of experience would you bring?

I have served on other boards and still continue to do so (HHS PTO and Calvary  
Baptist Church personnel committee). I grew up in Huntsville and am familiar with the  
School system and community activities.



Describe any type of community involvement you have had.

President of HHS PTO, head over meals at Calvary Baptist Church

Date Received \_\_\_\_\_ By \_\_\_\_\_

## Asset Change/Transfer

This form is used to transfer assets between Departments or Purchasing Agent for Auction or Disposal



Date of transfer: <u>4/29/2025</u>	Cost: _____
Department transferring from: <u>JP2</u>	FAS ID#: <u>12667</u>
Department transferring to: <u>Surplus</u>	
Make: <u>Canon</u>	Location of Asset <u>JP2</u>
Model: <u>400iF</u> Good	Serial #: <u>QLA45843</u>
<b>Condition At Transfer Date</b>	
Scanner Defect _____	
<b>Additional Information</b>	
Signature of Department Head transferring asset  Signature _____	Department Head Receiving Asset Acceptance of Responsibility for Asset  Signature _____
<u>4-30-2025</u> Date	<u>4/30/2025</u> Date
If this item is being transferred to the Purchasing Agent for Auction or Disposal, the Purchasing must sign this form to relieve the Department Head of responsibility for the assets.	
<b>For Purchasing Agent Use</b>	
Posted to Asset System By: _____	
Signature _____ Date _____	
<b>For Use by Auditors Office</b>	Date Received from Purchasing _____
	Asset File Reviewed _____
	FAS system Reviewed _____

Retain a copy signed by the purchasing agent or receiving department for your records!



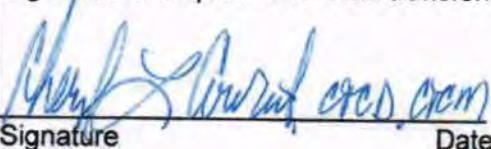
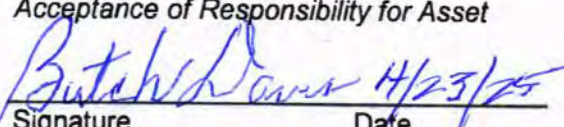
## Asset Change/Transfer

This form is used to transfer assets between Departments or to the Purchasing Agent for Auction or Disposal

Date of transfer:	<u>04/09/2025</u>	Cost :	<u>                    </u>
Department transferring from:	<u>County Clerk</u>		
Department transferring to:	<u>Surplus</u>		
ID # Assigned by Purchasing	<u>                                    </u>		
FAS ID #	<u>11790</u>		
Description of Item Transferred	Manufacturer/Model	Serial Number	
Workstation	Dell Optiplex 9020	6ZZYS12	
Where will transferred item be located:			
Condition at transfer date: (Clearly indicate condition of transferred asset if transfer is to Purchasing Agent for Auction or Disposal)			
Working			
Additional Information:			
Signature of Department Head transferring asset		Department Head Receiving Asset Acceptance of Responsibility for Asset	
	<u>4-9-25</u>		<u>5/1/25</u>
Signature	Date	Signature	Date
If this item is being transferred to the Purchasing Agent for Auction or Disposal, Purchasing must sign this form to relieve the Department Head of responsibility for the assets. <i>Retain a copy signed by the Purchasing Agent or receiving department for your records.</i>			
For Purchasing Agent Use			
Posted to Asset System By:			
<u>                                    </u>		<u>                    </u>	
Signature		Date	
For Use by Auditors Office		Date Received from Purchasing <u>                    </u>	
		Asset File Reviewed <u>                    </u>	
		FAS system Reviewed <u>                    </u>	

## Asset Change/Transfer

This form is used to transfer assets between Departments or Purchasing Agent for Auction or Disposal

Date of transfer: <u>4/14/2025</u>	Cost: _____
Department transferring from: <u>Surplus</u>	FAS ID#: <u>10759</u>
Department transferring to: <u>OEM</u>	
Make: <u>Motorola</u>	Location of Asset: _____
Model: <u>XTS 2500</u>	Serial #: <u>205CJM4125</u>
<b>Condition At Transfer Date</b>	
<b>Additional Information</b> Radio was turned in to surplus for disposal. Commissioner's court instructed radio to be re-purposed to another department. OEM tested and will re-use radio. Requesting to transfer to OEM.	
Signature of Department Head transferring asset  Signature _____ Date <u>4/14/25</u>	Department Head Receiving Asset Acceptance of Responsibility for Asset  Signature _____ Date <u>4/23/25</u>
If this item is being transferred to the Purchasing Agent for Auction or Disposal, the Purchasing Agent must sign this form to relieve the Department Head of responsibility for the assets.	
<b>For Purchasing Agent Use</b>  <div style="text-align: right;">Posted to Asset System By: _____ Signature _____ Date _____</div>	
<b>For Use by Auditors Office</b>	Date Received from Purchasing _____ Asset File Reviewed _____ FAS system Reviewed _____

Retain a copy signed by the purchasing agent or receiving department for your records!

## Asset Change/Transfer


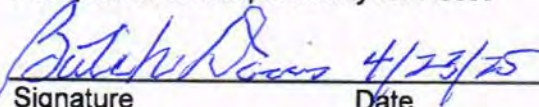
This form is used to transfer assets between Departments or Purchasing Agent for Auction or Disposal

Date of transfer: 4/14/2025 Cost: \_\_\_\_\_  
Department transferring from: Surplus FAS ID#: 11194  
Department transferring to: OEM  
Make: Motorola Location of Asset: \_\_\_\_\_  
Model: XTS 2500 Handheld Serial #: 205CGZ3721

### Condition At Transfer Date

### Additional Information

Radio was turned in to surplus for disposal. Commissioner's court instructed radio to be re-purposed to another department. OEM tested and will re-use radio. Requesting to transfer to OEM.

Signature of Department Head transferring asset		Department Head Receiving Asset	
			
Acceptance of Responsibility for Asset			
Signature	Date	Signature	Date
	<u>4/14/25</u>		<u>4/23/25</u>

If this item is being transferred to the Purchasing Agent for Auction or Disposal, the Purchasing Agent must sign this form to relieve the Department Head of responsibility for the assets.

### For Purchasing Agent Use

Posted to Asset System By: \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

### For Use by Auditors Office

Date Received from Purchasing \_\_\_\_\_  
Asset File Reviewed \_\_\_\_\_  
FAS system Reviewed \_\_\_\_\_

Retain a copy signed by the purchasing agent or receiving department for your records!



## Asset Change/Transfer

This form is used to transfer assets between Departments or Purchasing Agent for Auction or Disposal

Date of transfer: 4/14/2025 Cost: \_\_\_\_\_  
Department transferring from: Surplus FAS ID#: 12911  
Department transferring to: OEM  
Make: Motorola Location of Asset: \_\_\_\_\_  
Model: XTS 2500 Mobile Serial #: 514CGZ1657

### Condition At Transfer Date

### Additional Information

Radio was turned in to surplus for disposal. Commissioner's court instructed radio to be re-purposed to another department. OEM tested and will re-use radio. Requesting to transfer to OEM.

Signature of Department Head transferring asset	Department Head Receiving Asset Acceptance of Responsibility for Asset
	
Signature _____	Signature _____
Date <u>4/14/25</u>	Date <u>4/23/25</u>

If this item is being transferred to the Purchasing Agent for Auction or Disposal, the Purchasing Agent must sign this form to relieve the Department Head of responsibility for the assets.

### For Purchasing Agent Use

Posted to Asset System By:

Signature \_\_\_\_\_ Date \_\_\_\_\_

### For Use by Auditors Office

Date Received from Purchasing \_\_\_\_\_  
Asset File Reviewed \_\_\_\_\_  
FAS system Reviewed \_\_\_\_\_

Retain a copy signed by the purchasing agent or receiving department for your records!



Colors Used:  BLACK  WHITE  GRAY (30%)  PMS 186  OSD SIMULATED ETG

Materials Description: Digitally Printed on 3M 680CR Reflective Material with 8518 Laminate with Registered 3M MCS Warranty.

Cut Black 3M 680CR Reflective Material.

Vehicle Description: 2024 Chevy Tahoe - Dark Grey

Quantity: 1 (Title: Chief)





**OnSiteDecals, LLC**

12807 Royal Drive  
Suite 101  
Stafford, TX 77477  
Ph: 1+ (281) 994-9000  
Email: quotes@onsitedecals.com  
Web: http://www.onsitedecals.com

**Estimate #: 14533****Customer No: 1,139**

Page 1 of 1

<b>Created Date:</b>	3/14/2025 8:11:00AM	<b>Prepared For:</b>	Walker County EMS, Texas
<b>Salesperson:</b>	Hannah Triplett	<b>Contact:</b>	Mark Scott, Logistics Coordinator
<b>Email:</b>	H.Triplett@OnSiteDecals.com	<b>Office Phone:</b>	(936) 435-8031
<b>Not Specified:</b>	1+ (281) 994-9000	<b>Cell Phone:</b>	(936) 662-2687
		<b>Email:</b>	mscott@co.walker.tx.us
<b>Entered by:</b>	Hannah Triplett	<b>Address:</b>	PO BOX 1260 Huntsville, TX 77342

**Description: Walker County EMS Qty 1 Dark Grey 2024 Chevy Tahoe Install @ Hunstville**

Quantity	
<b>1</b>	<b>Product:</b> Digital Prints 1 <b>Description:</b> Design, manufacture and install graphics on qty 1 Dark Grey 2024 Chevy Tahoe for Walker County EMS. Graphics are a combination of digitally printed 3M 680CR reflective with a 3M 8518 gloss clear laminate, and cut black 3M 680CR reflective.  New design for Walker County EMS.  Graphics consist of:  - Front fenders: Starting at the head light and through the front door, stepping up on rear door, and ending at the tail light, is a small red stipe over a larger black "Z" style stripe High on the fender in black with gold outline is a star of life.  - Front Doors: Mid center over the striping, is the Walker County EMS patch decal.  - Side glass: High center, in digitally printed ETG w/ black outline, in 2" tall font "CHIEF" w/ no slant.  - Lift Gate: Across the lift gate, are cut black reflective chevrons Low center, in digitally printed ETG w/ black outline is "WALKER COUNTY" in w/ no slant. High center, in digitally printed ETG w/ black outline, is "Emergency Medical Services" w/ no slant.  Install at Walker County EMS 1619 SH 30, Huntsville, TX, 77320

**Notes**

-Graphics have a Registered 3M Matched Components Systems Warranty or equivalent.  
-Please note: An up to 10% color difference may occur in printed graphics due to uncontrollable variances, standard in the digital printing process.  
-OnSiteDecals, LLC is NOT responsible for any paint lifting or damage incurred during the graphics removal process. Customer assumes all responsibility and liability.  
-Unless otherwise noted, ALL estimates are valid for 45 days from estimate date  
-3M 8170 Window Perf and graphics installed on low-energy plastics or glass are not covered under warranty.  
-If a vehicle is not at the previously agreed upon location and available at the agreed time of install, an additional charge of \$75 per vehicle will be incurred unless in the event of an emergency.  
-Please note: There is absolutely no warranty on install of customer provided graphics.

**Subtotal:** \$1,650.00  
**Total:** \$1,650.00

**Payment Terms:** Balance due upon receipt.**Client Reply Request**☐ **Estimate Accepted "As Is". Please proceed with Order.**☐ **Other:** \_\_\_\_\_☐ **Changes required, please contact me.****SIGN:** \_\_\_\_\_ **Date:** \_\_\_\_ / \_\_\_\_ / \_\_\_\_

Print Date: 4/16/2025 1:41:25PM

**Precision Emergency, Municipal and Commercial Fleet Graphics**

A RESOLUTION 2025-67 SUPPORTING WALKER COUNTY’S (COUNTY) APPLICATION TO  
THE TEXAS DEPARTMENT OF TRANSPORTATION’S 2025 TRANSPORTATION  
ALTERNATIVES SET-ASIDE (TA) CALL FOR PROJECTS

WHEREAS, the Texas Department of Transportation issued a call for projects in December 2024 for communities to apply for funding assistance through the Transportation Alternatives Set-Aside (TA) Program; and

WHEREAS, the TA funds may be used for development of preliminary engineering (plans, specifications, and estimates and environmental documentation) and construction of pedestrian and/or bicycle infrastructure. The TA funds require a local match, comprised of cash or Transportation Development Credits (TDCs), if eligible. Walker County would be responsible for all non-reimbursable costs and 100% of overruns, if any, for TA funds; and

WHEREAS, The County understands that a safe and accessible downtown square has an important and unique role in economic and social development. Downtowns create a critical mass of activities where commercial, cultural, and civic activities are concentrated. This concentration facilitates business, learning, and cultural exchange.

NOW, THEREFORE, BE IT RESOLVED BY THE COMMISSIONERS COURT OF WALKER COUNTY THAT:

The County supports funding this project as described in the 2025 TA Detailed Application (including the preliminary engineering budget, if any, construction budget, the department’s direct state cost for oversight, and the required local match, if any) and is willing to commit to the project’s development, implementation, construction, maintenance, management, and financing. The County is willing and able to enter into an agreement with the department by resolution should the project be selected for funding.

DULY PASSED by majority vote of all members of Commissioners Court of Walker County on the 19th day of May, 2025.

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Colt Christian  
County Judge

---

Danny Kuykendall  
Commissioner, Precinct 1

---

Ronnie White  
Commissioner, Precinct 2

---

Bill Daugette  
Commissioner, Precinct 3

---

Brandon Decker  
Commissioner, Precinct 4

---

Attest: Kari French  
County Clerk

Dear Judge Colt and Commissioners,

We are writing to respectfully request that the Walker County Commissioners Court consider the formal naming of a private road located within the county. The road in question currently serves three residential properties located off of FM 1374, and we are requesting that it be named Waystone Lane, or such other name as the Court deems appropriate and available.

This request for an official name for this road is intended to improve clarity for emergency services, mail delivery, utility coordination, and navigation systems. The lack of a formal road name continually causes delays and confusion for delivery drivers and visitors, but more critically, and the reason we are even making this request, is because emergency services have had trouble locating us when we have unfortunately had to call for help in the last several months.

We have four little boys at home, they're five years old and younger. For some unknown reason, they have all struggled with respiratory issues, and unfortunately we've spent a lot of time in the emergency room and hospital with them over the last few years.

Over Christmas, we spent a full week at Texas Children's hospital downtown with my youngest son, Atlas, on a ventilator in the ICU. (He made it through and is a strong 6 month old now.)

Our request for a road name is not for vanity or out of the blue, but because we want to be able to rely on 911 to help us, if and when that time may come again in the future.

We believe our homes should not be addressed as [REDACTED] or any number off of FM 1374 at all because our driveways do not stem off of 1374, but come off of this new road built. There are currently three separate families that have property on this road, and additional families are hoping to acquire property and build homes here in the near future.

Using a shared FM 1374 address with lettered designations like A, B, and C is not only confusing, it feels unsustainable and unsafe with the way our road is laid out. As more families move in, continuing with lettered extensions would quickly become disorganized and impractical. (You'll notice already D comes before C with our current addresses.)

Assigning a proper road name now—with individual addresses stemming from that road—will make our lives easier and, most importantly, safer.

When we called for help for the first time last summer, we had to meet the ambulance on FM 1374 because they didn't make it back to us. A police Tahoe got lost down the [REDACTED] driveway — in the map attached, you'll see it is the driveway that goes to homes A & B. While we share the address [REDACTED] with this driveway, we are actually not down the 6326 driveway, or near their homes. With the ambulance unable to find us, I had to drive up to meet them on FM 1374.

The second time we had to call for help was just over a month ago, and my husband and I didn't have confidence the ambulance would be able to find us because of our previous experience.



Our son, Auden (2 years old), woke up with stridor and croup and declined quickly. His lips turned blue as went into a croup coughing fit. We were going to take him to the emergency room when we realized we wouldn't be able to get him there quickly enough. We felt the best way to get him help was to call 911. But we felt the need to drive out to meet the ambulance, because we knew they wouldn't be able to find our home. This was stressful, as we couldn't buckle Auden into his car seat in his condition. (The emergency service workers were amazing and Auden is doing well after a short stay at TCH.)

And once again, just earlier this week, our five year old went into respiratory distress (with croup) and we had to call emergency services late in the evening. (Another stay at Texas Children's hospital, but he is healthy and home now.)

As you can imagine, this is our worst nightmare as parents to these young boys. And the stress is compounded by the fact we know ambulances struggle to find our home because of the address issue.

We hope to feel safer out here. We want to know if we left a babysitter at our home and there was an emergency, that she wouldn't have to rely on trying to describe where we are to get any help.

This request is being made for our boys sakes. We believe our road can be named and our location made clear with an address that makes more sense than the [REDACTED] address we currently have.

#### Road Details:

- Location: Beings at FM 1374
- Length & Direction: Approximately 1200 feet, running south, then turning east, from FM 1374]
- Number of Properties Served: 3 (Families: Willin, Frost, and Martin and more hoping to acquire land and build here in th near future.)
- Current Use: Private access road for residential properties

If "Waystone Lane" is not available or presents a duplication or conflict, we welcome the Court's guidance in selecting an alternate name.

All property owners along the road are in agreement with this request and support the name Waystone Lane. We believe that a formal designation will enhance accessibility and safety for all residents.

Enclosed for your consideration are:

- Maps from Walker county and Google showing the location and alignment of the road

- A photo looking at the roads from FM 1374

- A letter from our [REDACTED] neighbor, Ms.. Willin

We thank you for your service to the community and appreciate your time and consideration of this request. Please feel free to contact us at [REDACTED] or [REDACTED] if any additional information or documentation is needed.

Respectfully submitted,

Matthias and Madeleine Frost

[REDACTED] FM 1374

New Waverly, Texas

[REDACTED]

[REDACTED]

April 12, 2025

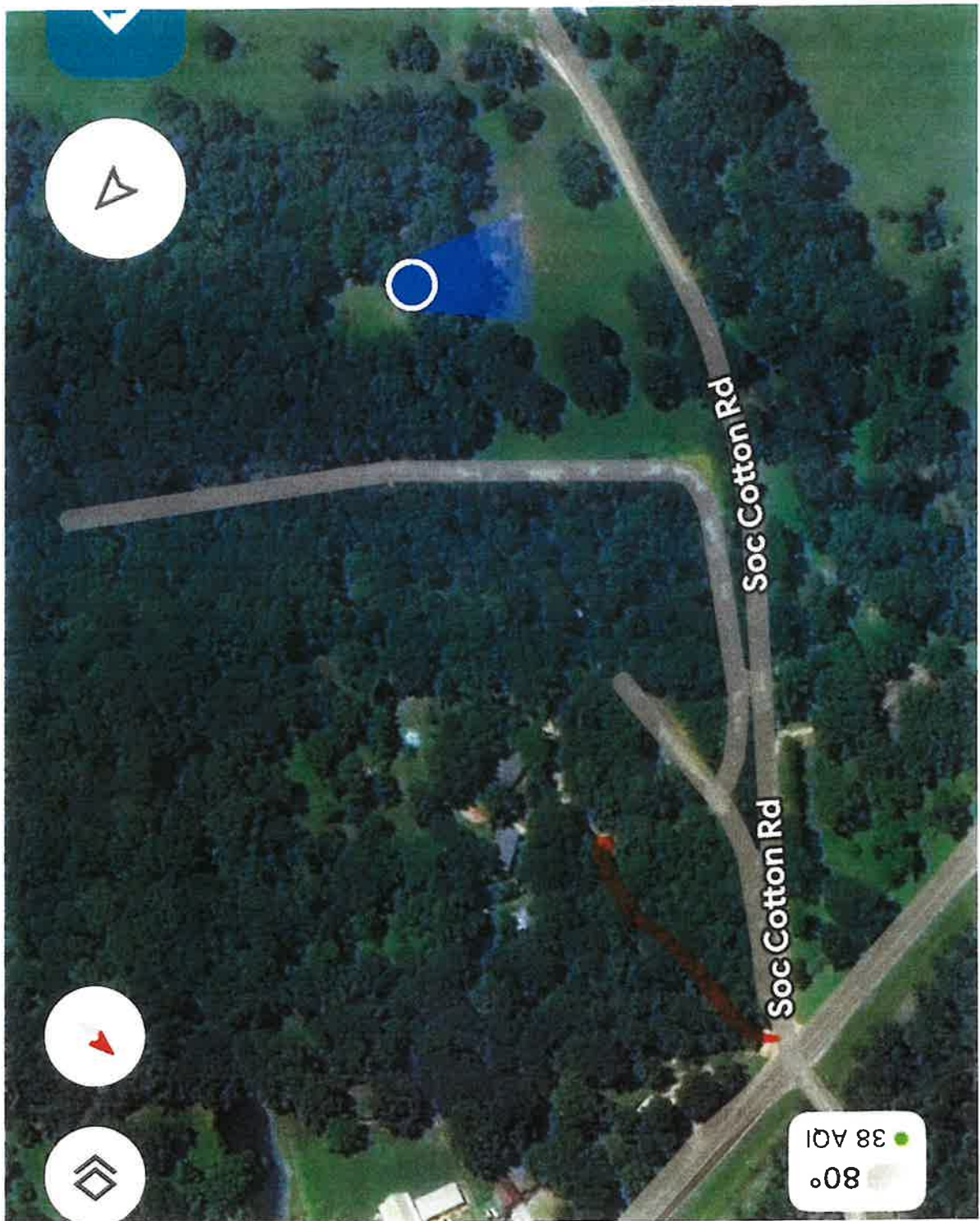
#### **PHOTOS:**

The middle road pictured here is the road we'd like named. This is the view from FM 1374. The left driveway goes to [REDACTED] A & B. The road on the very right is Soc Cotton rd. (There is a fence between the middle road and Soc Cotton on the very right.)

[REDACTED] A & B driveway on the left does not in any way connect to our driveway. This is the driveway emergency services gets lost down when looking for us.



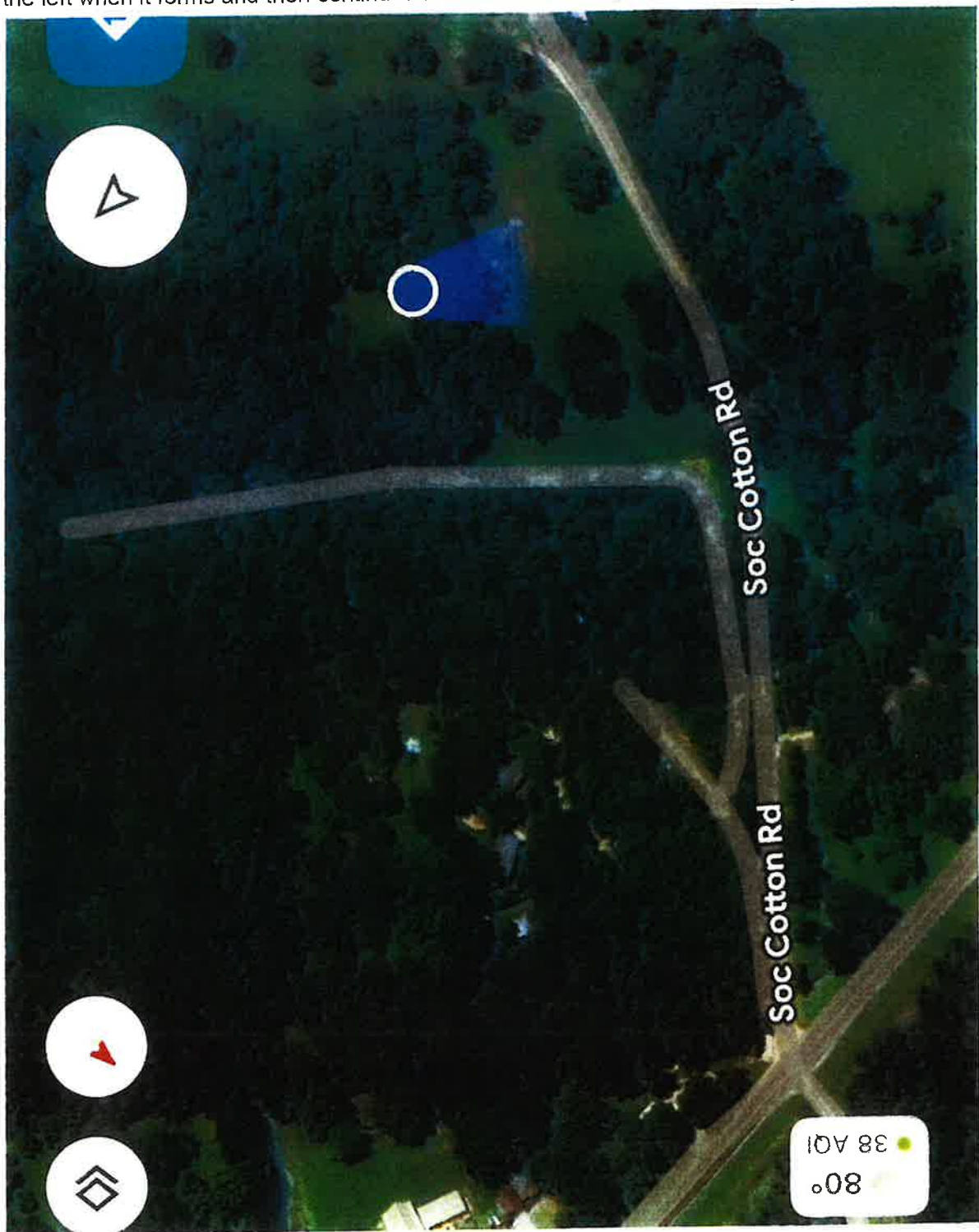
Here is a photo from Google's satellite. The red road I drew in goes to [REDACTED] A & B.



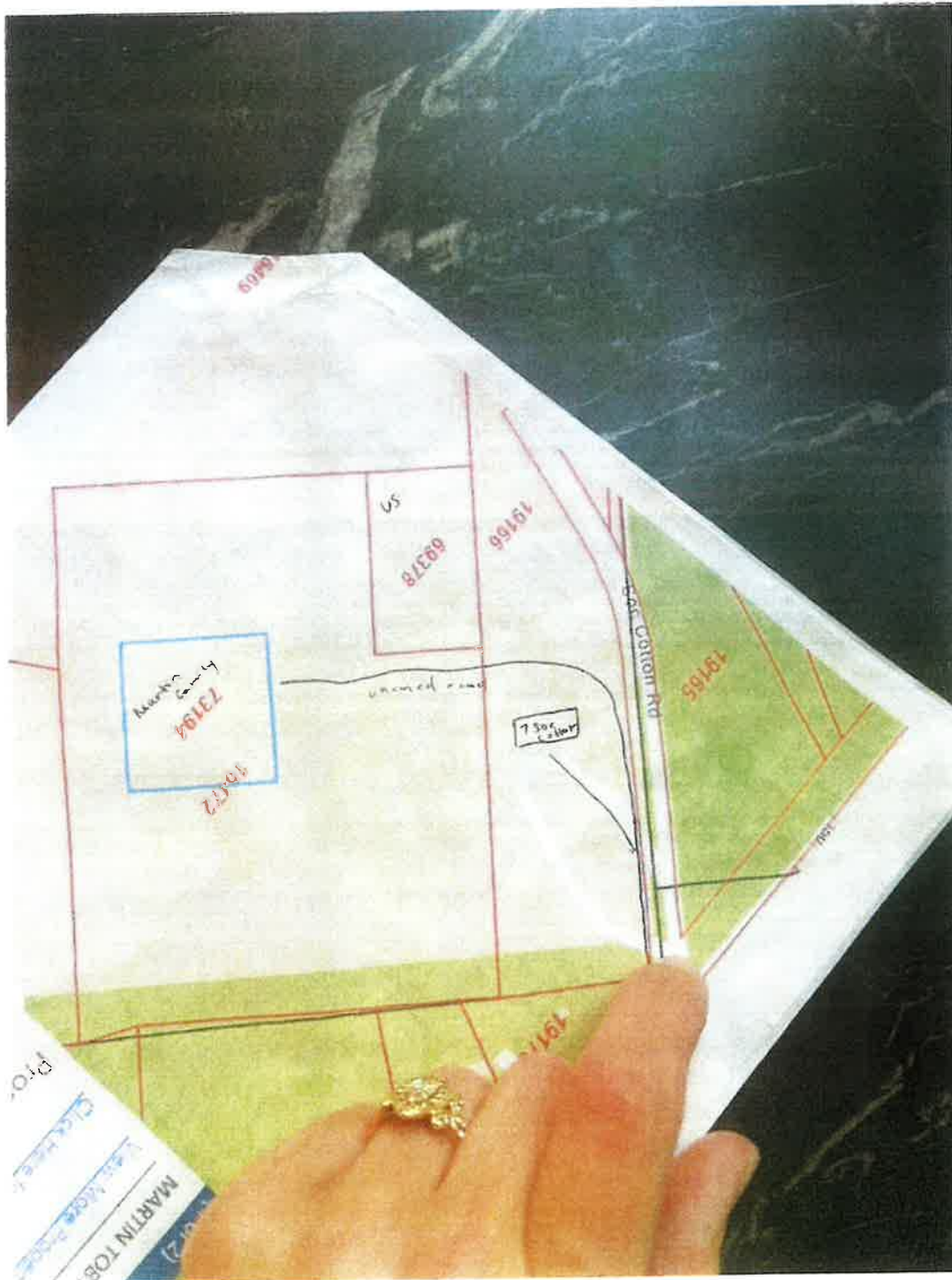
The blue dot below is our homes location. If you continue down the road past us, you make it to the Martin property.



Starting at FM 1374, when you get to the fork pictured, you take [REDACTED] D personal driveway to the left when it forms and then continues towards us and the Martin's on the right.



This is the map from Walker County. You can see it shows access to our road from Soc Cotton, but there is not any access between Soc Cotton and us. This map needs to be updated. I drew in with a black pen the road as it continues from 1374 down to Ms. Willin, our home, and the Martin property.



April 29, 2025

To: Honorable Christian Colt, County Judge and the Commissioners Court of Walker County

Dear Judge Colt and Commissioners,

As a neighbor residing on the private road currently serving three families off FM 1374, I would like to voice my full support for the request submitted by Matthias and Madeleine Frost to formally name this road "Waystone Lane" or any appropriate alternative.

Like the Frost family, I have experienced firsthand the confusion that arises from the current lack of a road name. Delivery drivers regularly get lost, and directions often require lengthy explanations just to help friends or services find our homes. More importantly, emergency services have had difficulty locating addresses along our road — a delay that can be dangerous, especially in urgent medical situations.

Naming our road would bring clarity, improve response times, and ensure that residents and emergency personnel alike can navigate to our homes reliably. For safety, peace of mind, and the functionality of daily life, this is a necessary and timely request.

Please consider approving the naming of our road as Waystone Lane or providing guidance for an acceptable alternative.

Sincerely,

Laurie Willin

● Soc Cotton Rd/● D

# VARIANCE REQUEST TO THE FLOODPLAIN MANAGEMENT REGULATIONS OF WALKER COUNTY, TEXAS

Copy all pages of this form and all attachments for (1) community official, (2) building owner.  
If any section is not applicable to the proposed development project please mark that section "NA"

SECTION A – PROPERTY INFORMATION				FOR COUNTY USE ONLY	
A1. Building/Site Owner's Name <u>KATHLYN SPIVEY</u>				Permit Number: <u>2025-0153</u>	
A2. Building/Site Street Address <u>SH 150</u>				Date of Submittal: <u>5-7-25</u>	
City <u>NEW WAVERLY</u>		State <u>TX</u>		ZIP Code <u>77359</u>	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <u>2.06 ACRES</u>					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
(For projects involving multiple map panels an additional sheet may be listed below or included in an additional attachment)					
B1. NFIP Community Name & Community Number			B2. County Name <u>WALKER</u>		B3. State <u>TX</u>
B4. Map/Panel Number	B5. Suffix	B6. FIRM Index Date	B7. FIRM Panel Effective/ Revised Date <u>48471C0525D/8/16/11</u>		B8. Flood Zone(s) <u>A</u>
<p><b>THE ABOVE NAMED PERMIT APPLICANT DOES HEREBY MAKES AN APPEAL TO THE COMMISSIONER'S COURT OF WALKER COUNTY FOR A VARIANCE TO THE CONDITIONS OF PERMIT APPROVAL AND/OR CONSTRUCTIONS STANDARDS REQUIRED BY THE WALKER COUNTY FLOOD PLAIN MANAGEMENT REGULATIONS FOR PROPOSED DEVELOPMENT WITHIN AN IDENTIFIED FLOOD HAZARD AREA RELATED TO THE ABOVE REFERENCED DEVELOPMENT PERMIT APPLICATION.</b></p>					
SECTION C – BASE FLOOD ELEVATION UTILIZED IN DESIGN					
<p>( If a determination of the base flood elevation has been made, then a copy of a <i>Determination of Base Flood Elevation Form</i> must be submitted and the elevation shown in C1 below should correspond with the elevation that appears in subsection E3 on that form. For large projects subject to varying or multiple flood heights please place an "X" in the box adjacent to D2)</p>					
<p>C1) <input type="checkbox"/> <u>NA</u> The Base Flood Elevation for the proposed location/project is: _____ ft mean sea level.</p> <p>C2) <input type="checkbox"/> <u>NA</u> This project is subject to multiple Base Flood Elevations, the BFE is provided in attached plans/submittals as project overlay, detailed method of determination, drainage plans, and BFE impact summary.</p> <p>C3) <input checked="" type="checkbox"/> <u>  </u> <b>No Base Flood Elevation has been determined for this property</b></p>					
SECTION D – VARIANCE(S) RELATED TO ELEVATION REQUIREMENTS AND DRY FLOODPROOFING					
<p>Applicant requests a variance to the elevation requirements of Sections 5:02(a), 5:02(b), or 5:02(c) (requiring that new or substantially improved structures be elevated a minimum of twelve (12) inches above the base flood elevation authorization is requested to construct the lowest floor of the listed structure(s) at the elevations listed below. (Elevation must be listed in the same datum used for the base flood elevation listed in Section "C" or if no BFE is provided then listed as a distance to the tenth of a foot above lowest natural grade.</p>					
Description of Structure(s)		Proposed Elevation of lowest floor including basement		Proposed Elevation of Flood Proofing (Non-Residential Structures Only)	
D.1 <u>GRAVEL DRIVEWAY</u>		<u>*NA</u>		<u>*NA</u>	
D.2					
D.3					
D.4					

\* SEE VARIANCE



### SECTION E - OTHER VARIANCE

(All Variance requests need to include the specific variance along with the Section(s) of the Regulation to which they apply)

E.1 A Variance is requested to Section(s) 4.02 (7) of the Walker County Flood Plain Regulations as follows:

APPLICANT REQUESTS A VARIANCE TO PROVIDING STANDARD FORMS  
FROM PREPENG. RELATED TO DEVELOPMENT CERTIFICATION TO  
PROVIDE EVIDENCE TO FLOODPLAIN ADMINISTRATOR FOR INSTALLATION  
OF GRAVEL DRIVEWAY ASSOCIATED WITH A RESIDENCE OUTSIDE SFHA.

### SECTION F - APPLICANT'S JUSTIFICATION AND PRESENTATION FACTORS EFFECTING VARIANCE

(All variance requests to the Walker County Floodplain Regulations need to be included along with the Section(s) of the Regulation to which they apply)

F.1 Is the variance for new construction or substantial improvement of a structure to be erected on a lot of one-half acre or less in sized contiguous to and surrounded by lots with existing structures constructed below the base flood elevation?

Yes \_\_\_\_\_ No X

F.2 Please explain the cause or reason the variance is being requested (attach additional pages as "Exhibit F.2"):

APPLICANT BELIEVES THAT DRIVEWAY POSES A LOW FLOOD  
DAMAGE POTENTIAL, AND WILL BE INSTALLED AT GRADE  
IN A LAY NOT TO IMPACT FLOW OF WATER.  
3.10 (b)(3) SHOWS RESIDENTIAL PARKING USES AS A  
LOW FLOOD DAMAGE POTENTIAL

F.3 Will the failure to grant the variance result in any exceptional hardship to the applicant?

Yes X No \_\_\_\_\_

If yes please explain below:

APPLICANT WILL HAVE TO CHANGE HOUSE PLAN AND REROUTE  
PLANNED DRIVEWAY.

F.4 Is the variance requested within a regulatory floodway?

Yes \_\_\_\_\_ No X

F.5 Will the variance result in increased flood heights, additional threats to public safety, extraordinary public expense, create a nuisance, cause fraud, victimization of the public, or conflict with existing local laws or court orders?

Yes \_\_\_\_\_ No \_\_\_\_\_ Please provide analysis or explanation below or reference attachments:

**SECTION H –VARIANCE(S) GRANTED**

(All design elevations shall be given in the same elevation datum used for the elevation in section D1)

H.1 A VARIANCE TO THE WALKER COUNTY FLOOD PLAIN REGULATIONS IS GRANTED AS FOLLOWS:

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H.2 THE FOLLOWING CONDITIONS ARE ATTACHED TO THE VARIANCE IN ADDITION TO THE REQUIREMENTS OF THE DEVELOPMENT PERMIT AND ANY REQUIREMENTS OF THE FLOOD PLAIN MANAGEMENT REGULATIONS:

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**SECTION J - NOTICE, ACKNOWLEDGEMENT, AND CERTIFICATIONS****NOTICE**

ALL DEVELOPMENT MUST BE IN STRICT COMPLIANCE WITH THE VARIANCES STATED HERE AND OTHER CONDITIONS STATED ON THE DEVELOPMENT PERMIT. ANY VARIATION WILL RESULT IN IMMEDIATE SUSPENSION OF THIS VARIANCE AND THE DEVELOPMENT PERMIT. FLAGRANT VIOLATION OF THE CONDITIONS OF THIS VARIANCE MAY RESULT IN THE COMMISSIONER'S COURT SEEKING INJUNCTIVE RELIEF, CIVIL, OR CRIMINAL PENALTIES.

**WARNING**

THE GRANTING OF A VARIANCE IS LIMITED TO THE PERMITTING STANDARDS AND LOCAL REGULATORY STANDARD ONLY. IT IS NOT A VARIANCE FROM THE REQUIREMENT TO PURCHASE FLOOD INSURANCE. **PREMIUMS FOR FLOOD INSURANCE COVERAGE FOR THE STRUCTURE WILL INCREASE** AS A RESULT OF CONSTRUCTING THE FIRST FLOOR BELOW THE LEVEL OF THE BASE FLOOD, AND MAY INCREASE AS A RESULT OF OTHER VARIANCES GRANTED. **LOWERING THE FIRST FLOOR BELOW THE BASE FLOOD ELEVATION MAY INCREASE THE POTENTIAL FOR FLOOD DAMAGE AND LOSS OF LIFE.** THE APPLICANT ACKNOWLEDGES THAT HE/SHE IS RESPONSIBLE TO ENSURE THAT ANY VARIANCE DOES NOT DAMAGE OR THREATEN ADJASCENT PROPERTIES AND COMPLIES WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

**DISCLAIMER**

**THE COMMISSIONER'S COURT OF WALKER COUNTY AND ANY OFFICER OR EMPLOYEE OF WALKER COUNTY ARE NOT LIABLE FOR DAMAGES OR LOSS OF LIFE RESULTING FROM FLOODING OF THE PROPERTY FOR WHICH A PERMIT OR VARIANCE IS GRANTED.**

I, Kaitlyn Spivey, do hereby acknowledge that I have reviewed the provisions, warnings, notices, and disclaimers stated above and that I understand them agree with them and intend to comply fully with them. I also acknowledge that my flood insurance costs will increase and flood damage potential to any structure or property subject to this variance will increase. I am fully aware that Walker County is not liable for damages to my property or structure, and that I accept full responsibility for the risks associated with this variance. I also certify that in the event I sell this property or structure in the future, that I will give notice of the variance to the purchaser prior to sale.

Signature of Owner/Applicant

Date

Kaitlyn Spivey5-7-2025**SECTION I – ACTION ON VARIANCE BY COMMISSIONER'S COURT**

After careful consideration of the reasons for the request of variance, the Commissioner's Court of Walker County, Texas has determined that it is within the scope of the variance procedures as outlined in the Walker County Flood Plain Management Regulations to \_\_\_\_\_ this request for variance.

Commissioner's Court Signature

Printed Name

Date

COUNTY OF WALKER , TEXAS

CLASS A

DEVELOPMENT PERMIT EXEMPTION CERTIFICATE

STATE OF TEXAS :  
COUNTY OF WALKER :

APPLICATION NO. \_\_\_\_\_:

NAME OF APPLICANT \_\_\_\_\_

THE ABOVE NAMED APPLICANT APPLIED FOR A DEVELOPMENT PERMIT ON \_\_\_\_\_  
THE APPLICATION HAS BEEN REVIEWED BY THE COUNTY FLOOD PLAIN ADMINISTRATOR AND IT IS HIS  
DETERMINATION THAT THE PROPOSED DEVELOPMENT APPEARS NOT TO BE WITHIN AN IDENTIFIED  
FLOOD PLAIN OF WALKER COUNTY.

THIS CERTIFICATE EXEMPTS THE APPLICANT FROM DEVELOPMENT STANDARDS REQUIRED BY Walker  
COUNTY FLOOD PLAIN MANAGEMENT REGULATIONS. WORK IS HEREBY AUTHORIZED TO PROCEED ON THE  
FOLLOWING DESCRIBED PROPERTY:

THE COUNTY FLOOD PLAIN ADMINISTRATOR HAS REVIEWED THE PLANS AND SPECIFICATIONS OF THE  
PROPOSED DEVELOPMENT AND DESIRES TO MAKE THE FOLLOWING RECOMMENDATIONS FOR DEVELOPMENT  
OR DESIGN ALTERATION:

WARNING:

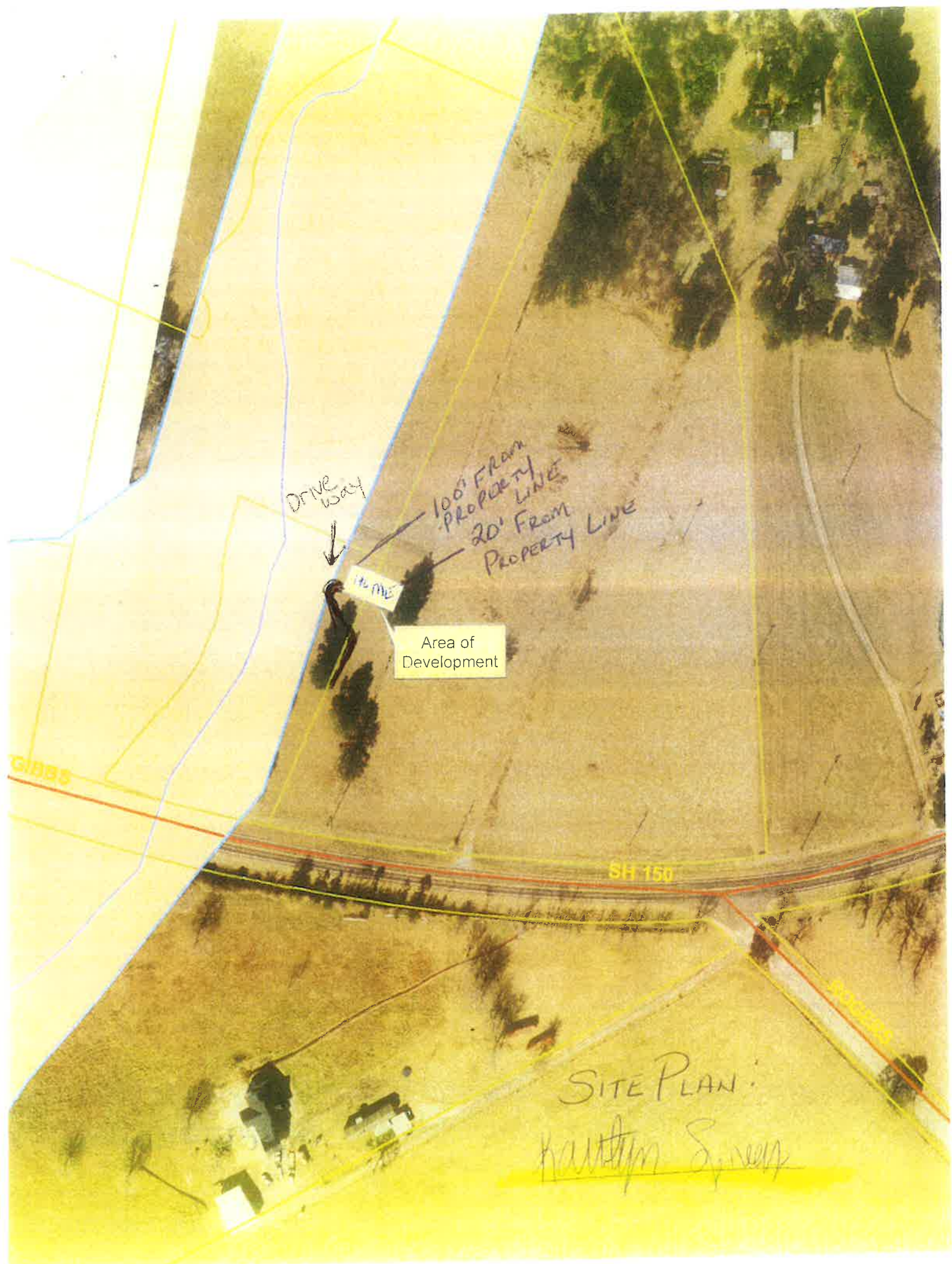
The flood hazard boundary maps and other flood data used by the County Flood Plain  
Administrator in evaluating flood hazards to proposed developments are considered  
reasonable and accurate for regulatory purposes and are based on the best available  
scientific and engineering data. On rare occasions, greater floods can and will occur  
and flood heights may be increased by man-made or natural causes. This exemption cer-  
tificate does not imply that developments outside the identified areas of special  
flood hazard will be free from flooding or flood damage. Issuance of this exemption  
certificate shall not create liability on the part of the County or the County Flood  
Plain Administrator or any officer or employee of Walker County in the event flood-  
ing or flood damage does occur.

\_\_\_\_\_  
Acknowledgement of Warning by Applicant

\_\_\_\_\_  
Signature of County Flood Plain Administrator

Date of Issuance \_\_\_\_\_





DRIVE WAY

HOME

100' FROM  
PROPERTY LINE  
20' FROM  
PROPERTY LINE

Area of  
Development

SH 150

GIBBS

SITE PLAN:  
KATHY S. SWEET



# **Walker County Subdivision Regulations**

EFFECTIVE: 5/5/2025

## Resolution & Order # 2025-54

THE STATE OF TEXAS

§

§

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF WALKER

§

THAT ON THIS, the **5<sup>th</sup> day of May, 2025**, the Commissioners Court of Walker County, Texas, met in duly called and convened lawful Session at the County Courthouse in Huntsville, Texas, with the following members present:

Colt Christian  
Danny Kuykendall  
Ronnie White  
Bill Daugette  
Brandon Decker

County Judge  
Commissioner, Precinct One  
Commissioner, Precinct Two  
Commissioner, Precinct Three  
Commissioner, Precinct Four

And at said meeting, among other business, came up for consideration and adoption the following Resolution and Order:

WHEREAS, the Commissioners Court of Walker County, Texas, has, after proper notice, held a public hearing concerning a proposed revision of the Walker County Subdivision Regulation; and

WHEREAS, after soliciting the public's comments, the Commissioners Court finds that the adoption of revised Regulations will be in the public interest:

NOW THEREFORE BE IT RESOLVED, that the Walker County Commissioners Court hereby adopts the attached document as the revised Walker County Subdivision Regulations and orders that they be in full force and effect on **May 5, 2025** : and

FURTHER RESOLVED, that County Judge Colt Christian be, and is hereby authorized to sign this Resolution and Order as the act and deed of the Walker County Commissioner's Court.


The foregoing Resolution and order was lawfully moved by Commissioner Decker, duly seconded by Commissioner Kuykendall, and duly adopted by the Commissioners Court on a vote of 5 ( ) members for the motion and 0 ( ) member(s) opposed with no commissioner(s) being absent from the dais.

  
Colt Christian  
County Judge, Walker County, Texas

  
Danny Kuykendall  
Commissioner, Precinct One, Walker County, Texas

  
Bill Daugette  
Commissioner, Precinct Three, Walker County, Texas

  
Ronnie White  
Commissioner, Precinct Two, Walker County, Texas

  
Brandon Decker  
Commissioner, Precinct Four, Walker County, Texas



DATE: May 5, 2025



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# Walker County Subdivision Regulations

On July 21, 1986, acting pursuant to the Texas Local Government Code, Walker County adopted regulations governing platting and the subdivision of land. They were further revised on March 18, 1991, February 7, 1994, December 11, 1995, October 15, 1996, November 23, 1998, July 24, 2000, April 25, 2005, February 26, 2018, April 23, 2018, September 23, 2019, June 1, 2022, March 27, 2023, April 24, 2023, September 1, 2023, November 18, 2024, and are hereby further revised as follows. These Regulations shall be known as the Walker County Subdivision Regulations.

These revised Regulations, as well as required review fees, shall apply to all new Applications received on or after the date that these revised Regulations were adopted by the Walker County Commissioners Court. Any subdivision applications that were originally submitted prior to that date shall be subject to the Regulations and any applicable fees that were in effect at the time of the original submission, unless, at the applicant's option, the applicant elects to proceed under the new regulations or requirements. Compliance with these Regulations shall be a prerequisite to the approval of any subdivision by Walker County, except insofar as they may conflict with any applicable State statute.

## Section 1 - Purpose

1.1 These Regulations have been prepared in general to aid in the orderly development of Walker County, Texas, and provide guidelines, which will lead to a desirable environment. Specifically, they have been prepared for the following purposes:

- To furnish the Owner with guidance and assistance in the expedient preparation and approval of his or her plat.
- To protect the citizens of Walker County by providing subdivision and development guidelines for residential, commercial, and industrial subdivisions.
- To provide for the welfare of the public by providing guidelines for the location, design, and construction of roadways, roadway intersections, drainage improvements, and other features that provide for the safety of the general public.
- To provide for the proper arrangement and construction of roads, and to ensure the proper relationship of roads to existing or planned roads.
- To ensure adequate access for emergency response vehicles.
- To ensure that Walker County will not be burdened with substandard roads in the future.

## Section 2 - Definition of Terms

### 2.1 **100-year Floodplain**

Any land that would be inundated by a flood having a one percent chance of occurring in any given year, including but not limited to any land shown on the current version of the FEMA National Flood Insurance Program Flood Maps.

### 2.2 **100-year Storm**

A storm having a one percent probability of occurrence in any given year.

### 2.3 **Application**

A submittal that includes a completed Application form along with all required attachments which may be required as part of that submittal and the appropriate review fee. These attachments may include but are not limited to forms, agency approvals, specifications, drawings, drainage or geotechnical reports, and electronic data files. (See Appendix D). The DPD is authorized to make additions or changes to the Application forms without any additional approval by Commissioners Court.

### 2.4 **Base Flood Elevation (BFE)**

The water surface elevation resulting from the flood that has a one percent chance of equaling or exceeding that level in any given year (also called the Base Flood).

### 2.5 **Block**

A tract of land bounded by actual or platted roads, waterways, or other definite boundaries, or a combination thereof.

### 2.6 **Commissioners Court**

All references in these Regulations to the Commissioners Court shall mean the Commissioners Court of Walker County or the person(s) designated by the Commissioners Court of Walker County.

### 2.7 **Condominium Development**

A form of real property with portions of the real property designated for separate Ownership or occupancy, and the remainder of the real property designated for common Ownership or occupancy solely by the Owners of those portions. For the purposes of these Regulations, Condominiums shall include, but not be limited to, all developments created under Chapter 82 of the Texas Property Code, also known as the Uniform Condominium Act.

### 2.8 **County**

All references in these Regulations to the "County" shall mean Walker County.

### 2.9 **County Engineer**

All references in these Regulations to the "County Engineer" shall be construed to refer to the Professional Engineer employed by or contracted by Walker County for the review of plat applications, plans, permits, or general engineering review related to any application, or his/her authorized representative.

### 2.10 **Cul-de-sac**

A road having one terminus open for vehicular and the other terminated by a vehicular turnaround.

2.11 **Daughter Tract/Daughter Parcel**

Any of the tracts created by the division of a parent tract, including the remainder of the parent tract itself.

2.12 **DPD**

All references in these regulations to the "DPD" shall be construed to refer to the current Director of Planning and Development for Walker County, Texas, or his/her authorized representative.

2.13 **Dwelling Unit**

A dwelling unit is defined as a single unit of residence for a family of one or more persons.

2.14 **Easement**

A grant by the property Owner for the use of a strip or parcel of land by the public or utilities, or for any private purpose.

2.15 **ETJ (Extraterritorial Jurisdiction)**

The unincorporated area that is contiguous to the corporate boundaries of a city, as defined by that city, and within various distances of the municipality depending on the number of inhabitants of a municipality. Within an ETJ, cities have statutory authority to adopt rules governing plats and subdivisions.

2.16 **FEMA**

The Federal Emergency Management Agency, a federal agency of the Department of Homeland Security.

2.17 **Frontage**

Frontage is the measurement of distance along the right of way adjacent to and abutting a lot boundary as measured at the edge of the right of way of:

- 1) an existing city, county, or state-maintained road; or
- 2) a public road that has been platted in accordance with these regulations and either submitted an approved surety or accepted as substantially complete.

2.18 **Guidelines**

The Engineering Guidelines contained in Appendix B as part of the Walker County Subdivision Regulations, as amended.

2.19 **Improvements**

Any or all road pavements, curbs and gutters, sidewalks, utilities, drainage facilities, topsoil, trees, grading, signs, and crosswalks, and may also include walkways, streetlights, or any other manmade changes to improved or unimproved real estate.

2.20 **LOG**

Lip of Gutter; the front edge of the curb. The point where the curb meets the roadway pavement. (Also referred to as the "face of curb").

2.21 **Loop Street**

A type of local street where each end terminates at an intersection with the same street.

2.22 **Lot**

For the purpose of these Regulations, a parcel or part of a tract of land created by a division of a parent tract regardless of whether it is made using a metes and bounds description in a deed of conveyance or a contract for deed, by using a contract of sale or executory contract to convey, or by using any other method, exclusive of any adjoining road or road right-of-way. Lots shall meet the minimum dimensions, area, and setback requirements of these Regulations.

2.23 **Major Thoroughfare**

Major thoroughfare shall mean an arterial road as defined herein.

2.24 **Minimum Requirements**

Requirements when defined as a minimum shall be the least restrictive standards as allowed by applicable local, state, and federal regulations.

2.25 **Minor Subdivision / Minor Plat**

Minor Subdivision/ Minor Plat shall mean an application for plat that meets the following:

- a) does not include or require the construction of any road or drainage improvements under this policy, excluding detention;
- b) subdivides an existing compliant tract into 4 or fewer parts, tracts, or lots;
- c) and is not located within a platted subdivision.

2.26 **Owner**

The person(s) possessing title and/or applicable lienholders to the property to be subdivided. This can also refer to the Owner's surveyor, engineer, lawyer, planner, or other agent(s) who has been given authority to represent the Owner.

2.27 **Parent Tract/Parent Parcel**

The original tract/parcel owned by the Owner prior to any division.

2.28 **Plans**

Construction drawings, specifications, reports, calculations, detailed quantity take-offs, bidding forms, or other documents required for construction, construction review, or construction-related approvals.

2.29 **Plat**

The Plat is the plat required for filing in the records of the County Clerk and is a map or drawing of a proposed subdivision (1) prepared in conformance with the approved engineering plans application and (2) meeting the requirements of these regulations.

2.30 **Precinct Commissioner**

The Walker County Commissioner in whose precinct the subdivision is located.

2.31 **RV Park:**

Also known as a Recreational Vehicle Park, is a planned facility or location created for the temporary lodging of individuals in Recreational Vehicles, Motor Homes, 5<sup>th</sup> wheel trailers, and similar vehicles, but not including mobile homes, manufactured homes, or structures not certified and licensed for roadway operation by a state. RV Parks offer short-term lodging not to exceed five months per year. For the purposes of this policy, an RV Park would include any property that offers two or more recreational vehicles or recreational vehicle spaces or sites for rent, lease, or financial gain on a single property.

2.32 **Registered Professional Engineer**

A person licensed, as of the date of the plan being presented, to practice engineering in Texas.

2.33 **Registered Professional Land Surveyor**

A person licensed, as of the date of the plan being presented, to practice land surveying in Texas.

2.34 **Regulations**

The Walker County Subdivision Regulations (this document), as amended, including all appendices.

2.35 **Residential Rental Community**

A Residential Rental Community is a property subdivided by short-term leases, not to exceed 36 months, into two (2) or more separate dwelling units or spaces. A Residential Rental Community does not include Condominiums, Manufactured Home Rental Communities, or Recreational Vehicle Parks.

2.36 **Road/Street**

The terms "street" or "road" are interchangeable and mean a vehicular way, including culverts and bridges, and are used to describe all vehicular ways regardless of any other designation they may carry. All roads shall be categorized into one of the following functional classifications:

2.36.1 **Arterial Road**

Arterial roads are those that are principally regional in nature, which will serve vehicular traffic beyond the limits of a subdivision; or connect one collector or arterial with one or more collectors or arterials. Arterial roads include any road used for through or high-volume traffic ( $\geq 12,000$  average daily trips), or any road included as an arterial on a county or city transportation plan.

2.36.2 **Collector Road**

Collector roads are those that connect one local road with one or more local roads; or any road with  $\geq 2,000$  average daily trips that is not an arterial road.

2.36.3 **Local Road**

Local roads are those that principally provide direct access to lots within a subdivision and have less than 2,000 average daily trips.

All roads Arterial, Collector, and Local roads shall also be classified as follows:

2.36.4 **Urban Road**

For the purposes of this order, an urban road is any road situated such that any of the lot frontages are less than 125 feet. Any road with a curb and gutter design will be considered an urban road.

2.36.5 **Rural Road**

For the purposes of this order, a rural road is any road situated such that any of the lot frontages are 125 feet or more.

2.36.6 **Major Thoroughfare**

Major thoroughfare includes arterial roads, as defined herein, and all roads included either now or in the future in the Walker County Long Range Transportation Plan.

2.37 **Subdivision**

The division of a tract of land into two or more parts to layout (1) a subdivision of the tract, including an addition; (2) lots; or (3) streets, alleys, squares, parks, or (4) other parts of the tract intended by the owner of the tract to be dedicated to public use (Sec 232.001, Texas Local Government Code, as

amended. The Walker County Commissioners Court has adopted guidelines, incorporated in these Regulations as Appendix A, stating when Owners are required to file a plat for a subdivision). A division of a tract includes a division regardless of whether it is made using a metes and bounds description in a deed of conveyance or a contract for deed, by using a contract of sale or executory contract to convey, or by using any other method.

For the purpose of these Regulations, subdivisions shall be classified as either urban or rural, as follows:

**2.37.1 Urban Subdivision**

Urban subdivisions are any subdivision such that any of the lot frontages are less than 125 feet or are less than 1 acre in size.

**2.37.2 Rural Subdivision**

Rural subdivisions are any subdivision such that all of the lot frontages are 125 feet or more, and all lots are greater or equal to 1 acre in size.

**2.38 Travel Way**

The portion of a road or roadway intended for vehicular travel. Where concrete curb is installed, the travel way shall be measured LOG to LOG. In cases where a rollover curb (i.e., 4"x12" curb) is installed, the travel way shall be measured from the inside edge to the inside edge of the rollover curb (i.e., the rollover curb is not included as part of the travel way). The travel way also does not include gravel or paved shoulders.

**2.39 TxMUTCD**

The latest edition of the Texas Manual on Uniform Traffic Control Devices.

**2.40 Utility**

All persons, firms, corporations, partnerships, municipality, or other private authorities providing gas, electric, water, sewer, drainage facilities, telecommunications, cable television, or other services of a similar nature.

# Section 3 - Application Review and Approval Procedures

## *General Requirements*

- 3.1 Every Owner of any tract of land situated outside the corporate limits of any city in Walker County, Texas, must apply for approval and have a plat of the subdivision prepared in compliance with these regulations as authorized by Chapter 232 of the Texas Local Government Code and under the platting and applicability guidelines included in Appendix A. No plat shall be approved for filing in the unincorporated areas of Walker County, Texas, without meeting the requirements of these regulations unless specifically exempted (See Platting Guidelines included as Appendix A). Any tract that has not had its boundary changed since February 1, 2000, may be sold in its entirety without being platted unless otherwise required by State law; this would include but is not limited to the replatting and amending plat requirements.
- 3.2 If the property to be platted lies entirely within the limits of a city, the Owner shall consult directly with that city pertaining to all platting procedures and requirements.
- 3.3 If the property to be platted lies entirely outside of the limits of a city and all ETJs, platting procedures and requirements shall be in accordance with these Regulations.
- 3.4 If the property to be platted lies fully or partially within the ETJ of a city, the platting procedure shall be accomplished in accordance with the most current applicable agreement between the County and that city.
- 3.5 In those ETJ's where the agreement provides for a joint review by both the city and the County (reference is made to Appendix E), an Application shall be filed with the entity or office required by the agreement.
- 3.6 It is the obligation of the Owner to submit all information necessary to permit proper review by the County. If this is not done, the submission will be rejected and a new application must be filed.
- 3.7 All subdivisions of land must either be approved for an exception under State or Local exceptions (See Appendix A), or complete all required applications and approvals required herein. All applications for an exception must be approved by the DPD and/or the County Engineer and have an affidavit of exception on the current form filed in the records of the County Clerk.
- 3.8 All applications shall be marked as to the category of application: Exception, Variance, Plat, or Replat / Amending Plat. Additionally, applications shall include any request for consideration as a plat seeking consideration under the requirements of a Minor Subdivision. A separate application governed by independent timelines and processes will need to be submitted for each category of application requested and/or necessary for the completion of a project.
- 3.9 All applications must include all submittals as required herein or shown on the "Walker County Subdivision Regulations Application Checklist" attached as Appendix D. Appendix D is provided as a guide to assist the applicant in the application process and does not provide complete details of each individual requirement, the detailed requirements are provided in the text and appendices of these regulations.
- 3.10 Once an application and application fee are submitted, no refund of any fees will be given unless required by statute or approved by Commissioners Court. There will be no refund due to an application being submitted incomplete or the withdrawal or cancellation of an application or project. It is the Owner's responsibility to review these regulations and associated guidance and submit the

application only after due diligence has been given to the completeness and suitability of the application.

- 3.11 All subdivisions of land not otherwise excepted by these regulations must submit a plat application for approval prior to filing a plat or subdividing any property within the unincorporated areas of Walker County. For certain platting such as amending plats, lot combination in existing subdivisions, and minor subdivisions with prior approval from the DPD and/or County Engineer a minor plat complying with the County's standards may be submitted. The names of the proposed subdivision and any of the physical features (such as streets, parks, etc.) must not be so similar in spelling or pronunciation to the names of similar features in Walker County, as to cause confusion. All streets and roads must be named on the plat, a list of road names must be submitted by the Owner to the Department of Planning and Development, and approval of the names received, prior to the submittal of the plat application for review and approval.
- 3.12 The Owner must submit six fully signed and executed copies of the plat on 18"x24" media (three paper copies and three mylar copies). In addition to the plat, the Owner must submit 3 paper copies of all submittals along with the following digital files of any plans, plats, exhibits, studies, or other documents required by these regulations for all applications:
- a) A copy of all items in an Adobe .pdf format;
  - b) A copy of all plans, plats, maps, or spatially displayed or related documents and data in .dwg format or pre-approved alternate format.
  - c) A copy of all features shown on the plat must be provided in ESRI shapefile format, including but not limited to roads, rights of way, easements, lot lines, property lines, section and block outlines, etc.

All entities or objects within the AutoCAD drawing file shall be at zero elevation. The coordinate system of the electronic drawing and shapefile shall be the Texas State Plane Coordinate System, Central Zone, U.S. Survey feet, grid coordinates. Right-of-way centerlines, real property boundary lines (lots, blocks, external subdivision boundary, rights-of-way, etc.), and text shall each reside on independent or separate layers. All documents required to be submitted by a registered professional land surveyor or professional engineer must be sealed and signed. *An exemption from the requirement to submit a digital map may be granted if the Owner of the tract submits with the plat application an acknowledged statement indicating that the digital mapping technology necessary to submit a map that complies with this subsection was not reasonably accessible, including justification as to why the technology is not reasonably accessible.*

- 3.13 To protect the public interest, the Commissioners Court of Walker County hereby decrees under the provisions of Chapter 232, Texas Local Government Code, that the Owner of any tract of land that desires to obtain the approval necessary for recording a subdivision plat in the County Clerk's Records of Walker County shall construct all roads and drainage facilities, including stormwater detention, along with any items required by other governmental agencies in said subdivision to the standards and specifications set forth in the Engineering Guidelines incorporated as Appendix B of these Regulations before offering said plat for approval unless financial surety is approved and provided in accordance with Section 6, construction plans are approved by the Commissioners Court, and all necessary permits have been issued.
- 3.14 If an Owner wishes to construct improvements prior to filing a plat, then the owner must submit a variance request, requesting a revised process for submittal and approval of infrastructure.
- 3.15 All road and drainage improvements shall be designed and certified by a Professional Engineer



licensed to practice in Texas. All plans and specifications shall conform to the requirements of these regulations.

- 3.16 The Owner shall submit construction plans, sealed by a Professional Engineer, for roads, drainage, traffic signage, and/or utility improvements within the proposed subdivision or within any existing County right of way to the Planning and Development Department and obtain plan approval from the Commissioners Court prior to beginning construction. These plans shall show the location of water, sanitary sewer, and storm sewer utilities, and shall show proposed easements for privately owned utilities (electric, cable television, gas, telephone, etc.). Utilities will be reviewed based on their impact on the right of way, public infrastructure, and the floodplain. These plans shall be sealed by a professional engineer and include the design requirements as described in Appendix B, Engineering Guidelines.

### **Pre-Application Meeting**

- 3.17 It is strongly recommended that the Owner request and attend a pre-application meeting with the Walker County Department of Planning and Development prior to all Plat Applications.
- 3.18 The Owner must submit a request for this meeting and is encouraged to bring to the meeting any of the application documents listed in Appendix D.
- 3.19 A Pre-Application Meeting will generally be scheduled within 10 business days of the receipt of a completed request and the Owner will be notified of the time and date of the meeting. The time, date, duration, and location of the meeting will be at the complete discretion of the County.
- 3.20 The Pre-Application Meeting will allow the Staff to provide some information on the plat application processes and allow Owner to ask questions related to policy in relation to a potential application.
- 3.21 A Pre-Application meeting does not constitute a Plat Application.

### **Plat Application**

- 3.22 A Plat Application must be submitted and approved prior to any plat being filed for all subdivisions of land subject to these regulations. (See Appendix A for additional guidance on applicability)
- 3.23 Applications and any revised applications or responses to conditional approvals or disapprovals must be submitted during a scheduled submittal meeting with DPD or assigned staff. The Owner or the Owner's designated representative must attend the meeting. This meeting may be scheduled in conjunction with a pre-development meeting if so desired by the applicant.
- 3.24 The Application must include the documents and other information required by these regulations.
- 3.25 All Plat Applications shall include the fee as required by the currently adopted Schedule of fees.
- 3.26 All Plat Applications must include a completed and executed Application Form in its most current version. The application form will be available from the Department of Planning and Development, and the DPD has the authority to update or change this form without the need for any additional action by Commissioners Court.
- 3.27 All Plat Applications shall include copies of the current filed deed for the parent tract.
- 3.28 All Plat Applications shall include a copy of a valid Title Abstract or Title Report completed to current

ownership for the parent tract from a title company or attorney. The surveyor's certification shall state the plat was completed with the benefit of a current Title Abstract or Title Report and includes all encumbrances noted on the current Title Abstract or Title Report.

- 3.29 All Plat Applications shall include a copy of a Final Plat in compliance with these Regulations and including all final signatures and certifications.
- 3.30 All Plat Applications shall include such documents as necessary to identify the Owner or Owner's agent authorized to sign documents in relation to the plat. This may include but is not limited to powers of attorney, articles of incorporation, and title documents.
- 3.31 All Plat Applications not specifically exempted from the requirement to submit a detention/drainage study or flood study under these regulations, and all Subdivision Applications that include the construction of any improvements required or regulated under these regulations must include completed plans, sealed by a Registered Professional Engineer authorized to practice in Texas, for all improvements. The plans must comply with these regulations including but not limited to Appendix B. In addition, all plans must be satisfactory to the Commissioners Court.
- 3.32 All Plat Applications proposing new streets and roads must include copies of written approval from the governmental authority having jurisdiction over 911 addressing that all road names and spellings included in the plat have been authorized for use.
- 3.33 All Plat Applications that do not indicate plans for the connection to or installation of a TCEQ approved municipal wastewater system must include an approved OSSF Subdivision Planning Materials Submittal for Subdivision Development from the TCEQ Authorized Agent unless exempted in writing. No lot or tract shall be included within any application for subdivision in violation of state law or local order, including, but not limited to the Texas Administrative Code, Title 30, Chapter 285, and the Walker County Regulations for on-site sewage facilities.
- 3.34 All Plat Applications planning to utilize a TCEQ approved municipal wastewater system must include a letter from the wastewater provider including a reference to the provider's valid Certificate of Convenience and Necessity (CCN) or documentation of an application, indicating that the provider is prepared to provide sewer services to the proposed subdivision.
- 3.35 All Plat Applications shall include letters of serviceability from all water and electric providers, including the name, phone number, and e-mail address of the utility company contact. The letter must include a reference to the subdivision and the number of lots to be served.
- 3.36 If a person submits a plat for the subdivision of a tract of land for which the source of the water supply intended for the subdivision is groundwater under that land, the plat application must include a written statement that:
  - (1) is prepared by an engineer licensed to practice in this state or a geoscientist licensed to practice in this state; and
  - (2) certifies that adequate groundwater is available for the subdivision.
  - (3) The certificate shall be submitted with a TCEQ-approved form.
  - (4) The report shall include a satisfactory letter of receipt and comment from the Bluebonnet Groundwater Conservation District.

A variance for this item cannot be granted unless credible evidence of groundwater availability in the vicinity of the proposed subdivision is provided, and it complies with Local Government Code §232.0032.

- 3.37 All Plat Applications that require or include the construction of improvements must include an approved permit issued under the Walker County Regulations for Flood Plain Management. All plats and plans shall conform to the Walker County Floodplain Regulations regardless of the permitting requirements.
- 3.38 All Plat Applications that require a variance to be granted must submit a copy of all approved variances with the application.
- 3.39 All Plat Applications requiring the construction of improvements must include a detailed and itemized report including a list of improvements, in a bid schedule format, with associated unit quantities that are necessary to complete the road and drainage improvements per the required construction plans and is sufficient for the Commissioners Court to set the bond amount, sealed by a registered professional engineer authorized to practice in Texas. The report must be acceptable to the County Engineer and the Commissioners Court in format and content. Lump sum units shall not be used for quantifiable items such as pavement, stabilization, earthwork, etc.
- 3.40 All Plat Applications requiring the construction of improvements must include a maintenance plan in the form of a document signed by the Owner specifying the mechanism and/or entity that will be responsible for maintenance of the public improvements within the subdivision until such time, if any, the roads, drainage, and associated appurtenances are adopted for public maintenance by Walker County. The plat must include a note identifying the entity referenced in the maintenance plan that shall be responsible for the on-going maintenance of the roads, rights-of-way, signage, drainage, and other improvements within the subdivision, until such time, if any, said infrastructure is adopted into public maintenance.
- 3.41 All Plat Application shall include any necessary approvals from other governmental agencies such as Texas Department of Transportation, Groundwater Districts, Army Corps of Engineers, etc. Any plat proposed within 2000 feet of the Trinity River or Lake Livingston shall include a letter of "no objection" from the Trinity River Authority. Any plat proposed within 2000 feet of Lake Conroe shall include a letter of "no objection" from the San Jacinto River Authority. Any plat proposing to connect to or provide access from a road under the maintenance or control of the Texas Department of Transportation shall provide written approval of said access or connection. It is the sole responsibility of the Owner and/or the Owner's Representative to properly research any approvals that are required from other agencies. Acceptance of an application by Walker County does not waive any responsibility or requirement for compliance with any outside agency.

### **Review Process**

- 3.42 All plat applications shall be submitted complete and made as a single submittal. It is the Owner's responsibility to review these regulations and associated guidance and submit the application only after due diligence has been given to the completeness and suitability of the application. An application checklist is attached as Appendix D, as an aid to compliance. Acceptance of the application for review is not an indication of the completeness of an application. No review for completeness will take place prior to submittal of an application by the Owner and payment of the associated fee. It should be recognized by the Owner that the submittal of a complete application is a requirement of the Owner and that the submittal of incomplete applications affects program costs and expenses and may result in increases in the application fee.
- 3.43 Once an application and application submittal fee are submitted no refund of any fees will be given

unless required by statute or approved by the direct action of Commissioners Court. There will be no refund due to an application being submitted incomplete or the withdrawal or cancellation of an application or project.

- 3.44 An application is considered submitted for review on the date application, revised application, or resubmittal is received by the Walker County Department of Planning and Development at:

**1313 University Avenue, Suite A  
Huntsville, TX 77320**

- 3.45 Delivery of the application must take place in accordance with the administrative criteria set by the Walker County Department of Planning and Development. The Walker County Department of Planning and Development does not receive any applications on non-business days. Unless an alternative submittal process has been agreed to in advance and in writing by the DPD, all submittals must take place at a submittal meeting scheduled in advance by the Owner.
- 3.46 The DPD is authorized to set any necessary administrative criteria related to the submittal of applications under this policy, including but not limited to, setting the times and/or dates at which applications will be received, requiring appointments for submittal of the applications, making changes as necessary to the administrative forms related to applications, specifying the method and type of payment, and specifying the form of submittal.
- 3.47 The County shall have 10 business days from the date the application is received to notify the Applicant of any documents or other required information missing from the application. The application will not be considered complete until all documents or other required information are submitted. This initial review of the submittal is an administrative review to determine if required documents or other information are missing from the application and should not be construed as a qualitative review to determine approval, completeness, appropriateness, or compliance of the documentation or other submittals with these regulations.
- 3.48 In such cases where the application is missing any document or other required information, the County will notify the Owner of the missing documents or other required information. The missing documents or other required information must be submitted to the County as a single submittal along with payment for any increase in the fee, and a receipt will be provided to Owner for the revised submittal. Each time a submittal is made of missing documents or other required information the 10-business day administrative review period described in Sections 3.42 - 3.48 will begin again. This process will continue until all documents and other required information are submitted, or until the Application expires (See Section 3.68).
- 3.49 If an incomplete application is submitted for review, but the application fee and completed application form are submitted, the Owner may request a "Guidance Review" from the County on the incomplete application prior to submitting the missing documents or other required information in the revised application. The guidance review is a voluntary process designed to improve the Owner's Application without being subject to the strict timelines, revision processes, and rejection processes surrounding completed applications. The DPD and County Engineer are not required to conduct a guidance review of any incomplete applications unless the DPD agrees that the review would have significant benefit to the application and not create a significant negative impact on County resources. The acceptance of an application for "Guidance Review" is at the total discretion of the DPD. A "Guidance Review" may only be requested or granted on withdrawn or incomplete applications. As the Guidance Review is not a required process, it is outside of the application process timeline, and there is no maximum response time for this process to complete; however, the Owner may proceed to re-

application at any point without waiting for the Guidance Review to be completed if the Owner so desires.

- 3.50 Once an application is considered complete and regulatory review has begun no additional documents or other information may be submitted for review, with the exception of a response to a conditional approval or disapproval by the Commissioners Court or its authorized representative. If an application is withdrawn then a revised application may be submitted under the conditions allowed of this policy.
- 3.51 Following the receipt of a complete Application, the DPD and/or the County Engineer will review the Application for compliance with these regulations and forward the application and the review comments to the Commissioners Court for action.
- 3.52 The DPD and/or County Engineer will submit a copy of the application review(s) to the Commissioners Court, the person authorized by the Commissioners Court, or, in the case of a joint review where the county is not acting as the authorized office, to the specified authorized office.
- 3.53 Unless an Owner successfully withdraws an application, the DPD and/or County Engineer will refer the original application along with comments and recommendations to the Commissioners Court or person designated by the Commissioners Court for action.
- 3.54 The Commissioners Court or its designee will consider the plat application for approval within 30 days of the date of the receipt of a complete application, unless a valid extension is allowed for under law or has been applied for and granted by the Owner.
- 3.55 If an application is approved without conditions, the application will be considered complete and the plat may then be approved for filing by the Commissioners Court. Approval for the plat for filing is a separate action from the approval of the plat application and is not included in the 30-day or 15-day timelines for the approval of the application.
- 3.56 If an application is disapproved or approved with conditions, the Commissioners Court or its authorized representative shall provide a written list of conditions for approval to the Owner. The Owner may withdraw the application or submit a written response that satisfies each reason for disapproval provided or satisfies each condition. If the Owner wishes to submit a response, the response should be submitted as a single submittal addressing each condition or reason.
- 3.57 If the applicant chooses to submit a written response that satisfies each reason for disapproval provided, or satisfies each condition for conditional approval, the applicant must submit the written response in the same format(s) and quantities as required under the original application. The response shall be accompanied by all required forms, and any increases in the application fee or outstanding fee balances shall be paid when submitting the response.
- 3.58 Following the submittal of a response to a conditional approval or disapproval, the Commissioners Court and/or its designee shall review the response and take additional action to approve, approve with conditions, or disapprove the application within 15 calendar days.
- 3.59 The process described in Sections 3.56 through 3.58 shall continue until the application is approved by the Commissioners Court, is approved by the Commissioners Court's designee, expires, or is withdrawn.
- 3.60 At any time following the submittal and acceptance of a completed application, the DPD or County Engineer may recommend the application for action by the Commissioners Court or a person herein designated by the Commissioners Court.

- 3.61 At any time following the submittal and acceptance of a completed application, the Commissioners Court may take action on an application without allowing for a withdrawal, revision, or extension.
- 3.62 Following approval of a plat for filing by the Walker County Commissioners Court, the Owner shall submit the final plat to the County Clerk for recording in accordance with the requirements of the County Clerk's Office.
- 3.63 If a final plat is not recorded within five years of the approval of the plat for filing by the Commissioners Court, the approval of the final plat expires. A single six-month extension may be granted by the Commissioners Court. The extension must be requested in writing by the Owner at least 30 days prior to the expiration.

### **Withdrawal of an Application**

- 3.64 If the Owner wishes to withdraw the application, the Owner must submit a request for an administrative withdrawal of the original application on the current County form. Withdrawal of an application is voluntary and must be requested by the Owner on an approved form. An application that has been withdrawn can only be submitted as a new application. However, it may be submitted within 90 days of the withdrawal under the same application number and pay only the increase in fee that would be charged for a revised application under the schedule of fees. If an application is withdrawn and not resubmitted within 90 days, then the application must be submitted as a new application in accordance with these regulations, and a new application fee must be paid.
- 3.65 An application submitted following a withdrawal will be processed under a new timeline starting with a review for completeness under these regulations. No replacement applications will be accepted once an application has been accepted as complete without the original application being withdrawn.
- 3.66 The Owner may voluntarily submit a withdrawal of application and replacement application only if approved by an authorized representative of the Commissioners Court.
- 3.67 The DPD and/or the County Engineer are hereby authorized to approve or deny any requests for extension or application withdrawal and/or replacement.

### **Expiration of an Application**

- 3.68 Applications shall automatically expire in 120 days under the conditions laid out in 245.002(e) of the Texas Local Government Code. All applications shall expire as a dormant application under 245.005 5 years from the original date of submittal.

### **Minor Subdivisions**

- 3.69 Minor subdivisions are subdivisions with four or fewer total lots, that are not located within an existing platted subdivision, and that do not require the construction of any road or drainage improvement under these regulations aside from detention. (See definitions section)
- 3.70 Minor Subdivision Applications (while not exempt from meeting the detention requirements of these regulations, State, or Federal law) are not required by these regulations to submit engineering plans or a drainage study for review by the County as long as the plat includes the Minor Plat drainage

certifications under C10. Minor Subdivisions are also not required to submit a Title Report but shall include all encumbrances noted on the current Title Report.

- 3.71 Minor Subdivisions are not required to submit 911 name approvals, engineer's itemized list of improvements, bonding, maintenance plans, letters of serviceability, or engineering drawings required for Plats because, by definition, these plats do not include or require the construction of said improvements.
- 3.72 Instead of the submittal requirements listed in Section 3.12, Minor Subdivision Applications may submit the plat on 8.5" by 14"/11" paper, three original copies of the plat must be submitted. The plat must include all of the requirements described in Section 4 of these regulations, with the exception of the applicable plat notes and signature blocks from Appendix C. The applicable Appendix C notes and signature blocks will be included on the Minor Plat document created by Walker County. The submitted plat will be attached to the Minor Plat document as an exhibit. Once fully executed and approved the plat will be filed in the Official Public Records of Walker County, Texas.
- 3.73 If any portion of the original parent tract being subdivided as a Minor Subdivision is further subdivided so that the total number of daughter tracts created from the original parent tract exceeds 4, then all new lots created must be addressed by the re-plat application's engineering plans, including detention for all new lots created by the replat. A note to this effect shall be placed on the face of the plat.
- 3.74 The DPD and/or the County Engineer are hereby authorized to approve, disapprove, or approve with conditions all plat applications involving Minor Subdivisions.
- 3.75 If any portion of the original parent tract was subdivided within the previous five years utilizing an exception other than those exceptions listed under Section A2 or A3.3 of Appendix A, then all daughter tracts from the parent tract subject to the exception shall also be included in the total lot count to determine eligibility for Minor Subdivision plats.

### **Amending Plats and Re-plats Process**

- 3.76 Re-plat and Amending Plat applications shall not be subject to the same review timelines and procedures that relate to the approval of plat applications.
- 3.77 Re-plats or Amending Plats otherwise meeting the requirements of a Minor Subdivision will be allowed to utilize the submittal requirements for Minor Subdivision Applications; all other Amending Plats or Re-plats shall meet the same submittal requirements as listed for Plat Applications within these regulations.
- 3.78 As re-plats and amending plats are subject to different procedures and timelines as outlined in Chapter 232 of the Texas Local government code, these applications will be processed in accordance with those requirements (see Section 5).



## Section 4 - Plat Requirements

Every plat shall include all of the following:

- 4.1 Date, north arrow, scale, and a title block with the name of the proposed subdivision, legal description, number of blocks/lots/reserves, and acreage. The scale of the plat, excluding the vicinity map and key map overall, shall not be greater than 200 feet per inch and shall be to a standard engineering scale.
- 4.2 All portions of the plat must be legible without magnification. The minimum text size shall be 0.06 inches.
- 4.3 The plat shall be prepared by a Registered Professional Land Surveyor.
- 4.4 A vicinity map drawn at a scale appropriate to show all nearby major roadways and sufficient in detail to identify the location of the proposed plat. A graphic or stated scale is not required on a vicinity map.
- 4.5 The plat shall be certified as to accuracy by the surveyor preparing the plat and show in reasonable detail the location of and width of existing and proposed streets, roads, alleys, lots, parks, easements, and other related features within the subdivision.
- 4.6 The plat shall be drawn on tracing cloth or other permanent type of material consisting of one or more sheets measuring eighteen inches wide and twenty-four inches long. If separate sheets are used a key map showing the entire tract with match lines shall be drawn on the first sheet.
- 4.7 Bearings and distances, calling for the lines of established surveys, landmarks, and other data furnished, sufficient to locate the property on the ground, must be shown on the plat.
- 4.8 Lots and block numbers are to be arranged in a systematic order as shown on the plat in distinct and legible figures.
- 4.9 The plat (including the entire parent tract if only a portion of that tract is to be subdivided) shall be shown on a single sheet, regardless of its acreage. The plat may also be separately shown on multiple sheets if necessary to show all details and information as required by this section. Multiple sheet plats shall have the subdivision name and sheet number located in the lower right-hand corner of each sheet.
- 4.10 Name, address, and telephone number of the professional individual(s) or firm(s) responsible for the preparation or certification of the plat.
- 4.11 Name of the property Owner(s) of record.
- 4.12 All adjacent property Owner's names, deed record, or subdivision name, block, and lot number.
- 4.13 County boundaries, city limits, ETJ boundaries, and subdivision section and/or phase boundaries.
- 4.14 Size, in acres, of all daughter tracts, including the remaining portion of the original tract.
- 4.15 Centerline tangent lengths and curve data for all proposed roads.
- 4.16 Road names and road designation (whether the road will be public or private), and right-of-way width for all proposed roads within and all existing roads abutting the plat. All rights-of-way and easements shall comply with Appendix B and Appendix F.

- 4.17 Survey ties across all existing right-of-way located adjacent to the boundary of the subdivision. Each tie shall show the bearing and distance from a proposed property pin to an existing property pin or fence if a pin cannot be found. Based upon this tie, a right-of-way width shall be shown. The intent of this requirement is to assist in determining if an additional right-of-way is needed.
- 4.18 Any existing County-maintained road right-of-way that joins the tract being subdivided shall have the same right-of-way widths and setbacks required herein. The additional right-of-way, as might be required, shall be furnished by the Owner and measured from an acceptable centerline alignment. The dedication of additional rights-of-way and setbacks along existing County-maintained roads is not required to exceed the boundaries of the parent tract(s). For rights-of-way and easements within amending plats and replats, see Section 5.
- 4.19 A dimension from the centerline of any existing roadway's pavement or causeway to the edge of the existing or proposed right-of-way.
- 4.20 Any area dedicated for road right of way shall be shown with bearings and distances, and be included on the plat drawing or in the plat notes the acreage of the dedicated road right of way.
- 4.21 All existing property lines and proposed lot lines with bearings and dimensions. For required lot frontages and other lot requirements, refer to Appendix B.
- 4.22 Building setback lines for each proposed lot. For building setback requirements, refer to Appendix B. Building setback lines can be included by a note on the plat at the owner's discretion.
- 4.23 All lot lines shall stop at the right-of-way lines; under no circumstances shall they extend past or into the right-of-way.
- 4.24 Proposed easements for detention basins, if needed, based on the requirements outlined in Appendix B.
- 4.25 Location of all existing and proposed easements including, but not limited to those outlined in Appendix B.
- 4.26 The location, zone classification, and panel effective date of the 100-year floodplain as identified on the most current Walker County Flood Insurance Rate Map (FIRM), published by the Federal Emergency Management Agency (FEMA).
- 4.27 The location of easements, lots, or reserves necessary for the proposed cluster mailboxes, if required.
- 4.28 If the proposed plat is to be a private subdivision (containing private roads), the title of the plat shall contain the phrase, "A Private Subdivision". Refer to Section 8 for additional requirements.
- 4.29 All existing and proposed plat boundary lines, phase/section lines, and lot lines with bearings and distances. Bearings shall be based on the Texas State Plane Coordinate System, Central Zone. Distances shall be expressed in U.S. Survey feet, and state whether distances are "Grid" or "Surface". A Combined Scale Factor shall be specified on the face of the plat to eight decimal places (example: 0.12345678) to facilitate the conversion of surface distances to grid distances. At least two external boundary corners of each block within the subdivision shall have grid coordinates depicted on the plat to the nearest one-hundredth of a foot (0.01 feet).

- 4.30 Owners are responsible for having surveys conducted and survey monuments installed in accordance with all the requirements and procedures established by Walker County and the Professional and Technical Standards of the Texas Board of Professional Engineers and Land Surveyors. All property boundary corners, angle points, and points of curvature or tangency must be monumented or referenced by corner accessory monumentation carried out by a registered professional land surveyor. All monuments must:
- a) Be set of sufficient depth to retain stable and distinctive location;
  - b) Be of a size and material, that in the surveyor's judgment, will best ensure that the monument will withstand the deteriorating forces of nature;
  - c) Include a cap or marker identifying the responsible registrant, firm, or associated employer;
  - d) Include a notation on the applicable plan or plat that the corner was either found or set and a description of its physical characteristics; and
  - e) Be exposed for inspection if requested by County.
- 4.31 All plats shall make accommodation for any necessary easements, rights-of-way, or lot design necessary to accommodate the improvements related to the subdivision as required by these regulations.
- 4.32 Any vertical elevations depicted on the plat shall be expressed in U.S. Survey feet and shall indicate the specific vertical datum used. Describe and locate at least one vertical reference mark used to verify or establish said datum, and indicate the vertical elevation used at each vertical reference mark.
- 4.33 Road rights of way shall be dedicated to the public except when a variance is granted in accordance with Section 8. All public roadways and easements shall be dedicated free of liens. All rights-of-way and easements shall be in compliance with Appendix B and Appendix F. All dedications of a right-of-way shall be by easement and in conformance with these regulations. The dedication shall be accompanied by a plat note as found in Appendix C1. The Owner's and any lien holder's dedication, and restrictions if any, duly acknowledged in the manner required for acknowledgment of deeds, shall also be provided.
- 4.34 If public roadways are to be built as part of the plat, the plat note regarding the responsibility for the construction of roadways is found in Appendix C2.
- 4.35 The plat note regarding Owner's responsibilities, as found in Appendix C3, must be included if not contained in the Owner's dedication.
- 4.36 All proposed easements and existing easements of record that have a designated route shall be shown on the plat with bearings and dimensions. The Owner shall be responsible for coordinating with all utility providers the location of all utility easements that are shown on the final plat.
- 4.37 If there are any areas within the plat that include a FEMA-mapped floodplain with any Zone A classification, or for major plats, if any water-course whose upstream drainage basin is larger than 640 acres exists within or adjacent to the plat boundary, the plat shall also show the extent of the 100-year floodplain as determined by an engineering study under the seal of a Registered Professional Engineer. This study shall be sufficient in scope to determine and establish a base flood elevation (BFE) for all points within the plat in accordance with FEMA-approved methodologies and standard engineering practices.

- 4.38 For plats where a FEMA-mapped floodplain with a Zone AE classification exists within the subdivision, the BFE established by the associated FEMA-published flood study may be substituted for the engineering study.
- 4.39 A minimum lowest finished floor elevation (FFE) for buildings shall be established for each lot adjacent to the floodplain. This minimum FFE shall be established in accordance with the most current edition of the Walker County Floodplain Regulations. FFE shall utilize the same vertical datum as used with the BFE determination and shall include information as to the elevation of the FFE above the BFE.
- 4.40 The plat note found in Appendix C4 for Commissioners Court approval, including authorization for the County Clerk to file the plat for record, and the County Clerk's certification as found in Appendix C5 must be included on all plats. These signatures shall be obtained after approval by the Walker County Commissioners Court.
- 4.41 All variances granted shall be listed in the notes section of the plat.
- 4.42 All parcels within the boundary of the subdivision shall have a block and lot number shown on the plat drawing.
- 4.43 If any lot within the plat will be served by an on-site sewage facility, a signature block as found in Appendix C6 shall be placed on the plat. This block shall show that a properly licensed individual has examined the plat and that it complies with the Walker County On-Site Sewage Facility Regulations, Construction Standards for On-Site Sewage Facility Regulations as published by the Texas Commission on Environmental Quality (TCEQ as amended). The Registered Sanitarian or Engineer that prepared the OSSF planning materials for the developer must sign this signature block.
- 4.44 If rural route mailboxes are proposed, see Appendix C7 for the placement of such mailboxes.
- 4.45 Plats shall reference the applicable FEMA FIRM Panel and note the flood zone. Major plats or plats for tracts within the ETJ of a city shall include the signature block as found in Appendix C8 relating to floodplain regulation.
- 4.46 If any areas of the plat are located outside of incorporated areas, include the plat note as found in Appendix C9 regarding the requirement to obtain a unique Development Permit from the Walker County Floodplain Administrator prior to any manmade change to improved or unimproved real estate, including but not limited to the placement of a structure or surface improvement.
- 4.47 All plats shall include the appropriate drainage notes/certifications as found in Appendix C10.
- 4.48 All plats shall include the appropriate note addressing utilities as found in Appendix C11.
- 4.49 All plats shall include the appropriate note addressing water supply as found in Appendix C12.
- 4.50 All plats shall include a Certification of Surveyor as found in Appendix C13.
- 4.51 If a variance is obtained from Commissioners Court for the roads within the subdivision to be private, include the appropriate note(s) per the requirements of Section 8.

- 4.52 It is the responsibility of the Owner to assure that the proposed name of the subdivision is not duplicated. Subdivisions with different sections are considered unique. The Owner shall check with the County Clerk's records for verification.
- 4.53 A culvert schedule shall be calculated by a licensed professional engineer and included on the plat in table form for all proposed driveway culverts. The table shall include the adjoining street name, lot and block number, and diameter of each culvert. The design requirements are outlined in Appendix B and in the *Regulations for Walker County Driveway Permits, Design, and Materials*.
- 4.54 The Owner shall provide a letter of serviceability from an entity or entities providing water service. If water service to the subdivision will be by individual private wells, include a note on the plat that says that all lots will be served by private, on-site wells.
- 4.55 All notes on the face of the plat shall be directly related to plan approvals, subdivision regulations, and other federal, state, and local regulations. Specific deed restrictions that are not related to the application or variances granted in relation to the application shall not be listed on the face of the plat.

## Section 5 - Amending Plats, Re-plats, or Vacating a Plat

- 5.1 The Owner of a previously recorded lot may create an amended plat to create six or fewer lots in the subdivision or a part of the subdivision covered by the preceding plat if:
- a) The changes do not affect any applicable County regulations, including zoning regulations if the County has authority to adopt zoning regulations; and
  - b) The changes do not attempt to amend or remove any existing covenants or restrictions; and
  - c) All applicable requirements of Section 232.009 of the Texas Local Government Code, as amended, are met.
  - d) The amended plat is prepared in accordance with the final plat requirements of these regulations.
- 5.2 The vacation of an existing plat shall be accomplished in accordance with the applicable provisions outlined in Section 232.008 and/or 232.0083 of the Texas Local Government Code, as amended.
- 5.3 Walker County does hereby adopt, as an alternative to the provisions in Section 232.009 governing the revision of plats, the provisions in Sections 212.013, 212.014, 212.015, and 212.016 governing plat vacations, replatting, and plat amendment. The Commissioners Court may approve a plat vacation, a replat, and an amending plat in the same manner and under the same conditions, including the notice and hearing requirements, as a municipal authority responsible for approving plats under those sections.
- Instead of the purpose described by Section 212.016(a)(10), an amended plat may be approved and issued by the county to make necessary changes to the preceding plat to create six or fewer lots in the subdivision or a part of the subdivision covered by the preceding plat if:
- a) the changes do not affect applicable County regulations, including zoning regulations if the County has authority to adopt zoning regulations; and
  - b) the changes do not attempt to amend or remove any covenants or restrictions.
- 5.4 If an amended plat or a vacated plat is not recorded within two years of the approval by the Commissioners Court, the approval of the amended or vacated plat expires. The Commissioners Court may grant a single six-month extension.
- 5.5 When an amending plat or replat is proposed in order to consolidate lots, the consolidated lots are exempt from the minimum lot frontage requirements.
- 5.6 If permitted by the Commissioner for the Precinct in which the property is located and the existing dedicated right-of-way width is 50 feet or greater, an amending plat or replat of an existing subdivision can utilize the right-of-way width dedicated in the original plat without a variance from the Commissioners Court.

## Section 6 - Financial Responsibilities and Guarantees

- 6.1 To protect the public interest, the Commissioners Court of Walker County hereby decrees under the provisions of Chapter 232, Local Government Code, that the Owner of any tract of land that desires to obtain approval of a subdivision plat for recording a plat in the County records shall construct all roads and drainage facilities, including stormwater detention, and any other items required by other governmental agencies, in said subdivision to the standards and specifications set forth in the Engineering Guidelines incorporated as Appendix B of these Regulations before offering said plat for approval, unless the owner meets the requirements of Section 6.4.
- 6.2 When traffic signal and additional turn lanes are required due to anticipated future traffic generated by the subdivision, as determined by the County Engineer or an independent traffic engineer, the future traffic signal shall be included on the Engineer's itemized quantity take-off and be added to the surety provided to the County. Installation of such signals shall be the responsibility of the Owner. Turn lanes and required signals shall be constructed in conjunction with the roadways. If improvements, turn lanes, or traffic signals are required by the Texas Department of Transportation (TXDOT) in relation to the subdivision, then the Owner shall provide written documentation to the County that all necessary TXDOT permits, surety, and construction requirements have been met with the application.
- 6.3 If the subdivision is required to construct off-site stormwater detention, then surety will be required for the construction of the detention facility prior to beginning construction of the subdivision improvements. This surety will be released upon completion of the construction of the detention facility and acceptance of the construction by the County.
- 6.4 If the Owner desires to have the plat approved before the completion of construction of the roads and drainage, then the Owner shall give a good and sufficient security in the form of a bond, cash, or letter of credit acceptable to the Commissioners Court, with the form and content reviewed by the Walker County Criminal District Attorney's Office. The bond or letter of credit must:
- (1) be payable to the County Judge of Walker County and the Judge's successors in office;
  - (2) be in an amount determined by the Commissioners Court to be adequate to ensure proper construction of the roads and streets in and drainage requirements for the subdivision. The security shall contain an amount sufficient for administering the rebidding of the proposed construction should this become necessary. The security amount shall be the full amount of the approved cost of construction. The surety shall be non-cancellable and remain in full force and effect until the obligation is completed.
  - (3) be executed with sureties as may be approved by Commissioners Court;
  - (4) be executed by a company authorized to do business as a surety in this State if the court requires a surety bond executed by a corporate surety; and
  - (5) be conditioned that the roads and streets and the drainage requirements for the subdivision will be constructed:
    - (A) in accordance with the specifications adopted by Commissioners Court; and



(B) within a reasonable time as set by Commissioners Court or based upon a schedule provided by the applicant and accepted by Commissioners Court.

- 6.5 The release of the security shall be conditioned on the completion (in compliance with the Engineering Guidelines and these regulations) of all the roads and drainage facilities shown on the plat.
- 6.6 The Owner may be granted partial reductions of the security requirement upon written approval by the Commissioners Court, and, if applicable, in accordance with the City ordinance when the subdivision lies inside the ETJ of a city.

## Section 7 - Maintenance

- 7.1 By accepting a subdivision plat for filing, the Commissioners Court does not thereby accept the roads or improvements in the subdivision for Ownership or maintenance by the County. The Owner of the platted lots and/or the entity identified in the Maintenance Bond will be responsible for maintenance of all roads within the subdivision until such time, if any, as the maintenance of the roads have been accepted by the County.
- 7.2 The entity named in the Maintenance Plan and the Owner shall be responsible for the maintenance of the roads and other associated drainage and improvements in the subdivision.
- 7.3 With the exception of utilities designed and installed in accordance with these regulations, including public water system valves and hydrants, no landscaping, irrigation, sidewalks, illumination, water quality features, or other improvements not related to roads and drainage shall be located within the public rights-of-way, unless the Commissioners Court has granted a specific variance. Any such features proposed shall be included in the maintenance plan submitted with the Plat Application.
- 7.4 Once the construction has been completed and the County Engineer has reviewed the construction, the Owner shall provide the DPD with a paper copy and digital files of the "As-Built" plans showing the original approval signatures and the seal of a Registered Professional Engineer. These plans are to show the improvements as they were actually built. The files shall be in the same format as required in Section 3. After the "As-Built" plans are received and all construction deficiencies have been satisfied, the Owner's Engineer shall submit a dated, sealed, certification that all improvements have been constructed in accordance with the plans and the requirements of these regulations, unless as specific written variance has been granted, the form of this certification is subject to the approval of the DPD and/or County Engineer.
- 7.5 The County will consider accepting a road for maintenance only after dedication to the public of an easement for the roadway and associated drainage, and the minimum standards of these regulations being met. The County may also consider any other factors relating to the public's interest in their decision regarding accepting maintenance of the roads or drainage system.
- 7.6 In addition, written certification from a Registered Professional Engineer and the Owner is required, stating that the improvements were constructed in accordance with the applicable subdivision regulations in effect when the subdivision was recorded along with any written approved variances). If a final plat for the subdivision where the improvements are located was never recorded, the improvements must meet the current applicable subdivision regulations subject to any approved variances.
- 7.7 At the end of construction of the subdivision, but prior to consideration of the release of the construction surety or the acceptance of substantial completion of the roads by the County; the Owner shall provide to the County a bond in the amount of 10% of the total cost of construction of the roads and drainage of the subdivision as determined by Commissioners Court. The security shall be non-cancellable and remain in full force and effect until the obligation is completed. This bond must be payable to the County Judge, or his successors in office, of Walker County, Texas, and must be provided by the owner. Upon receipt of the additional surety and the acceptance of the substantial completion of the improvements by the County Engineer and the Commissioners Court, the County will continue to inspect the infrastructure for failure, defect, or other issues related to

construction or materials for an additional one year . The surety will be released or reduced following the extended inspection periods as described, unless a failure of workmanship or materials, in the sole opinion of the Commissioners Court, has occurred. The Owner will be notified of any deficiencies and given the opportunity to repair such deficiencies. If the Owner does not provide repairs within 90 days, the bond may be used by the County to repair these deficiencies.

- 7.8 Following the extended inspection period detailed above, the Commissioners Court, at its discretion, may conduct a hearing to decide whether or not to accept the roads for public maintenance. The Commissioners Court is not obligated to accept any roads, drainage, or other improvements even when they meet the minimum criteria of these regulations, and may consider other factors related to the public benefit, including but not limited to, the benefits of maintenance and cost of maintenance, the number of dwellings or properties served by the roadways, and the benefits to countywide traffic when making this decision.
- 7.9 The enforcement of deed and plat restrictions are the responsibility of the Owner(s) of the subdivision. However, in the unincorporated areas of Walker County, and the Extraterritorial Jurisdiction, both the city and Walker County, shall have the right and authority to enforce plat restrictions through appropriate legal procedure. This requirement does not create an obligation or requirement on the part of the County or city to enforce any plat restriction unless, in the judgement of the city or County, the enforcement is in public's interest and deemed appropriate or necessary at the time of occurrence.
- 7.10 In the event that the roads and drainage infrastructure are accepted for public maintenance, the County will assume no responsibility for drainage ways or easements in the subdivision outside of the road right-of-way or adjacent easements. Maintenance and liability of improvements not directly related to the roadway and drainage ways, including but not limited to landscaping, illumination, sidewalks, utilities, water quality features, or any other improvements required by other governmental agencies shall not be the responsibility of the County unless specifically approved for maintenance by the Commissioners Court.

## Section 8 - Private Subdivisions

All new lots, including lots subject to an exception, must have lot frontages as required by these regulations. If an Owner intends to create a subdivision utilizing private roads, the Owner must receive a direct variance from Section 11 and Appendix B from Commissioners Court, submit a plat application in accordance with these regulations, and, at a minimum, meet the following requirements:

- 8.1 Private roads must meet all County road standards, except where specific variances have been granted by Commissioners Court for adequate cause in each case.
- 8.2 The title of the final plat for private subdivisions shall contain the phrase, "A Private Subdivision".
- 8.3 The subdivision plat and restrictions must contain a statement that Walker County will at no point be under any obligation to accept maintenance of the roads or associated drainage features, as the roads and associated drainage features were developed and approved, by request of the owner, specifically for private maintenance.
- 8.4 The plat must include a note identifying the entity referenced in the maintenance plan that shall be responsible for the on-going maintenance of the roads, rights-of-way, signage, drainage, gates, and other improvements within the subdivision.
- 8.5 The plat must include a note stating that any gates shall be accessible by emergency services personnel and all residents and landowners of the platted subdivision.
- 8.6 The subdivision plat must contain a statement that the entity referenced in the maintenance plan must ensure that the roads, rights-of-way, signage, drainage, gates, and other improvements shall be maintained to a standard that will allow emergency vehicles access for the roadway design speed in perpetuity.
- 8.7 The plat must contain a requirement that every deed contains a notice to the grantee that all roads are private and state the name of the entity that shall be perpetually liable for maintenance, that the County will never accept them for maintenance, and that the quality of the roads must be maintained as to not affect access by public service agencies such as police, fire, and emergency medical services.
- 8.8 All arterial roads must be dedicated to the public. Other roads must be dedicated to the homeowners association or other entity identified within the maintenance plan for the use of the property Owners, their assigns and successors, and emergency response agencies.
- 8.9 A sign must be placed at the entrance of the subdivision clearly stating that the roads in this subdivision are private roads. The location of this sign must be shown in the construction plans.
- 8.10 Any Owner that gates the entrances to the subdivision must provide either a crash gate or a lock box and a letter of approval from all of the affected emergency response agencies stating their approval of full-time access to and from the subdivision.
- 8.11 All road signs and signage in the subdivision shall be marked private and include design requirements as adopted by the County for public and private roads.
- 8.12 The County will not be responsible for providing traffic control enforcement within private subdivisions.



## Section 9 - Variances

- 9.1 A variance is a grant of relief to a property owner from strict compliance with these regulations. The intent of a variance is not to simply remove an inconvenience or financial burden that may result from compliance with applicable regulatory requirements. Variances are intended to help alleviate an undue hardship that would be caused by the literal enforcement of the subject ordinance requirements. Variances are intended to provide relief when the requirements of these regulations render construction or placement of improvements impractical or impossible because of some unique or special characteristic of the subject property itself.
- 9.2 The Commissioners Court of Walker County shall have the authority to grant variances to these Regulations when the public interest, improved design functionality, or the requirements of justice demands relaxation of the strict requirements of the rules.
- 9.3 Any person who wishes to receive a variance shall apply with the proper forms and fees to the Department of Planning and Development.
- 9.4 All variances must be applied for separately from and prior to the application to which the variance is applicable and shall include all applicable information necessary for the review of the variance. In cases where an applicant has received a variance a copy of the approved variance must be submitted with any application to which it applies in order for the application to be considered complete.
- 9.5 The decision of the Commissioners Court whether to grant or deny a variance is at its complete discretion and shall be final.
- 9.6 If a plat or variance is approved by the Commissioners Court or is approved with condition(s), documentation of the variance approval will be provided to the applicant following the approval of the Commissioners Court's minutes.
- 9.7 Unless the plat, plans, or construction is completed including any required contingencies, filing, and/or inspections, all variances granted will expire 3 years from the date they are granted unless a specific term is set by the Commissioners Court in its action on the variance or the variance is specifically extended in writing by Commissioners Court.

## Section 10 - Penalties

- 10.1 Section 232.005 of the Texas Local Government Code, as amended, provides for the enforcement of the state subdivision laws and of these Regulations.
- 10.2 A person commits an offense if the person knowingly or intentionally violates a requirement of these Regulations, including the Engineering Guidelines and other appendices incorporated herein. Such offense is a Class B Misdemeanor, punishable in July 2011 by (1) a fine not to exceed \$2,000; (2) confinement in jail for a term not to exceed 180 days; or (3) both such fine and confinement. (Texas Penal Code, Title 3, Ch. 12, Sec. 12.03, as amended).
- 10.3 A person may be jointly responsible as a party to an offense if the person (acting with intent to promote or assist the commission of the offense) solicits, encourages, directs, aids, or attempts to aid another person to commit the offense (Texas Penal Code, Title 2, Sec. 7.01, as amended). Thus, a real estate agent or broker, construction contractor, a lender, an attorney, a surveyor, an engineer, a title insurer, or any other person who assists in violating these Regulations may also face criminal penalties.
- 10.4 Besides prosecuting a criminal complaint, the County Attorney or other prosecuting attorney for the County may file a civil action in a court of competent jurisdiction to enjoin any violation or threatened violation of these Regulations and to recover damages.
- 10.5 A tract that has been subdivided without compliance with these Regulations will be ineligible to obtain a permit for the construction or modification of an On-Site Sewage Facility or the issuance of a Development Permit under the Walker County Floodplain Development, until such time as the tract has been brought into compliance.



## Section 11 - Minimum Lot Frontage

- 11.1 All lots, including those subject to an exception, must have a minimum frontage length, as described in Appendix B2.1, on an existing County road unless otherwise specifically allowed by these regulations.

# Appendix A - Platting Guidelines

As a guide to the public in determining when it is necessary to file a plat and comply with these Regulations (as amended), the Commissioners Court (as an incident of its power to enforce the subdivision laws and regulations under Chapter 232, Texas Local Government Code, as amended) has adopted the following policy guidelines stating when the division of an existing tract shall be considered by the Court to be a subdivision requiring the filing of a plat by law and/or compliance with regulations adopted under Chapter 232 authorizing the regulation of plats and subdivisions of land, and thus requiring compliance with these Regulations:

## A1 - Plat Required

A1.1 Unless otherwise specifically exempted in these regulations, the owner of a tract of land located outside the limits of a municipality must have a plat of the subdivision prepared and approved under these regulations if the owner divides the tract into two or more parts to layout:

1. a subdivision of the tract, including an addition;
2. Lots; or
3. streets, alleys, squares, parks, or other parts of the tract intended by the owner of the tract to be dedicated to public use.

A division of a tract includes division regardless of whether it is made by using a metes and bounds description in a deed of conveyance or in a contract for deed, by using a contract of sale or other executory contract to convey, or by any other means.

A1.2 If a plat is required under these guidelines, it is immaterial that the division of daughter tracts is by contract, option, lease, or lease-purchase, rather than by deed, or that the daughter tracts are described by metes and bounds rather than lot and block.

A1.3 If the subdivision is for a Condominium Development, and if two or more structures, portions of structures, areas, or spaces are offered for sale, rent or lease, then the subdivision shall comply in all respects with these Regulations and the Walker County Engineering Guidelines. If compliance is required, an application for plat approval of the proposed Subdivision shall be prepared and submitted to the Commissioners Court in accordance with the terms and procedures set forth in these regulations. The final plat must be filed and recorded with the Walker County Clerk. This section excludes Manufactured Housing Communities separately regulated under the Walker County Manufactured Home Rental Community Regulations.

A1.4 For the purpose of compliance with the Walker County Subdivision Regulations, any proposed RV Park or addition to any existing RV Park must comply with the minimum requirements of the current version of the Walker County Manufactured Home Rental Community Regulations. The requirements of said regulations must be applied to the RV Park in the same manner as they would to a Manufactured Home Rental Community. RV Park submittals must be submitted under the fee schedules and under the application requirements of the Walker County Subdivisions Regulations.

A1.5 Residential Rental Community submittals must be submitted under the fee schedules and under the application requirements of these regulations. For the purpose of compliance with the Walker County Subdivision Regulations, any proposed Residential Rental Community, or addition to any existing Residential Rental Community, must comply with the minimum requirements of the current version of the Walker County Manufactured Home Rental Community Regulations. The requirements of said regulations must be applied to the Residential Rental Community in the same manner as they would to a Manufactured Home Rental Community, except as follows:

1. All rental spaces shall comply with the frontage requirements of the Walker County Subdivision Regulations, in the same manner as if they were lots.
2. All rental spaces shall comply with the minimum and maximum depth to width requirements of the Walker County Subdivision Regulations, in the same manner as if they were lots.
3. All drainage design criteria shall comply with the Walker County Subdivision Regulations.

## A2 - Exceptions by Law

A2.1 A property that has frontage on a public street and whose boundary has not changed since February 1, 2000, is considered a legal lot, unless said tract is otherwise required to complete a replat under State law. *[Texas Court of Appeals, Elgin Bank v. Travis County]*

A2.2 In accordance with Section 232.0015, Texas Local Government Code, as amended, the filing of a plat is not required when the Owner does not lay out a part of the tract as described by Texas Local Government Code 232.001 (a)(3), and when the subdivision meets one of the requirements listed below (A2.2.1 – A2.2.8). In compliance with 232 Texas Local Government Code and these regulations and in order to qualify for exception, all daughter tracts must meet the minimum frontage requirements as required by these regulations, not be a part of a previously platted subdivision, and must apply for and file an approved affidavit of exception.

A2.2.1 All daughter tracts are greater than 10 acres. *[LGC § 232.0015(f)]*

A2.2.2 The land is to be used primarily for agricultural use, as defined by Article VIII, Section 1d, Texas Constitution, as amended, or for farm, ranch, wildlife management, or timber production use within the meaning of Art. VIII, Sec. 1-d-1, Texas Constitution, as amended. *[LGC § 232.0015(c)]* If a tract of land ceases to be used primarily for these uses, the Owner shall be required to comply with these Regulations on the same basis as any newly divided tract. *[LGC § 232.0015(d)]*

A2.2.3 A person makes a conveyance of four or fewer tracts, each of which is sold, conveyed, given, or otherwise transferred, to persons who are related to the Owner within the third degree of consanguinity (parent, child, grandparent, grandchild, sister, brother, great-grandparent, great-grandchild, aunt, uncle, niece, nephew) or affinity (the spouse of anyone listed above, or so related to the Owner's spouse) for their personal use. *[LGC § 232.0015(e)]*

A2.2.4 All daughter tracts are to be sold to veterans through the Veteran's Land Board Program. *[LGC § 232.0015(g)]*

A2.2.5 The Owner of the land is the State of Texas, an agency, board or commission of the State of Texas, or a permanent school fund or other dedicated fund of the State, and the Owner does not lay out any part of the tract for roads, parks, or other areas for the common use of two or more tracts or the use of the public. *[LGC § 232.0015(h)]*

A2.2.6 The Owner is a political subdivision of the State of Texas, the land is situated in a floodplain, and all lots are sold to adjoining landowners. *[LGC § 232.0015(i)]*

A2.2.7 The Owner divides the tract into two parts and one new part is retained by the Owner and the balance of the property is transferred to another person who will further subdivide the tract subject to the platting requirements herein. *[LGC § 232.0015(j)]*

A2.2.8 The Owner transfers all parts to persons who owned an undivided interest in the original tract and a plat is filed before any further development of any part of the tract. [LGC § 232.0015(k)]

- A2.3 All exemptions in this subsection must be approved in writing by the County Engineer and/or DPD prior to the division of the property. To claim any exemption, the person or entity who claims to be entitled to any exclusion to platting set out in these Guidelines must provide:
- A2.4 An affidavit claiming the exemption and setting out the detailed basis for exclusion from the platting requirement, subject to penalties of perjury.
- A2.5 A copy of the deeds or other instruments creating the daughter tracts referenced in the affidavit.
- A2.6 The division shall comply with any other applicable State or Local regulations including but not limited to on-site sewage and floodplain regulations.

## A3 - Additional Exceptions

The Commissioners Court has adopted the following additional policy guidelines stating the division of an existing tract may be considered exempt from the requirement to file a plat and may instead apply for and file an affidavit of exception. In order to qualify for an exception, all daughter tracts must meet the minimum frontage requirements as required by these regulations, not be part of a previously platted subdivision, and must apply for and file an approved affidavit of exception (A3.1-A3.11). Exception under A3.3 do not require tracts to meet the minimum lot frontage requirements.

- A3.1 Any tract whose boundary has not changed since February 1, 2000, may be sold in its entirety without being platted.
- A3.2 A plat is not required when daughter tracts are created solely for purposes of platting them as individual subdivisions in their own right, providing that each daughter tract has at least 125 feet of frontage on a publicly maintained road. The Owner must submit to the Court the preliminary plat for the project as a whole before claiming this exception.
- A3.3 A plat is not required when two or more adjacent landowners, or a single landowner owning two or more adjacent tracts, adjusts or changes the property lines that separate their (the) respective tracts, so long as there is the same number of tracts in existence before and after the transaction. This exemption applies whether the transaction requires an exchange of land by both Owners, or only a transfer of land from one Owner to the other, and whether the transaction takes the form of a sale or an exchange in kind. Any land added to a tract through such a transaction shall become an integral part of that tract, and may not be separately conveyed, except in compliance with the subdivision laws. Each resulting tract shall be subject to the minimum lot size requirements of these Regulations and other applicable laws. This exception does not apply if the adjustment will change the boundary between two legally platted lots or add or subtract land from a legally platted subdivision.
- A3.4 With the exception of exceptions under Section A2 and A3.3 (Adjacent Landowner) an exemption may not be exercised within five years of exercising another exemption.
- A3.5 A plat is not required when a smaller tract is surveyed out of the parent tract solely for the purposes of obtaining financing for purchase or improvement of that part of the property, provided that

possession and primary beneficial Ownership of the entire parent tract are intended to remain unified.

- A3.6 A plat is not required when a smaller tract is created by the legitimate foreclosure of a valid lien on a part of the parent tract. This provision does not exempt sham transactions or foreclosures staged to avoid the platting requirement.
- A3.7 A plat is not required if the property has been divided by the final decree of a court of record with appropriate jurisdiction.
- A3.8 A plat is not required for non-residential commercial and retail developments divided by lease into 2 or more separate spaces, not to exceed 60 months.
- A3.9 All exemptions in this subsection must be approved in writing by the County Engineer and/or DPD prior to the division of the property. To claim any exemption, the person or entity who claims to be entitled to any exclusion to platting set out in these Guidelines must provide:
- a) An affidavit claiming the exemption and setting out the detailed basis for exclusion from the platting requirement, subject to penalties of perjury.
  - b) A copy of the deed for the parent tract(s).
  - c) A copy of a survey or surveys sealed by a Registered Professional Land Surveyor of the proposed daughter tracts, and their general location in relation to the parent tract.

The division shall comply with any other applicable State or Local regulations, including but not limited to on-site sewage and floodplain regulations.

# Appendix B - Engineering Guidelines

## B1 - Graphic Requirements

- B1.1. Provide legible construction drawings, to an accurate scale, and provide a north arrow where applicable. Construction drawings shall be accurate, complete, and not conflict with the plat, specifications, or within the sheets. The plans and plat shall clearly present the proposed design for the development without magnification. Incomplete plan sets will be rejected.
- B1.2. The seal, date, and signature of the Professional Engineer responsible for the plans and calculations are required on each sheet developed by the design engineer, which shall be in accordance with the Texas Board of Professional Engineers and Licensed Surveyors Laws and Rules. Reports shall also include the seal, date, and signature of the responsible Professional Engineer.
- B1.3. Provide a cover sheet for projects involving three or more design plans, excluding detail sheets. Plan sheet numbers and titles must be listed on the cover sheet. Include a vicinity map to identify the project location. Show pertinent City Limits and ETJs on the vicinity map. If revisions occur after plan approval, list the revision(s) and associated sheet number(s) on the cover sheet of the plans and resubmit the plans for review and approval. Include the following notes on the cover sheet, when applicable:
- a. The design of this project will not negatively impact this property or adjacent properties/roadways.
  - b. Detention basins shall be constructed prior to placement of impervious cover.
  - c. Utilities and drainage within 2 horizontal feet of roadways shall be fully encased in a minimum of 6 inches of 2-sack cement stabilized sand.
  - d. The geotechnical investigation for this project was conducted per the latest edition of the Walker County Subdivision Regulations. Soils report was prepared by *[Geotechnical Engineering Firm]* Report No. *[No. of Report]*, dated *[Date of Report]*. All construction and materials testing, including but not limited to testing of right-of-way compaction, subgrade, base, asphalt, and concrete, shall be performed by an A2LA Certified Independent Testing Laboratory.
  - e. A mandatory Walker County Pre-Construction Conference shall be held at least 72 hours prior to construction. Contact Walker County Planning & Development to schedule the Walker County Pre-Construction Conference.
  - f. The Contractor/Engineer shall request a pre-pave inspection from Walker County Planning & Development 72 hours prior to paving, after the Engineer deems the project is ready for paving. The pre-pave request shall include a certification from the Engineer. Pavement placed without a "no objection" obtained from the County may jeopardize County certification and/or acceptance.
- B1.4. Each set of engineering plans shall contain paving and drainage key drawings, indexing specific plan and profile sheets.
- B1.5. Draw key overall layouts and drainage area maps to a minimum scale of 1" = 200'.
- B1.6. Provide plan and profile sheets with complete, clear stationing. Generally, stationing runs down the centerline of streets and is used for all improvements in and adjacent to the right-of-way. Plan stationing must run from left to right, except for short streets or lines originating from a major intersection, where

the full length can be shown on one sheet. Plan and profile sheets are not required for projects subject to the Walker County Manufactured Home Rental Community Regulations.

B1.7. Standard scales permitted for plans and profiles drawings are as follows:

- 1" = 20' Horizontal, 1" = 2' Vertical
- 1" = 40' Horizontal, 1" = 4' Vertical, or
- 1" = 50' Horizontal, 1" = 5' Vertical

The above scales are minimum; larger scales may be used to show details of construction.

B1.8. Make a statement on the cover sheet referencing assumed control coordinates.

B1.9. Each sheet of the plan and profile shall have a benchmark elevation and description defined. Projects in flood-prone areas shall be tied to the NAVD 1988 datum or the datum used for current FEMA maps. If the property lies below the base flood level, the floodplain must be delineated graphically on all plan sheets.

B1.10. If a roadway exists where plans are being prepared to improve or construct new pavement or a utility, label the existing roadway width, surfacing type, and thickness.

B1.11. Show all street and road alignments on plans.

B1.12. Show and label proposed pavement and ditches, typical cross-sections, details, lines, and grades, existing topography within the street right-of-way, and any existing or proposed easement. At the intersection, the cross-street details shall be shown at a sufficient distance (20-foot minimum distance outside the primary roadway right-of-way) in each direction along the cross-street for designing adequate street crossings.

B1.13. Match lines between plan and profile sheets shall not be placed or shown within cross-street intersections including cross-street right-of-way.

B1.14. A drainage area map shall be submitted and shall include drainage computations with drainage area and storm water flow labeled.

B1.15. Basic plan and profile sheets shall contain the following information:

- a. The profile vertical scale shall be 1/10th the horizontal scale.
- b. The plan view and profile view shall be on the same sheet whenever practical.
- c. All existing and proposed utilities and pavement shall be on the same plan and profile sheet for a given section.
- d. Identify lot lines, property lines, easements, rights-of-way, and outfalls.
- e. Label each plan sheet as to street/easement widths, pavement widths, pavement thickness where applicable, type of roadway materials, curbs, intersection radii, curve data, stationing, existing utilities (type and location), and any other pertinent feature affecting design. The minimum text size shall be 0.08 inches.
- f. Show water, sewer, paving, and drainage design in and adjacent to right-of-way on the same plan and profile sheets. Graphically show and label flow line elevations, slopes, and direction of flow for ditches.
- g. Show and label all ditches, swales, culverts, headwalls, erosion control, detention ponds, and any other drainage structures or facilities.



- h. Show and label floodplains.
  - i. Label proposed top of curb grades except at railroad crossings. Centerline grades are acceptable only for paving without curb and gutters.
  - j. Show in profile curb return elevations for turnouts.
  - k. Show existing and proposed station median noses or the centerline of median openings, including median width.
  - l. The design of both roadways is required on paving sections with a median.
  - m. In plan view, show station PCs, PTs, and radius returns. Show in profile station radius returns and grade change PIs with their respective elevations.
  - n. Show all water and sewer service leads in plan view.
  - o. Specify the rim and all flow line elevations at all inlets and junction boxes. Locate inlets within 5 feet of lot lines.
  - p. In profile view, show all storm sewer and label length, grade, material, and size.
  - q. In profile view, show and label existing ground profiles at both right-of-way lines.
  - r. The location of all existing and proposed water bodies on or immediately adjacent to the subject property.
- B1.16. All plan revisions made after final plan approval, including as-built revisions, shall be signed and sealed by a registered engineer, including a date that reflects the plan revision date. The revisions issued after the plan approval shall be clouded.

## B2 - Lot, Utility Easement, and Setback Requirements

### B2.1. Lots shall have minimum frontages as follows:

A minimum frontage of 125 feet is required for all open ditch roads unless the lot complies with the applicable standard for flag, knuckle, or cul-de-sac lots.

The minimum frontage for all other lots is 80 feet unless the lot complies with the applicable standard for flag, knuckle, or cul-de-sac lots. Lots shall have a minimum depth of no less than 160 feet.

### B2.2. Lots shall have a maximum depth no greater than three times the frontage of the lot, with the exception of cul-de-sacs, knuckles, and flag lots.

### B2.3. Flag lots shall have a minimum staff width of 50 feet, and no portion of the lot shall have a width of less than 50 feet. The depth of the flag shall not exceed three times the average width of the flag. The average width shall be calculated as the average of the frontage and the back lot line widths. No more than two consecutive flag lots can adjoin.

### B2.4. Lots with frontage along a cul-de-sac or knuckle shall have a minimum frontage of 50 feet. The depth of the lot shall not exceed three times the average width of the cul-de-sac or knuckle lot. The minimum average width shall be the same as the required frontage. For lots along cul-de-sacs and knuckles, the average width shall be calculated as the average of the frontage and the back lot line widths.

### B2.5. For determining the area required for an on-site sewage facility, the minimum lot size shall be in accordance with the current regulations of Walker County, the Texas Commission on Environmental Quality, or the Authorized Agent having jurisdiction, whichever regulation is most stringent.

### B2.6. The minimum building setback line on arterial roadways shall be 50 feet from the edge of the right-of-way.

### B2.7. The minimum building setback line on all collector and local roads shall be 25 feet from the edge of the right-of-way.

The right-of-way shall be used for the purpose of paving and maintaining streets and installing, containing, and maintaining storm sewers. Any additional utilities will require a separate utility easement outside the street rights-of-way, with the exception of fire hydrants and water valves that are located either 5 feet from the edge of the road or on the high bank of the ditch's backslope, whichever is furthest from the edge of the road. Fire hydrants and water valves shall not be located in such a way as to obstruct the maintenance of public improvements or designed/constructed drainage capacity or flows.

### B2.8. Where a subdivision is made on an existing publicly maintained road and there are existing utilities in place, see section B4.13(2).

### B2.9. All roads, public and private, shall have a minimum 20-foot utility easement adjacent and parallel to the road right of way. Public roads shall have a public utility easement. Private roads have the option of using private utility easements. Where a utility easement overlaps a public drainage easement, the utility easement shall extend a minimum of 10 feet outside the drainage easement (excluding "box easements"). The utility provider may require additional width, and utilities shall not be located within the public drainage easement except for perpendicular crossings.

### B2.10. With the exception of "Private Subdivisions," the plat shall provide a public drainage easement, sufficient to contain the designed and constructed roadside ditches parallel and adjacent to the public

right of way. Additionally, the plat shall provide for a minimum 30-foot-by 30-foot "box" drainage easement adjacent to the right-of-way, upstream and downstream of each culvert where it crosses a street. All public drainage easements shall be noted on the plat as "D.E.", and the notation shall be included in the legend.

B2.11. Easements shall be provided, where necessary, for all drainage courses in and across the property to be platted. The location and width shall be shown on the plat and marked "Private Drainage Easement" or "Private Drainage and Underground Utilities Easement". In general, a "Private Drainage Easement" shall be a minimum of 20 feet in width when it is not parallel to a public right of way. All drainage easements shall be located in such a manner as to be locatable on the ground. Owner is responsible for the maintenance of private easements. See B12.12.c for storm sewer easement requirements. All Private Drainage Easements shall be noted on the plat as "P.D.E." and the notation shall be included in the legend. P.D.E.s are also required for lot-to-lot drainage within Urban Subdivisions.

B2.12. The following roads are designated as arterial roadways. The Commissioners Court may specify additional roadways upon recommendation by the County Engineer:

*All roads maintained under the State or Federal system of Roads including but not limited to roads designated as Farm to Market Roads, State Highways, Interstate Highways, and United States Highways.*

B2.13. If the building setback lines, as stated above, conflict with the setback requirements adopted by a municipality, the municipal requirements shall prevail if they are in the ETJ of the municipality.

## B3 - Road Alignments

- B3.1. New roadways that do not connect to an existing publicly maintained road will not be approved without a specific variance.
- B3.2. An internal road system that minimizes driveways and cross-streets to existing County or other public roadways is required. Lots bordering on an existing arterial road shall have access to an internal, platted road, and the final plat shall contain a restriction requiring driveways to connect only to an internal, platted road.
- B3.3. Road Intersections
  - B3.3.1. Roads shall be designed and constructed to intersect with each other at 90 degrees, plus or minus 10 degrees. The acute angle of the intersection shall have a 30-foot minimum radius for both the right-of-way and paving.
  - B3.3.2. At a "T" intersection, where a street has not been improved to its ultimate width, the pavement shall be stopped at either the right-of-way line or the end of curve return.
  - B3.3.3. The minimum offset between road intersections shall be 200' (centerline to centerline).
- B3.4. Points of Access
  - B3.4.1. Developments that exceed 40 dwelling units shall be provided with two separate and approved access roads. Exception: Where there are 41 to 149 lots or dwelling units, a single access point will be permitted if that access provides a 40-foot wide travel way. A dwelling unit is defined as a single unit of residence for a family of one or more persons.
  - B3.4.2. Where two access roads are required, they shall be placed a distance apart equal to, but not less than, one-half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between access points.

## B4 - Minimum Road Design Requirements

- B4.1. Unless otherwise stated in these Regulations, all roads shall be designed and constructed in accordance with 2024 TxDOT Standard Specifications.
- B4.2. Subdivisions of thirty (30) lots and less, being out of the parent tract, that utilize frontage or access along existing publicly maintained roads, are not required to improve existing roadways but shall dedicate right-of-way out of the parent tract based on an acceptable alignment. If more than 30 lots in the proposed subdivision have frontage on an existing public right of way, the existing public street shall be improved along the frontage to meet the requirements of these Regulations. Any lot with frontage on an open ditch roadway shall be 1 acre in size and have a minimum frontage of 125 feet, or in the case of cul-de-sac, knuckle, and flag lots, meet the applicable frontage standard detailed in these regulations. See Section 5 for frontage exceptions related to replats and amending plats.
- B4.3. Lots intended to access future roads will not be approved.
- B4.4. For purposes of this Appendix, ADT shall be defined as the anticipated average daily traffic at the time of complete build-out of the subdivision, including any future development that may be served by a given road. For planning purposes, it shall be assumed that single-family residential lots will generate a minimum 9.44 ADT. If an area of future development consists of ½ acre or more, it shall be assumed that such development will produce an ADT of 57 per acre, unless there is a note prohibiting future subdivision and limiting the lot to single-family residential construction.
- B4.5. Areas of future development with residential, commercial, or unspecified land use (including reserves or residuals) must have separate and independent access from that of the streets within the proposed development and may not be connected to street within the development, unless road design and construction within the proposed development meet the applicable standard for the average daily trips for ultimate buildout of the residential, commercial, or unspecified land use.
- B4.6. Roadways shall be classified as Arterial, Collector, or Local Streets and conform to Table B4.1.

**Table B4.1 Roadway Design Standards**

Street Classification <sup>(1)</sup>		Projected Volume per Day <sup>(2)</sup>	Min. Number of Travel Lanes (Min. 12' Wide)	Min. Center Lane Width (ft)	Min. Paved Shoulder Width (ft)	Is Curb & Gutter <sup>(3)</sup> Required	Min. Pavement Width <sup>(4)</sup> (ft)	Min. Right-of-Way Width (ft)	Min. Design Speed (MPH)	Min. Design Storm <sup>(5)</sup> (Yr)
Arterial	Rural	12,000+	2	14	6	No	50	100	45	10
	Urban	12,000+	4	20		Yes	69	100	45	10
Collector	Rural	6,000-11,999	TO BE DETERMINED BY COMMISSIONERS COURT <sup>(6)</sup>						40	10
		2,000-5,999	2		2	No	28	80	40	10
	Urban	6,000-11,999	2	14	8 <sup>(7)</sup>	Yes	55	80	40	10
		2,000-5,999	2		8 <sup>(7)</sup>	Yes	41	60	40	10
Local	Rural	< 2,000	N/A			No	26	70	35	10
	Urban	< 2,000	N/A			Yes	32	50	35	5
Low	Rural	< 190 <sup>(8)</sup>	N/A			No	22	60	35	10

**Notes:**

- (1) Refer to Section 2 for Rural and Urban definitions.
- (2) Roads with a projected volume over 6,000 trips per day shall have striping.
- (3) If curb and gutter is not required, the developer can choose to install curb and gutter in lieu of shoulders. Standard 6" concrete curbs and 4"x12" rollover curbs are permitted. Within urban single-family residential subdivisions where residential lots have frontage, 4"x12" rollover curbs are required. Asphalt will not be permitted on curb and gutter roadways. Refer to Appendix G for details.
- (4) For curb and gutter pavement sections, this measurement is from back of curb to back of curb.
- (5) Culverts under streets shall be designed and installed per Appendix B.12.
- (6) The developer shall provide an engineer's recommendation, land plan, TIA, and typical cross-section based on traffic volume. The 80-foot minimum right-of-way width must be justified based on site conditions and roadway width.
- (7) The paved shoulder on Urban Collectors is a parking lane.
- (8) Must be in a rural development consisting of only one street that is less than 1,000 linear feet in total length.

**B4.7.** Refer to Appendix F for typical roadway cross-sections, Appendix G for curb and gutter details, and Appendix H for concrete pavement details.

**B4.8.** Residential lots shall not have direct access to arterial roads.

**B4.9.** If the Collector road is included in a roadway or transportation plan, the right-of-way and pavement cross-section shall be as required in the plan.

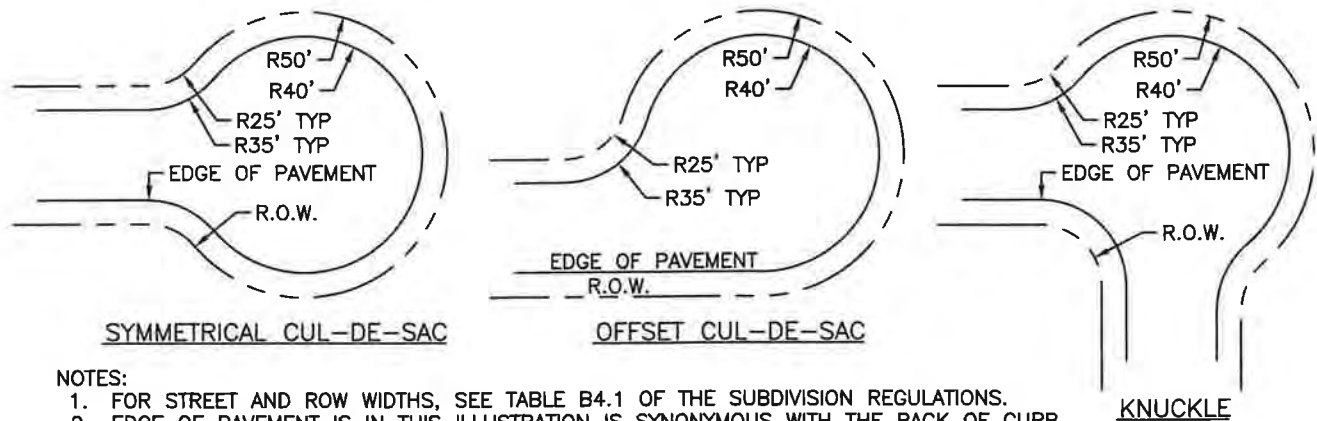
**B4.10.** Local roads shall be designed as follows:

- a. Developer can choose to install curb and gutter in lieu of shoulders on local roads. Standard 6" concrete curbs are permitted. Rollover curbs (4"x12") are permitted in single-family residential subdivisions where residential lots have frontage.
- b. Block length shall not exceed 1,250 feet (centerline to centerline) for urban lots and 2,500 feet for rural lots; the minimum distance shall be 200 feet. Exception: developments with a minimum of 5-acre lots may have up to 5,000-foot block lengths.

**B4.11.** The following standards apply to all roads:

- a. Pavement striping shall comply with the Texas Manual on Uniform Traffic Control Devices.
- b. Provide steel casing or C900 DR 18 PVC casing on all water and sanitary sewer crossings under proposed arterial and collector streets. Casing shall extend a minimum of 5 feet beyond outside the edge of the pavement. Steel casing shall have a minimum wall thickness of 0.375 inches, rolled steel type. Spiral steel will not be allowed. Exemption: service leads are not required to be cased.
- c. All utility installations shall comply with Texas Administrative Code, Title 43, Part 1, Chapter 21, Subchapter C.

- d. All pipeline installations shall be reviewed and approved by Walker County. Where utilities cross pipelines, signage shall be installed where the utility crosses the pipeline's easement line, one foot outside of the easement. The sign shall note the type of utility crossing the pipeline (i.e., water, sewer, storm, gas, etc.).
- e. Roads shall be dedicated to the public except as indicated in Section 8. The Owner may dedicate the right of way or an easement for road, drainage, and utility purposes, at the Owner's option.
- f. Accepted roads must have driveways that meet Walker County standards. The most restrictive criteria shall apply.
- g. Driveways shall comply with the Regulations for Walker County Driveway Permits, Design, and Materials.
- h. Where concrete curb and gutter are constructed, they shall be constructed per 2024 TxDOT Specification Item 529.
- i. Loops, being a single street connecting to the same street on each end, shall not exceed 2,500 feet for urban streets and 5,000 feet for rural streets. Exception: developments with a minimum of 5-acre lots may have up to 10,000 linear-foot loops.
- j. Dead-end streets shall not exceed 1,250 feet for urban streets and 2,500 feet for rural streets unless a future extension is planned. Exception: developments with a minimum of 5-acre lots may have up to 5,000 linear-foot dead-end streets.
- k. Manholes shall not be located in or under the street pavement.
- l. The minimum grade for all roads shall be 0.5% and the maximum grade shall be 7%.
- m. Curb and gutter roads shall have a minimum 1% fall around intersection turnouts for a maximum radius of 35 feet. Grades for larger radii shall be determined on an individual basis.
- n. The minimum street intersection radii shall be 25 feet. The minimum cul-de-sac and knuckle radii requirements are as follows:



- o. All roads shall maintain a height clearance of at least 14 feet.
- p. Provide a vertical curve anywhere the algebraic difference between grades exceeds one percent. Specify the PI station and elevation, and specify the K Value. Design curves in accordance with the TxDOT Roadway Design Manual.



- q. Local Roads may have a minimum centerline radius of 300 feet or more as long as minimum sight distance requirements are met. Local Roads that do not have a minimum centerline radius of 300 feet, Collector Roads, and Artillery Roads shall be designed in accordance with the 2024 TxDOT Roadway Design Manual. The minimum tangent on reverse curves between points of curvature shall be 50 feet.
- r. Provide a cut back a minimum of 15 feet from the point where the street right-of-way lines would intersect to provide a visibility triangle. A 25-foot radius at intersecting right-of-way lines is also acceptable.
- s. A permit, encroachment agreement, or letter of no objection from the pipeline company, is required when paving is placed over transmission pipelines. Whenever possible, roadway crossings of pipelines shall be avoided or minimized by design, and perpendicular crossings are required. All existing utilities crossing proposed streets shall meet the minimum TxDOT utility crossing criteria, including but not limited to the requirements of TAC Chapter 21.
- t. In new subdivisions, the Owner shall install cluster mailboxes at the location(s) approved by the US Postal Service. The placement of individual or cluster mailboxes along arterial and collector roads shall not be permitted in new subdivisions unless specifically approved by the Commissioners Court. Mailboxes shall not encroach on/over sidewalks or other public walks or ways in the County right-of-way. Mailboxes shall be installed in accordance with applicable postal regulations. Individual and cluster mailboxes shall not be installed in such a way as to negatively impact road or drainage capacity, design, or function.
- u. All pavements are to be designed by a Registered Professional Engineer. The design shall be based on a minimum 20-year design life and in conjunction with recommendations based upon a soils report of samples taken along the proposed roadways. Test borings shall be placed at a maximum spacing of 500 feet or other sampling frequency approved by the County Engineer based on recommendations provided by the geotechnical engineer. The soils report and pavement design shall be submitted to the County Engineer for review. The pavement design must be approved by the County Engineer prior to or concurrently with the review and approval of the construction plans. In addition to the basis of the pavement design, the soils report shall contain the results of sampled and tested subgrade for plasticity index, pH, sulfate content, and maximum density.
- v. Provide a Traffic Control Plan in accordance with the Texas Manual on Uniform Traffic Control Devices.

**B4.12. The following requirements apply to dead-end roads and cul-de-sacs:**

- a. Dead end roads having a throat length longer than 150 feet shall have a cul-de-sac with a minimum right-of-way radius of 50 feet (40 feet minimum pavement radius to face of curb/edge or edge of pavement). A cul-de-sac is not required on dead-end streets that have a throat length of 150 feet or less.
- b. "No Outlet" signs must be placed at the entrance to the dead-end road, even if the road is planned to be extended in the future.
- c. Dead end roads that end at undeveloped property must be extended to the property line. At the terminus, a temporary cul-de-sac shall be provided for all such streets having a throat length more than 150 feet, constructed in accordance with the requirements of this Appendix. Hammerhead design will not be allowed; however, alternate designs, such as landscape center islands, may be considered by the County Engineer to ensure a sufficient turnaround area is provided.

- d. For all temporary cul-de-sacs, provide a minimum easement radius of 50 feet (40 feet pavement radius to face of curb/edge or edge of pavement). Temporary easements shall be established for the portions of the cul-de-sac that lie outside of the road right-of-way. Such easements that lie within the plat boundary shall be shown on the final plat. Easements that lie outside the boundary of the plat may be in the form of a separate document but must be recorded prior to the construction of any roadway improvements or final plat approval. The plat or easement document shall include a note stating the easement shall automatically terminate upon the date a plat or other appropriate instrument has been recorded that publicly dedicates a road extension.
- e. Standard TxDOT barricades shall be placed at the end of all dead-end roads not terminating in a cul-de-sac.

#### B4.13. Additional Right of Way for Existing Roads

When a subdivision is adjacent to an existing road, the DPD or County Engineer shall determine the right-of-way width that will be necessary for the maintenance and improvement of the existing road. If the existing road is an Arterial roadway, as defined herein, the Owner shall dedicate to the public up to 100 feet in the overall width of the right-of-way, as determined by Commissioners Court. The Owner shall dedicate an easement for the road, drainage, and utility purposes. No utilities, debris, landscaping, irrigation, sidewalks, illumination, water quality features, or other improvements not related to roads and drainage shall be located within the public rights-of-way, unless the Commissioners Court has granted a specific variance, with the following exception:

- 1) fire hydrants that are located either 5 feet from the edge of the road or on the high bank of the ditch's backslope, whichever is furthest from the edge of the road. Fire hydrants shall not be located in such a way as to obstruct the designed/constructed drainage capacity or flows.
- 2) Where a subdivision is made on an existing publicly maintained road, there is no new construction of road and drainage infrastructure required, and there are existing utilities in place, they do not have to be relocated at the time of the plat. This does not preclude the County or other public agency from requesting the utility to be relocated at a future date where a right exists, nor exclude future action by the County or public agencies related to the relocation or construction of the utilities. No landscaping, irrigation, sidewalks, illumination, water quality features, or other improvements not related to roads and drainage shall be located within the public rights-of-way unless the Commissioners Court has granted a specific variance.
- 3) perpendicular utility crossings.

#### B4.14. A traffic impact analysis is required if any of the criteria below is met:

- a. Volume per day is 6,000 or greater
- b. All developments located within 500 feet of the intersection of two or more arterial and/or collector streets with an overall footprint in excess of 5 acres
- c. New school construction
- d. Shopping centers with gross square footage in excess of 100,000 square feet
- e. TxDOT requires analysis
- f. There are more than 150 peak hour trips

## B5 - Construction – General

- B5.1. A preconstruction meeting must be scheduled and held prior to the start of construction, and a construction schedule shall be included in the request for a preconstruction meeting. The applicant's Engineer, Applicant, Contractor, Subcontractors, DPD, and County Engineer shall attend this meeting.
- B5.2. All roads are to be constructed in accordance with the construction documents associated with the approved plans and in accordance with the specifications found in the Walker County Subdivision Regulations and the 2024 version of the "Texas Department of Transportation Standard Specifications for Construction of Highways, Streets, and Bridges."
- B5.3. It is the responsibility of the applicant's certifying licensed engineer to ensure that work is performed in accordance with the approved plans. Monitoring by the certifying engineer shall be performed throughout the construction project for all operations.
- B5.4. All materials (including but not limited to right-of-way compaction, subgrade, base, asphalt, and concrete) must be sampled and tested by an A2LA Certified Independent Testing Laboratory to show compliance with Subdivision Regulation specifications and in accordance with the construction documents approved by Commissioners Court. The Owner shall pay for all testing services and shall furnish the County Engineer with certified copies of all test results related to paving and drainage, including failures. The County Engineer must offer a "no objection" to the test results prior to constructing the next course of the roadway structure. If the owner has testing performed in accordance with these standards and has approval of the certified lab and the owner's engineer, the owner may submit testing results for subgrade following the placement of base material. Any material that does not meet the minimum required test specifications shall be removed, re-compacted or replaced, and retested unless alternative remedial action is approved in writing by the Commissioners Court.
- B5.5. All utilities installed in the public right-of-way shall comply with State and Federal regulations.
- B5.6. Construction oversight shall comply with the current, approved Construction Examination Guidelines.

## B6 - Subgrade

- B6.1. The preparation of the subgrade shall follow standard engineering practices as directed by the County Engineer in conjunction with recommendations outlined in the geotechnical report. When the Plasticity Index (PI) is greater than 15, a sufficient amount of lime shall be added as described in Item 260 of the 2024 edition of the TxDOT Standard Specifications for Construction until the PI is less than 15. Carbide lime treatment is not permitted. If the addition of lime as described in Item 260 is not feasible, an alternate stabilizing design shall be proposed and submitted to the County Engineer for consideration. The subgrade shall be prepared and compacted to achieve a dry density per TxDOT Items 132 and 260.
- B6.2. Proof-rolling is required to be performed prior to chemical treatment per TxDOT Item 216.
- B6.3. The subgrade shall be inspected and approved by the developer's engineer and an A2LA Certified Independent Testing Laboratory, and a certified copy of all inspection reports shall be furnished to the County Engineer. All density test reports shall include a copy of the worksheet showing the percentage of the maximum dry (Proctor) density.
- B6.4. The testing laboratory's representative shall determine the Moisture-Density Relationship in accordance with ASTM D698, on material secured from the roadway or borrow source, for each type of material encountered or used.
- B6.5. The applicant's certifying engineer shall provide the County Engineer the recommended number and location of all subgrade tests and obtain a "no objection" from the County Engineer

## B7 - Base Material

- B7.1. Base material shall conform to Item 247 of the 2024 edition of the TxDOT *Standard Specifications for Construction and Maintenance of Highways, Streets, and Bridges*, "Flexible Base". The base material shall be Type A, Grade 1 or 2, or as approved by the Commissioners Court.
- B7.2. Each layer of base course shall be tested for in-place dry density and measured for compacted thickness. The applicant's certifying engineer shall provide the County Engineer the recommended number and location of all base test samples and obtain a "no objection" from the County Engineer.
- B7.3. The base shall be prepared and compacted to achieve a minimum of 95% of the maximum (Proctor) dry density or as approved by the County Engineer upon recommendation by the testing laboratory. The maximum lift shall not exceed eight inches.
- B7.4. The base must be inspected and approved by an Independent Testing Laboratory and a certified copy of the test results furnished to the County Engineer for approval. Prior to the placement of the first lift of base, the stockpile shall be tested for the specifications found in Item 247 Table 1 and the result furnished to the County Engineer for approval. Determine roadway density and moisture content of completed sections in accordance with Tex-115-E.

## B8 - Bituminous Pavement

- B8.1. Roads require an absolute minimum 2-inch wearing surface of HMAc Type D in conformance with 2024 TxDOT Specification Item 341 and all other applicable items.
- B8.2. The mix shall be from a TxDOT-certified plant. The mix design shall be submitted to the County Engineer for approval prior to placement of the material.
- B8.3. Contractor's Quality Control (CQC) test reports shall be submitted to the County Engineer daily. As a minimum, daily CQC testing on the produced mix shall include Sieve Analysis TEX-200-F, Asphalt Content TEX-210-F, Hveem Stability TEX-208-F, Laboratory Compacted Density TEX-207-F, and Maximum Specific Gravity TEX-227-F. Each HMAc course shall be tested for in-place density, bituminous content, and aggregate gradation, and shall be measured for compacted thickness.
- B8.4. Unless otherwise directed or approved by the County Engineer, testing shall be conducted on a minimum of three locations per each paving pass, one located within 50 feet of the start of each pass, one located within 50 feet of the end of each pass, and at least one per 300-feet of paving. Test locations shall be at least two feet clear of joints and pavement edges. Core samples shall be at least four inches in diameter for Type D HMAc.

## B9 - Concrete Pavement

- B9.1. Portland cement concrete pavement is required for curb and gutter roadways and may be used on streets with roadside ditches. Concrete pavement shall be in conformance with 2024 TxDOT Specification Item 360 and all other applicable Items. The mix shall be from a TxDOT certified plant. The mix design shall be submitted to the County Engineer for approval prior to placement of the material.
- B9.2. The following are the allowed minimum requirements, minimum thickness and reinforcement requirements for concrete pavement. Refer to Appendix H for concrete pavement details. Pavement thickness and reinforcement shall be designed by the Professional Engineer responsible for the project and be based on a current soils analysis and recommendations by a qualified geotechnical engineer. Pavement design, based on soils analysis, use, loading, and life span, may require greater thickness and more reinforcement than the minimum required.
- a. For pavement widths less than, or equal to, 32 feet B/B of curb, minimum concrete slab thickness shall be 6 inches for  $f_c' = 4,000$  psi and minimum reinforcement shall be Grade 60,  $f_y = 60,000$  psi, #4 deformed reinforcing bars spaced at maximum 36 inches center to center transversely and maximum 18 inches center to center longitudinally, and minimum lap length of 22 inches. Expansion joints shall be placed at the end of each curb return, and at a maximum spacing of 60 feet. The minimum stabilized subgrade thickness shall be 6 inches.
  - b. For pavement widths greater than 32 feet B/B of curb, the minimum concrete slab thickness shall be 8 inches for  $f_c' = 4,000$  psi, and minimum reinforcement shall be grade 60,  $f_y = 60,000$  psi, #5 deformed reinforcing bars, maximum 36 inches center to center transversely and maximum 24 inches center to center longitudinally, and minimum lap length of 27 inches. Expansion joints shall be placed at the end of each curb return at a maximum spacing of 60 feet. The minimum stabilized subgrade thickness shall be 8 inches.
- B9.3. Concrete headers shall be placed at the end of all concrete pavements.
- B9.4. All concrete pavement to be removed/repared shall be removed to either the existing joint or a sawed joint.



## B10 - Concrete – General

- B10.1. Unless otherwise specified, concrete shall be in accordance with Item 421 of the current edition of the TxDOT Standard Specifications for Construction and be placed in accordance with the applicable item.
- B10.2. All concrete shall be tested for compressive strength. One set of three concrete test cylinders shall be molded for every 50 cubic yards of concrete placed for each class of concrete per day, or at any other interval as determined by the County Engineer. A slump test shall be required with each set of test cylinders. One cylinder shall be tested for compressive strength at an age of seven days, and the remaining two cylinders shall be tested at 28 days of age.

## B11 - Road Names, Signs, and Markers

- B11.1. All roads shall be named, with prior approval for said name from the Walker County 911 Addressing Coordinator. Roads must be named in a manner to avoid confusion in identification. Roads that are extensions of existing roads must carry the names of those in existence. The Owner shall provide the Coordinator with two digital files of the plat. One file shall be in an Adobe .pdf format, and the other file shall be in an AutoCAD .dwg format georeferenced to NAD 1983 State Plane Grid Coordinate System, Texas Central Zone (4203), with the drawing in US feet. The road names shall be displayed on standard intersection road marker signs erected by the Owner in compliance with the TxMUTCD "Street Name Signs" and at the locations, as indicated on the construction plans.
- B11.2. Traffic control signs (such as stop, yield, and speed limit signs) shall be installed by the Owner of said subdivision in compliance with the TxMUTCD and at the locations as indicated on the approved construction plans. Other traffic control signs, as shown on the construction plans, shall be installed to indicate any unusual traffic or road hazard or conditions that may exist. All traffic control devices shall be placed in compliance with the TxMUTCD and the construction cost shall be borne by the Owner.
- B11.3. A speed limit of 30 mph for local roads, 35 mph for collector roads, and 45 mph for arterial roads within all platted subdivisions are hereby adopted. This limit may be changed only by Commissioners Court upon the basis of an engineering and traffic investigation showing that the prima facie maximum reasonable and prudent speed for a particular road (or part of a road) should be different. The placement of a stop sign or a yield sign on the minor road at intersections shall be evaluated on a case-by-case basis in accordance with the TxMUTCD.
- B11.4. For any road that is proposed to be extended in the future, a minimum of five metal channel posts, equally spaced, shall be placed at the end of the road. Each post shall have an 18"x18" red diamond object marker sign (type OM-4 per TxMUTCD) placed four feet above the existing ground.
- B11.5. A future road extension sign shall be placed at the end of all roads and temporary cul-de-sacs that are proposed to be extended in the future. The sign shall state the following: Future Extension of <name of road>.
- B11.6. Signage that differs from the standard signage that is maintained by the County shall be maintained by the Owner. The signage shall be maintained in such a fashion to comply with the TxMUTCD requirements.
- B11.7. Public road name signs shall be green with white lettering. Private road name signs shall be brown with white lettering.

## B12 - Drainage

- B12.1 Drainage infrastructure design and supporting calculations shall be completed by a Registered Professional Engineer, shall be in accordance with the most conservative methods described in the City of Huntsville Engineering Design Criteria Manual and TxDOT's Hydraulic Design Manual unless otherwise specified in this section, and shall conform to standard engineering practices and procedures. Roads shall not be used as drainage courses, except for extreme event sheet flow or where drainage is conveyed directly to inlets, without crossing streets or intersections. All data and supporting calculations must be presented to the County Engineer as part of the construction plans.
- B12.2 If the County accepts maintenance responsibility, the County's maintenance responsibility will be limited to only public drainage improvements that are located within the road right-of-way or parallel and adjacent to the right-of-way. Maintenance responsibility for all other stormwater management controls will remain with the Owner(s) or a designated Property Owner's Association. Drainage improvements associated with private drainage features, such as detention basin outfalls, are considered private and will also be the responsibility of the Owner(s) or a designated Property Owner's Association.
- B12.3 Easements shall be provided for all drainage courses in and across the property to be platted. The location and width shall be shown on the plat and marked Private Drainage Easement ("P.D.E.") or "Private Drainage and Utilities Easement". In general, a P.D.E. shall be designed to convey the 100-year flow and be a minimum of 20 feet in width when the easement is not parallel to a public right of way. Lot-to-lot drainage within Urban Subdivisions shall be located within a designed P.D.E., and it may be exempt from the minimum 20-foot width requirement. All drainage easements, private and public, shall be located in such a manner as to be locatable on the ground. Owner is responsible for the maintenance of private easements. See B12.12c for storm sewer easement requirements.
- B12.4 Provide a minimum 30-foot-by 30-foot drainage easement adjacent to the right-of-way, upstream and downstream of each culvert where it crosses a street.
- B12.5 Drainage infrastructure design shall be supported with a legible drainage area map that includes labeled contours, flow arrows, delineated onsite and offsite drainage areas, drainage area acreage, computed peak flow rates, and all existing and proposed drainage infrastructure clearly labeled.
- B12.6 Provide a culvert schedule noting the size, minimum slope, and quantity of all driveway culverts on a sheet with an overall layout of the development.
- B12.7 Both a plan and profile views shall be shown in the construction plans for all proposed drainage infrastructure. Each plan and profile shall show the design flow, velocity, invert elevations, and the hydraulic grade line for the design storm.
- B12.8 Detention Facilities
- a. Detention ponds shall be designed and constructed to mitigate the increased rate of runoff discharged from the platted area in order to meet or reduce the rate of discharge of the watershed, at the release point of the development, to its pre-developed state. Detention ponds shall be maintained by the Owner(s) or a designated Property Owner's Association. Mitigation without detention based on an engineering timing analysis cannot be used to meet this requirement. A variance may be allowed when the Owner can demonstrate that downstream properties will not be adversely affected.
  - b. The detention design for all onsite and offsite detention ponds shall be submitted with each engineering plan submittal and shall not be located within a right-of-way or utility easement.

- c. Offsite detention ponds shall be located in a dedicated easement, and the associated private drainage easement shall be shown on the recorded plat. Variances are required for offsite detention basins, when located on the parent tract, outside of the platted boundary.
- d. When a development is planned to be separated into several sections, a master drainage and detention plan will need to be provided that indicates that the pond is designed considering ultimate developed conditions.
- e. The detention pond and detention outlet structures are to be designed to mitigate increased runoff peak flow rates for the 5-year, 25-year, and 100-year storm events.
- f. For watersheds less than 50 acres, a detention storage estimating method such as the simplified method, or the NRCS unit hydrograph method along with the Modified Puls level pool routing method, may be used for detention design. Otherwise, the pond shall be designed per Section B12.8g.
- g. For watersheds greater than or equal to 50 acres, the NRCS unit hydrograph method along with the Modified Puls level pool routing method shall be used for detention design.
- h. For both curbed and uncurbed streets, runoff from the 100-year storm event shall be conveyed in a controlled manner in a dedicated right of way or dedicated easements, either overland or underground, to the detention facility or otherwise mitigated, as necessary.
- i. Detention ponds shall have a maximum side slope of 4 to 1, a minimum 10-foot maintenance access berm, a minimum of 1-foot of freeboard above the designed 100-year water surface elevation, and a minimum 0.75% bottom slope. Concrete pilot channels shall have a minimum depth of 2 inches and a minimum slope of 0.2%. Grass-lined pilot channels shall have a minimum depth of 1 foot and a minimum slope of 0.5%. The bottom slopes of the detention basin should be graded toward the pilot channel.
- j. Inlet pipes or channels shall be set a minimum of 6 inches above the bottom of the pond and shall include adequate erosion protection.
- k. Pond outlet orifices shall not be less than 6 inches in diameter, and the minimum outlet pipe shall be 18 inches.
- l. Outlet pipes shall be set a minimum of 6 inches above the flow line of the receiving watercourse and shall include adequate erosion protection. The outlet pipe shall enter the receiving watercourse at a 60-degree angle, plus or minus 10 degrees.
- m. Outlet exit velocities exceeding 5 feet per second shall have riprap erosion protection and exit velocities exceeding 10 feet per second shall have concrete energy-dissipating devices.
- n. Detention ponds shall have an emergency overflow weir at the pond outlet to mitigate the 100-year storm and provide a discharge location for greater storm events. This weir shall be designed to convey the 100-year storm event, assuming the main outlet is clogged. The emergency weir shall be constructed with concrete slope paving that has a 5-inch minimum thickness and includes sufficient reinforcement, and the weir shall not have a negative impact on the roadway.

#### B12.9 Roadway Bridges and Culverts

- a. Drainage crossings under all roads shall be designed to convey runoff from the 100-year storm event with the maximum water surface level not exceeding the lowest edge of pavement elevation of the road and without causing an increase in the pre-developed water surface for areas located outside of the platted area.

- b. The rational method shall be used to calculate peak flow rates for watersheds less than 200 acres. The NRCS unit hydrograph method or regression curves shall be used for watersheds greater than or equal to 200 acres.
- c. For culverts, hydraulic calculations shall consider entrance, exit, and friction losses as well as downstream hydraulic conditions (i.e., tailwater).
- d. For culverts, exit velocities exceeding 3 feet per second shall have erosion protection (i.e., riprap, concrete block mats, etc.). Exit velocities exceeding 5 feet per second shall have a concrete lining, and exit velocities exceeding 10 feet per second shall have concrete energy-dissipating devices.
- e. All riprap shall be clean and free of trash, metal, and debris. In addition, riprap shall not impede flow or create ponding.
- f. For span bridges, the bottom chord shall be set to 1.5 feet above the 1% annual chance base flood elevation and shall completely span the FEMA-designated floodway (Note: a floodplain permit will be required for any development within a FEMA special flood hazard area).
- g. Bridges, culverts, and all other drainage structures shall be designed and constructed per 2024 TxDOT Specification Section Items 400 - 499.
- h. Provide safety end treatments and headwalls in accordance with TxDOT Bridge Standards details. Slopes tying to natural ground (i.e., wing walls, safety end treatments, etc.) shall not exceed a 6 horizontal to 1 vertical.
- i. Design culvert crossings in accordance with the TxDOT Roadway Design Manual. If the ditch is greater than 4 feet deep, headwalls must be a minimum of 10 feet from the edge of the pavement or 6 feet from the back of the curb, unless a guardrail is provided. Guardrails are only permitted by variance.
- j. Bridges over 20 feet in span require a National Bridge Inventory ("NBI") number assigned by TxDOT. The applicant shall request the NBI from Walker County Planning and Development and shall provide all required TxDOT documentation and design, including scour analysis. The applicant shall request a TxDOT inspection through Walker County prior to the bridge being opened to traffic. Failure to meet this requirement could impact annual inspections and acceptance.

#### B12.10 Roadside Ditches

- a. Roadside ditches shall convey runoff from the 10-year storm event with 6 inches of freeboard. During a 100-year storm event, the water elevation shall not exceed the elevation at the adjacent right-of-way line or the elevation at the right-of-way adjacent drainage easement. The Engineer shall demonstrate proper cascading of flow through the streets or adequate conveyance capacity to ensure that runoff from the 100-year event is contained within the street right of way and drainage easement(s) as it is conveyed to the outlet point. Supporting calculations shall be provided demonstrating property conveyance of runoff from the 1% annual chance storm.
- b. The rational method shall be used to determine peak flows for all roadside ditch designs.
- c. Roadside ditches shall have a minimum depth of 18 inches, and roadside ditches are not required at grade breaks and high points. When a ditch is required, the minimum depth is to be measured from the edge of the road or the elevation at the right-of-way/edge of the drainage easement, whichever is lower. Exception: A roadside ditch may be a minimum of 12 inches deep for distances not to exceed 100 feet where there is no driveway access permitted on the roadway. There is no

minimum ditch depth requirement where the proposed infrastructure ties to existing infrastructure, but the transition to 18 inches deep shall occur as soon as feasible, as related to existing grades.

- d. Velocities in grass-lined roadside ditches shall not exceed 5 feet per second for the design storm. Ditch velocities between 3 and 5 feet per second required block sod or rigid lining (i.e., rip rap, geosynthetic or concrete matting, flexible growth medium, etc.). Concrete slope paving with minimum 18" deep toe walls, having a 5-inch minimum thickness with sufficiently designed reinforcement, shall be installed where velocities exceed 5 feet per second for the design storm.
- e. Grass-lined roadside ditch front slopes shall have a maximum grade of 6 horizontal to 1 vertical and the back slopes shall have a maximum grade of 4 horizontal to 1 vertical.
- f. Ditch longitudinal slopes shall not be less than 0.5%.
- g. Refer to Appendix F for a typical roadside ditch cross-section.
- h. No utilities shall be placed within the roadside ditches that obstruct the designed/constructed drainage flows.
- i. Manning Coefficient: The "n" coefficient for the ditch calculations shall be a minimum of 0.040. Natural channels shall have a minimum "n" coefficient of 0.060. All coefficient values must be justified.
- j. Provide safety end treatments and headwalls in accordance with TxDOT Bridge Standard details and 2024 TxDOT Standard Specification Item 467. The plans shall include the applicable details.

#### B12.11 Driveway Culverts

- a. Driveway culverts shall comply with the Regulations for Walker County Driveway Permits, Design, and Materials.
- b. Driveway culverts shall convey runoff from the 10-year storm event, assuming full-flow hydraulic conditions.
- c. The rational method shall be used to determine peak flows for driveway culvert design.
- d. A driveway culvert schedule shall be provided in the construction drawings and plat. The table shall include section number, block number, lot number, and culvert size.
- e. Exit velocities exceeding 5 feet per second shall have erosion protection (i.e., riprap, concrete block mat, concrete lining, etc.) and exit velocities exceeding 10 feet per second shall have concrete energy dissipating devices.
- f. Sheet flow from driveways shall be shed to the roadside ditch prior to the sheet flow reaching the driveway culvert crossing.
- g. Provide safety end treatments and headwalls in accordance with TxDOT Bridge Standards details and 2024 TxDOT Standard Specification Item 467. The plans shall include the applicable details.

## B12.12 Storm Sewer

- a. All closed conduit storm sewers shall have a minimum Manning's Coefficient of 0.013 and shall be one of the following:
  - i. Reinforced concrete pipe (RCP) in accordance with 2024 TxDOT Specification Item 464,
  - ii. Reinforced concrete box culvert (RCBC) in accordance with 2024 TxDOT Specification Item 462 (minimum Manning's Coefficient of 0.015),
  - iii. Dual wall, corrugated, smooth interior, water-tight high-density polyethylene (HDPE) in accordance with ASTM F2306, AASHTO M294, 2024 TxDOT Specification Item 468, and TxDOT Specification DMS-4710 (pipes over 48 inches are not permitted, a 30-day mandrel test is required), or
  - iv. Dual wall, corrugated, smooth interior, water-tight polypropylene (PP) pipe in accordance with ASTM F2881, AASHTO M330, 2024 TxDOT Specification Item 468, and TxDOT Specification DMS-4710 (pipes over 48 inches are not permitted, 30-day mandrel test is required).
- b. Refer to Appendix I for pipe bedding and backfill details.
- c. When storm sewers are permitted outside of the public right of way, the minimum easement width shall be the following:

Pipe Depth D:			4'	5'	6'	7'	8'	9'	10'	11'	12'	13'	14'
Pipe Dia.	d <sub>0</sub>	X Value	15' Esm't	20' Esm't		25' Esm't (Trench Box Required)							
8"	1	0.5	12.0	16.0	20.0	24.0	28.0	32.0	36.0	40.0	44.0	48.0	52.0
12"	1.3		11.1	15.1	19.1	23.1	27.1	31.1	35.1	39.1	43.1	47.1	51.1
15"	1.7		9.9	13.9	17.9	21.9	25.9	29.9	33.9	37.9	41.9	45.9	49.9
18"	2	0.75	9.0	13.0	17.0	21.0	25.0	29.0	33.0	37.0	41.0	45.0	49.0
24"	2.5		8.0	12.0	16.0	20.0	24.0	28.0	32.0	36.0	40.0	44.0	48.0
30"	3			10.5	14.5	18.5	22.5	26.5	30.5	34.5	38.5	42.5	46.5
36"	3.5	1		9.0	13.0	17.0	21.0	25.0	29.0	33.0	37.0	41.0	45.0
42"	4				12.0	16.0	20.0	24.0	28.0	32.0	36.0	40.0	44.0
48"	4.5				10.5	14.5	18.5	22.5	26.5	30.5	34.5	38.5	42.5
54"	5.1	1.25			9.2	13.2	17.2	21.2	25.2	29.2	33.2	37.2	41.2
60"	5.6						15.7	19.8	23.7	27.7	31.7	35.7	39.7
66"	6.2							18.4	22.4	26.4	30.4	34.4	38.4
72"	6.7	1.5	Depth is not Applicable					16.9	20.9	24.9	28.9	32.9	36.9

Trench Width Formula for Predominately Type C Soils:  $W = d_0 + 2X + 4 [D - (d_0 + 0.5)]$

- d. The design storm for storm sewer design shall be in accordance with Table B4.1. Adequately sized storm sewers are required on curb and gutter streets, and concentrated flow shall not discharge over the back of curb. The design storm HGL shall not exceed 12 inches below the gutter flow line.



- e. For the 100-year storm event, the starting HGL shall be equal to the top of pipe or the 25-year storm event water surface elevation of the receiving watercourse, whichever is greater.
- f. Storm sewer conduits shall have a minimum velocity of 3 feet per second and a maximum velocity of 10 feet per second when flowing full.
- g. Storm manholes shall have a maximum spacing of 600 feet measured along the conduit run. Manholes for storm sewer conduits shall be placed at size changes, cross-section changes, grade changes, inlet lead and conduit intersections, and direction changes.
- h. At the change in pipe size, match the soffits of the two pipes.
- i. A straight line should be used for the design of precast inlet leads and storm sewers 30 inches in diameter or less. Precast storm sewers 36 inches in diameter and larger may be deflected at joints not to exceed the manufacturer's recommendation.
- j. Soil borings with logs shall be made along the alignment of all storm sewers having a cross-section equal to or greater than 42 inches in diameter or equivalent cross-section area. Borings should be taken at intervals not exceeding 500 linear feet and to a depth not less than 3 feet below the flow line of the sewer.
- k. Any storm sewer 42 inches or smaller located underneath or within 1 foot of a paving section shall be bedded and backfilled 2 sack cement stabilized sand.
- l. Curb inlets shall be designed to prevent water from ponding in the street during the 5-year storm event.
- m. The gutter run to an inlet shall not exceed 700 feet.
- n. In profile view, provide both top-of-curb ground elevations at the left and right ROW. Curbs should be below both right-of-way profiles to facilitate drainage. The right-of-way must drain to the street for curbed roads at a minimum slope of ¼ inch per foot, and a maximum slope of 1 foot per 7 feet. Show and label proposed profiles where cut or fill is necessary.
- o. House finished floor elevations shall be set a minimum of 1 foot above natural ground or per the current floodplain regulations in relation to the base flood elevation, whichever is greater. This minimum requirement shall be noted on the plat.
- p. During a 100-year storm event, the water elevation shall not exceed the elevation at the adjacent right-of-way line or the elevation at the right-of-way adjacent drainage/utility easement. The Engineer shall demonstrate proper cascading of flow through the streets or adequate conveyance capacity in the storm sewer pipes and inlets to ensure that runoff from the 100-year event is contained within the street right of way as it is conveyed to the outlet point. Supporting calculations shall be provided demonstrating property conveyance of runoff from the 1% annual chance storm.
- q. Within 14 days of ceasing construction, seed all disturbed areas within a uniform (i.e., evenly distributed, without bare areas) perennial vegetative cover. The density shall be at least 70% and consist of suitable background vegetative cover for the area. Equivalent permanent stabilization measures are also acceptable. The method of stabilization to be utilized shall be specified in the plans.

## B13 - Testing and Reporting

The following list is the minimum requirements that will be provided at the pre-construction conference and the material testing shall be to the satisfaction of the County. The Commissioners Court reserves the right to require any additional inspection, testing, or reporting, at the expense of the Owner, as deemed necessary to ensure compliance with these regulations and/or standard construction/engineering practices.

- B13.1 Prior to construction, the applicant shall request and attend a pre-construction meeting with the County. The developer, the applicant's engineer, and the contractor are also required to attend. The applicant's engineer shall periodically inspect the construction. It is the responsibility of the applicant's engineer to ensure and certify that the project is constructed in accordance with the plans and specifications.
- B13.2 The owner/developer or contractor needs to secure an A2LA Certified Independent Testing Laboratory for material testing.
- B13.3 The County will require soil test reports, lab recommendations of stabilization, proof roll reports, density test reports, and PH Test Reports (when applicable).
- B13.4 Prior to base inspection/pre-paving, the County will require base depth reports, base source/tickets, and compaction/density tests.
- B13.5 Notify the County prior to placing drainage structures and bridges. County may inspect drainage structures prior to and during installation. This includes steel placement, dimensions, precast structures, etc.
- B13.6 Prior to paving, provide emulsion submittals and pavement submittals for County Review, and the County must inspect the base/rebar at a scheduled inspected, requested by the certifying engineer. Obtain a "no objection" from the County prior to paving.
- B13.7 After paving, provide core/cylinder test results and tickets for County for review. Where cores are made, the developer is required to repair the hole with like material.
- B13.8 If visual concerns are noted at any time, additional testing may be required at the County's discretion.
- B13.9 After construction is deemed complete, the applicant's engineer shall submit a signed and sealed Engineer's Certification of Completion, a signed Developer's Certification of Completion, a completed Development Permit with the final Development Certifications Form (for approval), a complete package of lab reports, and request construction certification. In addition, the applicant's engineer shall submit certified record drawings, with all revisions clouded. The Engineer's Certification of Completion is included in Appendix E. If the construction included a bridge, additional items may be required. After receipt of a complete certification package, a certification walkthrough will be scheduled and a punch list shall be generated. Prior to certification of completion, all punch list items shall be completed, and an acceptable Maintenance Bond shall be provided.

# Appendix C - Plat Notes

## C1 - Owner's Dedication

STATE OF TEXAS

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KNOW ALL MEN BY THESE PRESENTS;

COUNTY OF WALKER

I, (Current Owner) sole Owner\*\* (or co-Owner) of the certain tract of land shown hereon and described in a deed recorded in Document No. (or Volume and Page) of the Official Records of Walker County, Texas, \*[and do hereby state that there are no lien holders of the certain tract of land], and do hereby (Select as applicable: subdivide, re-subdivide, amend, etc.) said tract as shown hereon, and do hereby consent to all plat note requirements shown hereon, and do hereby forever dedicate to the public the roads, alleys, rights-of-way, easements and public places shown hereon for such public purposes as Walker County may deem appropriate and do hereby state that all public roadways and easements as shown on this plat are free of liens or this dedication is approved by a lienholder. This subdivision is to be known as (name of subdivision).

TO CERTIFY WHICH, WITNESS by my hand this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

\_\_\_\_\_  
<Owner's signature>

<Typed Name>

<Typed Title>

<Typed Address>

\* If there is a Lien Holder of the property, remove the bracketed statement and add a separate signature block and notary signature block for the Lienholder or submit a Lienholder's Subordination to Dedication (obtain the current form from Planning and Development).

\*\* There must be a separate signature block, each with a notary signature block, for each Owner on the deed.

## C2 - Roadway Construction

In approving this plat by the Commissioners Court of Walker County, Texas, it is understood that the building of all roads, and other public thoroughfares, and any bridges or culverts necessary to be constructed or placed is the responsibility of the Owner(s) of the tract of land covered by this plat in accordance with the plans and specifications prescribed by the Commissioners Court of Walker County, Texas. Said Commissioners Court assumes no obligation to build or maintain any of the roads, or other public thoroughfares shown on this plat, or of constructing or maintaining any of the bridges or drainage improvements in connection therewith. The County will assume no responsibility for drainage ways, stormwater management controls, or easements in the subdivision, other than those within the dedicated right of way or public easements at such time, if any, the roads are accepted for public maintenance. Until such time, if any, said infrastructure is adopted into public maintenance, <Assigned Party> shall be responsible for the ongoing maintenance of the roads, rights-of-way, signage, drainage, and other improvements within the subdivision.

## C3 - Owner's Responsibilities

It is the responsibility of the Owner, not the County, to assure compliance with the provisions of all applicable state, federal, and local laws and regulations relating to the platting and development of this property.

The County assumes no responsibility for the accuracy of representations by other parties in this plat. Floodplain data, in particular, may change. It is further understood that the Owner(s) of the tract of land covered by this plat, its successors and/or assigns, or a designated property owner's association must install and maintain at their own expense all roads, stormwater management controls, traffic control devices, and signage that may be required until such time, if any, said infrastructure in the subdivision have been accepted for public maintenance.

## C4 - Commissioners Court Approval

STATE OF TEXAS

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KNOW ALL MEN BY THESE PRESENTS;

COUNTY OF WALKER

The Commissioners Court of Walker County, Texas, does hereby certify that this map or plat, as described herein, for a subdivision having been fully presented to the Commissioners Court of Walker County, Texas, and by the said Court duly considered, was on this day approved and that this plat is authorized to be registered and recorded in the proper records of the County Clerk of Walker County, Texas. This certification is based upon the representations of the developer/developer's agent, engineer, sanitarian, and/or surveyor whose seal(s) and/or signatures are affixed hereto. This certification is made solely upon such representations and should not be relied upon for verifications of the facts alleged. Walker County disclaims any responsibility to any member of the public for independent verification of the representations, factual or otherwise, contained in this plat and the documents associated with it.

<Insert Current Commissioners Court Signature Block>

\_\_\_\_\_

## C5 - County Clerk Certification

### Note for Major Plats or Plats Larger than 8.5"x14" Format

STATE OF TEXAS

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KNOW ALL MEN BY THESE PRESENTS

COUNTY OF WALKER

I, *<insert name of current clerk>*, County Clerk of Walker County, do hereby certify that this plat with its certificate of authentication was filed for record in my office the \_\_\_\_ day of \_\_\_\_, 20\_\_\_\_, in Volume \_\_\_\_\_, Page \_\_\_\_\_ of the Plat Records of Walker County, Texas.

For tax purposes, this plat complies with Section 12.002 of the Property Code.

County Clerk  
Walker County, Texas

\_\_\_\_\_  
By: \_\_\_\_\_  
Deputy Clerk

### Note for Minor Plats Submitted in 8.5"x14" or 8.5"x 11" Format

STATE OF TEXAS

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KNOW ALL MEN BY THESE PRESENTS

COUNTY OF WALKER

I, *<insert name of current clerk>*, County Clerk of Walker County, do hereby certify that this plat with its certificate of authentication was filed for record in my office the \_\_\_\_ day of \_\_\_\_, 20\_\_\_\_, under instrument number \_\_\_\_\_ in the Official Public Records of Walker County, Texas.

For tax purposes, this plat complies with Section 12.002 of the Property Code.

County Clerk  
Walker County, Texas

\_\_\_\_\_  
By: \_\_\_\_\_  
Deputy Clerk

## C6 - On-Site Sewage Facility Review

Based upon a review of the plat and plans as represented by the said engineer or surveyor, I, the below signed design/review professional, being qualified to make said determination under Texas law, find that this plat complies with the requirements of the Walker County On-Site Sewage Facility Regulations, and Title 30 of the Texas Administrative Code, Chapter 285, including but not limited to the suitability of the proposed lots to accommodate on-site sewage facilities within the proposed development considering all of the requirements of Title 30, 285 TAC and any applicable local orders. I also agree that Walker County, its agents, and assigns bear no responsibility to any member of the public for independent verification of the representations, factual or otherwise, contained in this plat and the documents associated with it.

\_\_\_\_\_  
<Print Name of P.E. or R.S.>

\_\_\_\_\_  
Date

## C7 - Mailboxes

Cluster and individual mailboxes, if allowed, shall be set three feet from the edge of the pavement or behind curbs, when used. All mailboxes within County arterial right-of-way shall meet the current TxDOT standards. Any mailbox that interferes with or negatively affects the maintenance or use of the roads or drainage system may be removed by Walker County.

## C8 - Floodplain Regulations Certification

(To be Provided on ETJ Plats and Major Plats)

Based upon a review of the plat and associated plans, I, the below signed Professional Engineer, find that this plat complies with the requirements of the current Walker County Floodplain Regulations. I further understand and agree that this finding is made by and through my independent review, and Walker County has no responsibility to any member of the public for independent verification of the representations, factual or otherwise, contained in this plat and the documents associated with it.

\_\_\_\_\_  
<Seal and Signature of P.E.>

\_\_\_\_\_  
<Print Name of P.E.>

\_\_\_\_\_  
Date

## C9 - Development Notes

No structure or land within this plat shall hereafter be developed without first obtaining a Development Permit from the Walker County Floodplain Administrator unless the proposed development is exempt or excepted from the Walker County Floodplain Development Regulations.

The minimum, lowest finished floor elevation shall be in compliance with the local floodplain regulations and the finished floor elevation noted on the plat, whichever elevation is higher.

# C10 - Plat Notes Addressing Area Drainage

## **Note for Minor Subdivision Plat**

All owners of lots within the subdivision shall have the responsibility of complying with the Walker County Subdivision Regulations' policies on drainage runoff due to the development of impervious areas created through the development of the lot for residential, commercial, or recreational use. It is the responsibility of lot owners to comply with any regulations or limitations noted, and permits issued by Walker County for development do not act as a waiver or variance of the lot owner's responsibility to provide for excess runoff and drainage created by the permitted development. If detention of water is necessary in order to comply with the local, state, or federal regulations including but not limited to the Walker County Subdivision Regulations then the owner may be able to accomplish compliance with said policies through creating detention on a single lot, multiple lots, or the entire subdivision depending on the circumstances involved and depending on the owner's ability to obtain the cooperation of other owners in the subdivision. A copy of an agreement between owners to create detention shall be submitted to Walker County and filed in the public records becoming a restriction on future owners, heirs, and assigns.

## **Engineer's Note for Subdivision Plats (certified by engineer)**

The design of this project will not negatively impact this property or adjacent properties. Based on calculations made from available data, if the impervious cover (structures, driveways, sidewalks, etc.) on each lot does not exceed \_\_\_\_\_ square feet, then the existing detention on the property will be sufficient. However, if the impervious cover of the property exceeds or surpasses \_\_\_\_\_ square feet then further study will be necessary and possible drainage/detention improvements may be required in accordance with current Local, State, and Federal regulations including the Walker County Subdivision Regulations. Local approval or allowance must be given by Walker County in writing prior to the alteration of the drainage infrastructure. It is the responsibility of lot owners to comply with any regulations or limitations noted, and permits issued by Walker County for development do not act as a waiver or variance of the lot owner's responsibility to provide for excess runoff and drainage created by the permitted development.

<Seal and Signature of P.E.> \_\_\_\_\_

<Print Name of P.E.> \_\_\_\_\_

\_\_\_\_\_ Date

*The first section of this note can be altered to reflect the weighted development of larger lots considering the effect of increase in runoff on a per lot basis by allowing larger amounts of impervious cover on larger acreage lots or could reflect a unified sizing of impervious cover for all lots in the subdivision considering the effects of increased runoff from the subdivision as a whole.*

*Example: ... if impervious cover on Lots 1,2,&3 does not exceed 6,000 sq. ft. and impervious cover on lots 4 & 5 does not exceed 8,000 sq. ft. then...*

## **Drainage Acceptance Note on all Plats (certified by owner/developer)**

All lots within the subdivision and the owners thereof must continue to accept all existing drainage flows and drainage structures in place at the time of development that are a part of or necessary to the existing or designed roads infrastructure or the existing or designed system of drainage, in addition to all natural flows of water entering onto or crossing the property. All drainage easements shown hereon shall be kept clear of fences, buildings, plantings, and other obstructions to the operation and maintenance of the drainage facilities.

## C11 - Plat Notes Addressing Utilities

Utilities shall be installed within a dedicated utility easement. Utilities are not permitted within drainage easements, unless specifically excepted by the subdivision regulations.

## C12 - Water Supply Note:

### Individual Water Well Note:

Each lot will be served by a private, on-site water well.

-OR-

### Water Supply Note:

<Insert Name of Water Supplier>, an approved public water supply system, has an adequate quantity to supply the subdivision, and provisions have been made to provide service to each lot within this subdivision.

## C13 - Certification of Surveyor

I, \_\_\_\_\_, the below signed Texas Registered Professional Land Surveyor, certify that this plat represents a survey made on the ground under my supervision and that all corners and monuments are shown hereon. This plat was prepared with the benefit of a current title report, and all existing easements and encumbrances related to said report are shown. Further, I certify this plat has been prepared in accordance with the Subdivision Regulations of Walker County.

<Seal and Signature of RPLS>

<Print Name of RPLS >

\_\_\_\_\_  
Date



## Appendix D - Plat Application Checklists

### WALKER COUNTY SUBDIVISION APPLICATION CHECKLISTS

The applicant is responsible for the submittal of all documents on the checklist with each separate application submittal. The submittal of a document or file under a previous application does not supplant the requirement for submittal with a future application. Application submittals shall be submitted in whole on the date of application; applications will not be allowed to be submitted at separate times or on separate dates.

All submittals shall be submitted with 3 properly sized paper copies and a digital .pdf file unless otherwise required below or by the Walker County Subdivision Regulations. Any digital media delivered with or containing part of an application, including but not limited to flash drives, DVDs, hard drives, etc., are considered to be part of the application and will not normally be returned to applicant.

#### SUBMITTAL REQUIREMENTS BY APPLICATION TYPE

##### Variance Request Application Submittal Checklist

1	Completed Variance Request Application Form
2	Copy of the Deed for the Parent Tract and an acceptable Title Commitment or Title Policy/Report
3	Authorized Signatory Documentation
4	7 paper copies and 1 digital copy (.pdf) of all plans, drawings, exhibits, engineering studies, or other back-up submitted in support of the variance request.

##### Plat Application Submittal Checklist

1*	Approved 911 Addressing Road and Feature Name Review. (If applicable)
2*	Completed Application Form
3*	Required Fee(s)
4*	Authorized Signatory Documentation
5*	Copy of the Deed for the Parent Tract and an acceptable Title Commitment or Title Policy/Report
6*	Copies of any approved variance requests that relate to the application (if applicable)
7*	Copy of an approved <i>OSSF Subdivision Planning Materials Submittal for Subdivision</i> (If applicable)
8*	Approved Development Permit under the Regulations for Floodplain Management for all proposed infrastructure. (If applicable)
9	Copies of required Plans, Reports, Calculations, and Studies sealed by a Professional Engineer. (3 properly sized paper copies and 2 digital files (.pdf, .dwg) (if applicable)
10*	Copies of the proposed Final Plat including all seals and signatures. (3 paper copies, 2 mylar copies, and three digital files (.pdf, .dwg, and shapefile formats)
11	Sealed Engineer's itemized list of improvements with quantities (excluding costs) necessary to complete the road and drainage improvements and is sufficient for Commissioners Court to set the surety amount
12	Improvement Maintenance Plan (if applicable)
13	An original copy of the completed financial surety documents/or documentation of acceptance of completed construction and post-construction bonding.
14	Letters of Serviceability from the Wastewater, Water, and Electric provider
15	Groundwater Certification (if applicable)
16*	Tax Certificate Showing Taxes Paid to Date
17*	Necessary Approvals from Other Governmental Entities (If applicable)(TXDOT, TCEQ, etc.)

***\*Plat Applications and Amending or Re-plat Applications classified as Minor Subdivisions with no improvements related to development required need only submit the items marked with an asterisk.***

***(If applicable) - Some application submittals may not be applicable to all subdivision applications, especially in cases where no infrastructure is required or proposed. Check regulations for applicability.***

##### Amending or Re-plat Applications additional items

1	A copy of the current deed restrictions for the subdivision, if any.
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Exception Application Submittal Checklist		
1		Completed Variance Request Application Form
2		Required Fee(s) per the current schedule of fees
3		Copy of the Current Deed for the Parent
4		Copy of an approved On-Site Sewage Facility Subdivision/Development Plan
5		Written copies of any applicable Federal, State, and Local approvals required. (TXDOT, TCEQ, etc)
6		Copy of plat and metes and bounds description for proposed
7		Acceptable Authorized Signatory Documentation for any plat for any agent not listed on the deed, or for any agent of a corporation or other entity having ownership of the land.
8		Copy of the tax certificate showing taxes paid to date. (County Clerk's Requirement for filing)

## Appendix E - Construction Documents

**[ENGINEERING FIRM'S LETTERHEAD WITH FIRM NUMBER]**

**ENGINEER'S CERTIFICATION OF COMPLETION**

**[SUBDIVISION NAME AND SECTION NUMBER, IF APPLICABLE]**

In accordance with the Walker County Subdivision Regulations, I \_\_\_\_\_, P.E., a registered Engineer duly licensed to practice in the State of Texas, on behalf of \_\_\_\_\_, the Applicant, do hereby certify that the subject subdivision has been constructed as designed, according to the approved plans and specifications, in accordance with standard engineering practice for public infrastructure, and to the standards of the Walker County Subdivision Regulations. I am providing this certification based on a visual inspection of the construction and the review of applicable and sufficient laboratory testing. I further certify that the required improvements are complete and functioning.

I have provided the following required items and respectfully request Initial Certification of the subject subdivision.

1. Digital copy of the engineer's certified record drawings
2. Hard copy of the engineer's certified record drawings
3. Applicant's Certification of Completion
4. Test Reports
5. Maintenance Bond
6. Completed County "Development Certifications Form"
7. (add any additional items)

**[Engineer's seal with signature and date]**

\_\_\_\_\_

**APPLICANT'S CERTIFICATION OF COMPLETION**

**[SUBDIVISION NAME AND SECTION NUMBER, IF APPLICABLE]**

In accordance with the Walker County Subdivision Regulations, I, \_\_\_\_\_,  
of \_\_\_\_\_, the Applicant, do hereby certify that the subject subdivision  
has been constructed as designed, according to the approved plans and specifications to the  
standards of the Walker County Subdivision Regulations. Further, I certify that any federal, state, or  
local permits required for the construction were obtained.

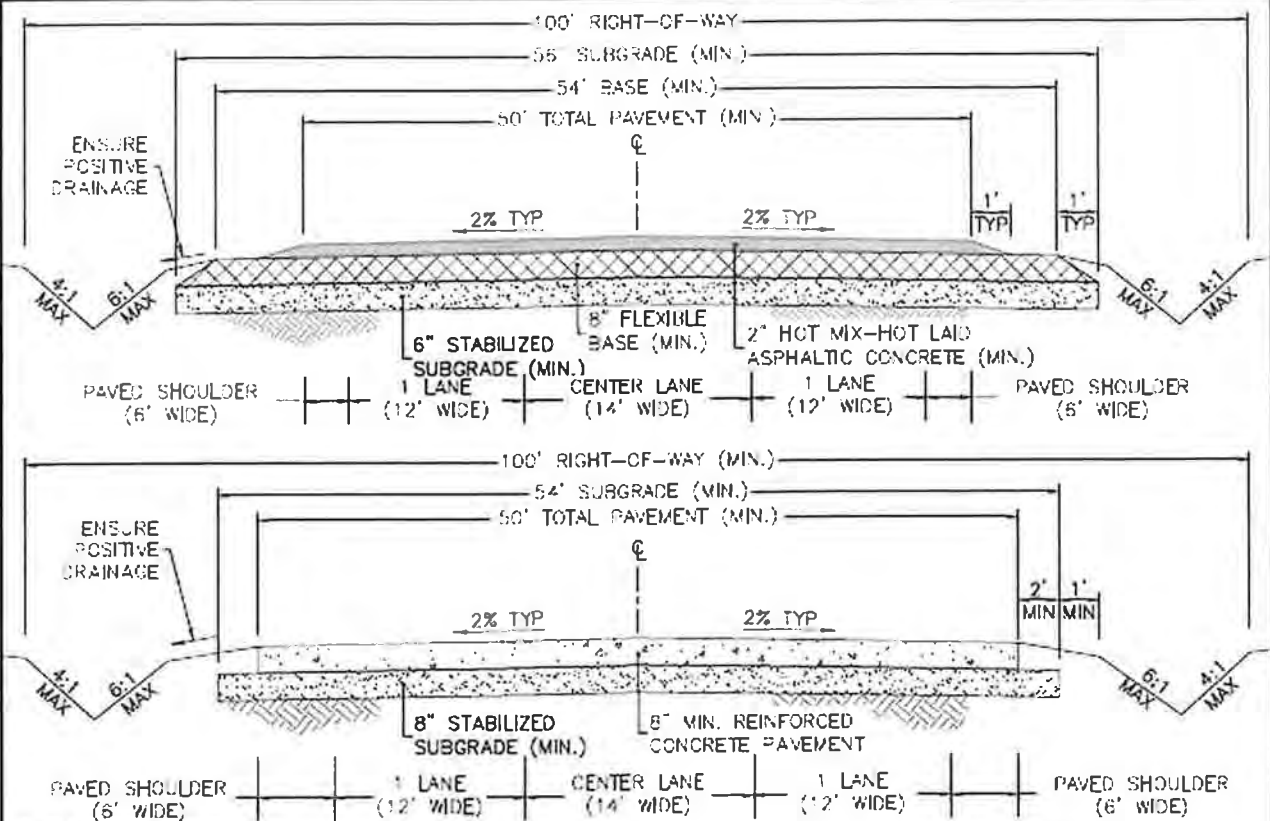
**[Applicant's signature and date]**

\_\_\_\_\_

## Appendix F - Roadway Cross-Sections & Details

**NOTES:**

1. THIS DETAIL PROVIDES THE MINIMUM REQUIREMENTS, AND GEOTECHNICAL INVESTIGATION IS REQUIRED TO DETERMINE IF THE MINIMUM STANDARDS ARE SUFFICIENT.
2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
3. EXCEPT WHERE TYING TO EXISTING INFRASTRUCTURE, ROAD CROSS SLOPES SHALL NOT EXCEED 3% OR BE LESS THAN 1%.



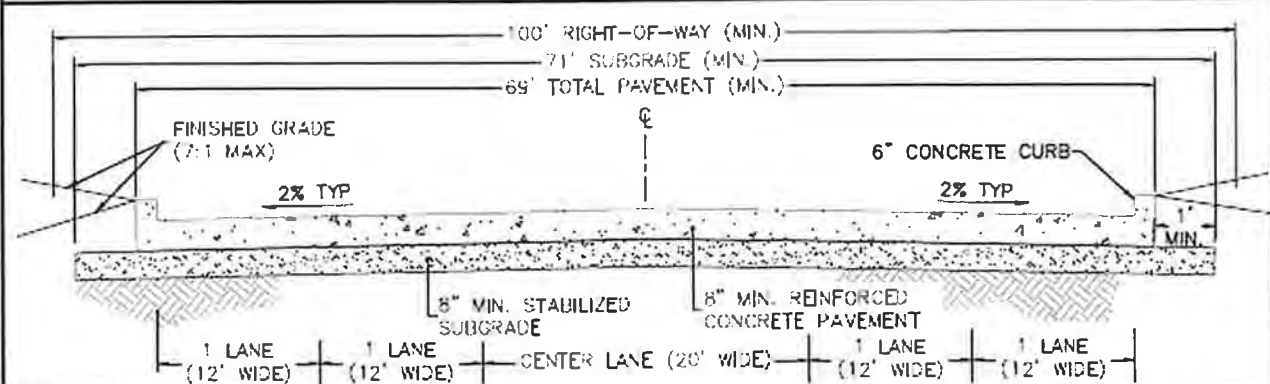
**DITCH EROSION CONTROL:**

- DITCH VELOCITY OF <3 FPS REQUIRE SEEDING / HYDRO MULCH
- DITCH VELOCITY OF 3-5 FPS REQUIRE VEGETATION BLOCK SOD OR RIGID LINING
- DITCH VELOCITY OF >5 FPS REQUIRE RIGID LINING (PAVERS, STONE RIPRAP, CONC, OR EQUAL)

**RURAL**

VOLUME PER DAY 12,000+

MINIMUM DESIGN SPEED	SPEED LIMIT 50
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**ARTERIAL ROAD SECTIONS**

WALKER COUNTY, TX

SCALE: NTS 05/2025

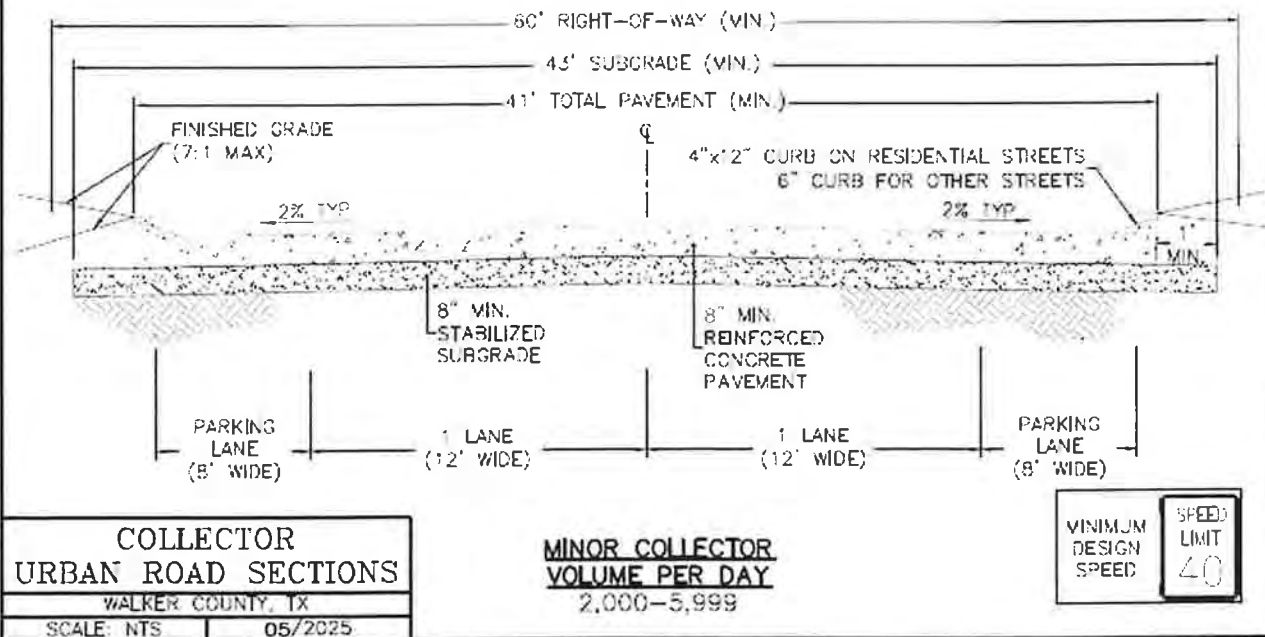
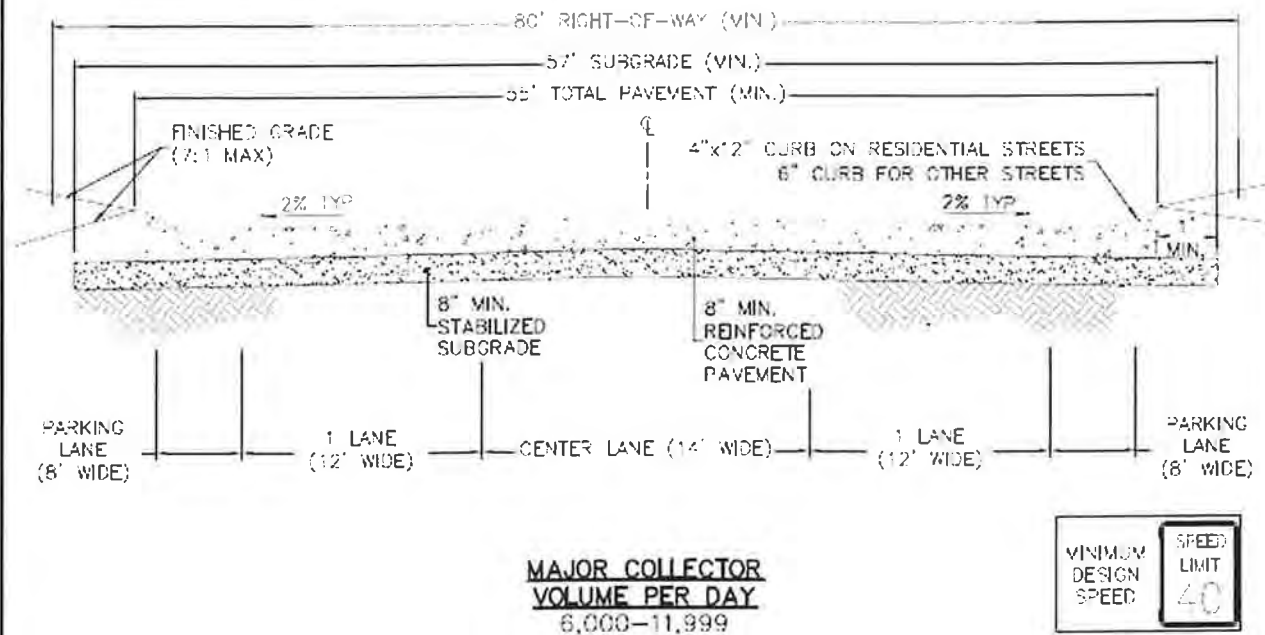
**URBAN**

VOLUME PER DAY 12,000+

MINIMUM DESIGN SPEED	SPEED LIMIT 50
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**NOTES.**

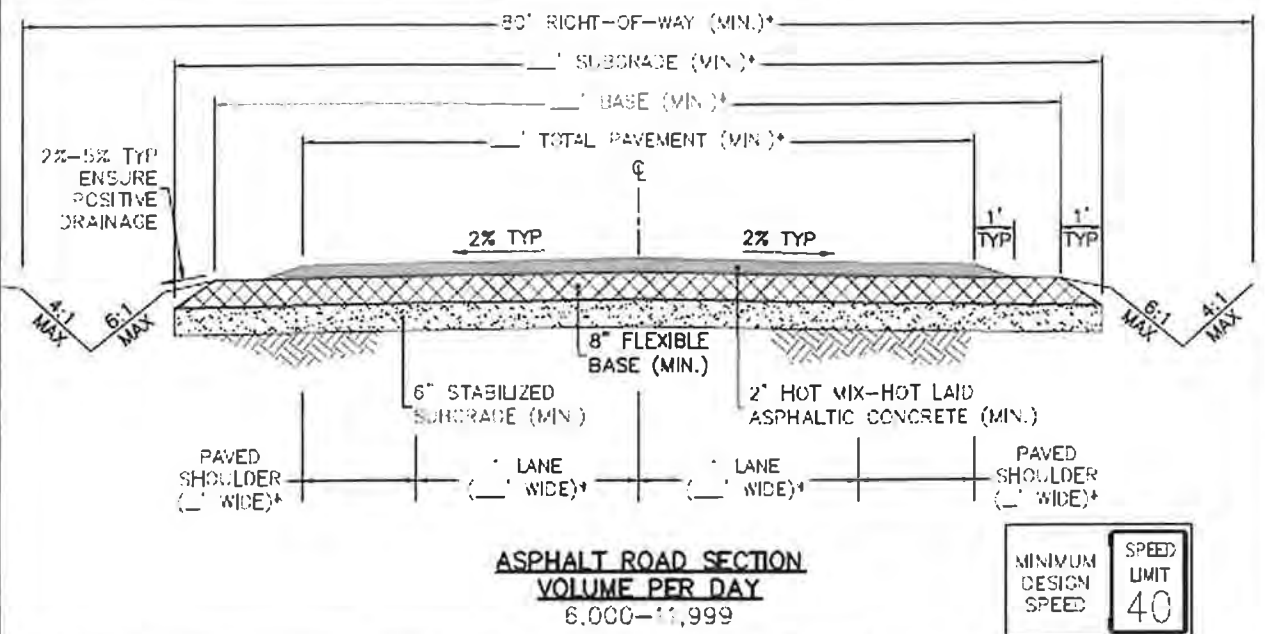
1. THIS DETAIL PROVIDES THE MINIMUM REQUIREMENTS, AND GEOTECHNICAL INVESTIGATION IS REQUIRED TO DETERMINE IF THE MINIMUM STANDARDS ARE SUFFICIENT.
2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
3. EXCEPT WHERE TYING TO EXISTING INFRASTRUCTURE, ROAD CROSS SLOPES SHALL NOT EXCEED 3% OR BE LESS THAN 1%.



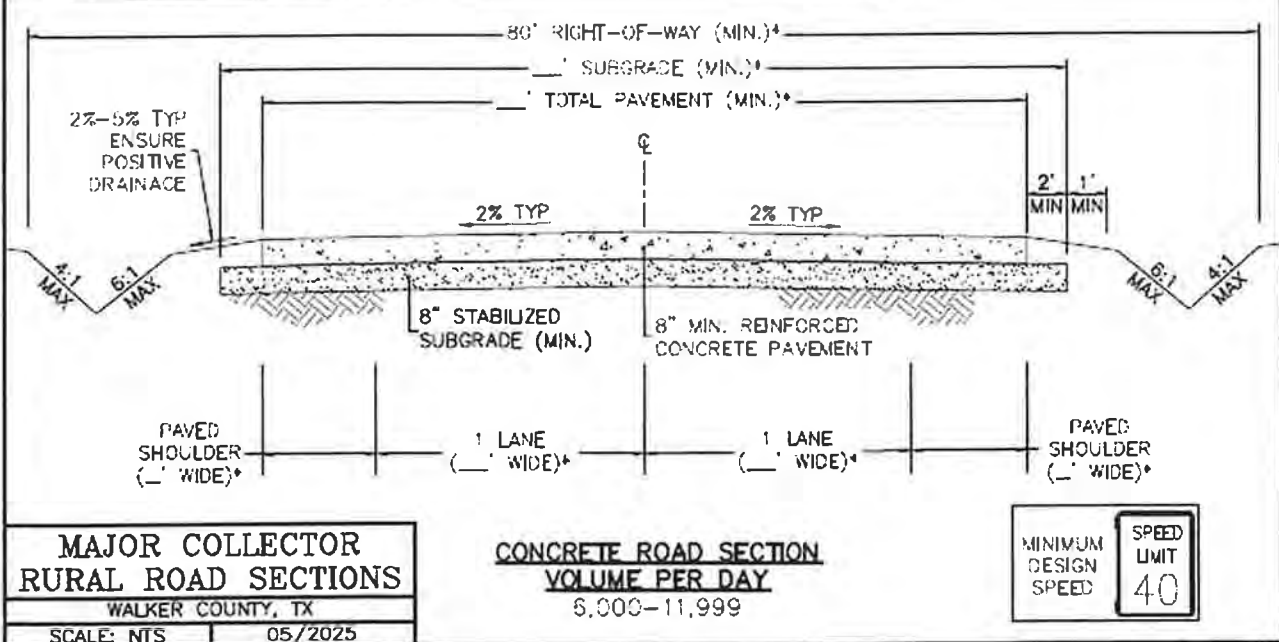


**NOTES:**

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2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
3. EXCEPT WHERE TYING TO EXISTING INFRASTRUCTURE, ROAD CROSS SLOPES SHALL NOT EXCEED 3% OR BE LESS THAN 1%.
4. **DITCH EROSION CONTROL:**  
DITCH VELOCITY OF <3 FPS REQUIRE SEEDING / HYDRO MULCH  
DITCH VELOCITY OF 3-5 FPS REQUIRE VEGETATION BLOCK SOD OR RIGID LINING  
DITCH VELOCITY OF >5 FPS REQUIRE RIGID LINING (PAVERS, STONE RIPRAP, CONC, OR EQUAL)

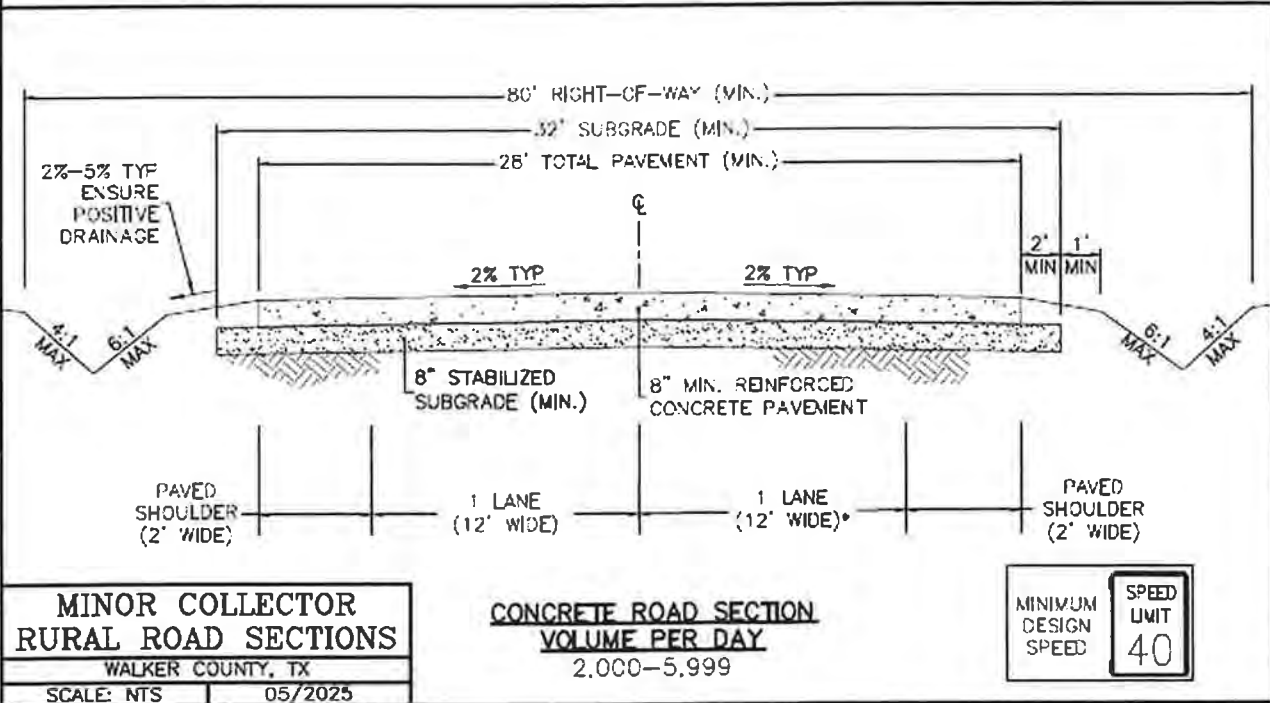
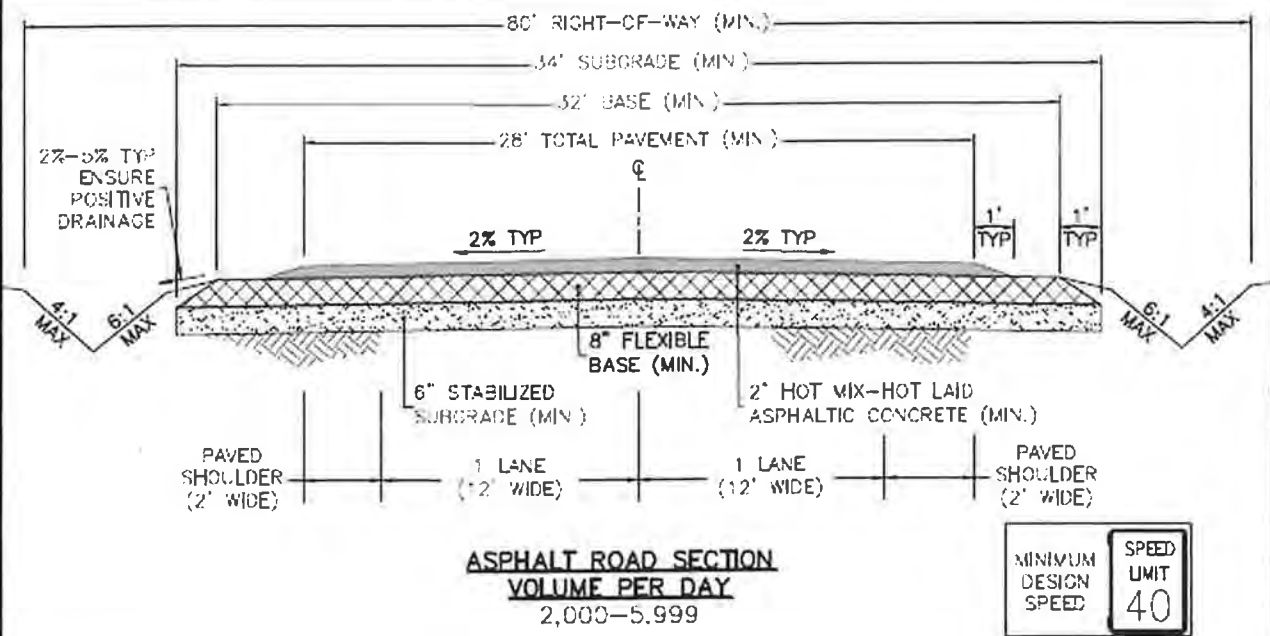


\*FOR 6,000-11,999 TRIPS PER DAY, ADD DIMENSIONS PER COMMISSIONERS COURT APPROVED ROAD SECTION. TO OBTAIN ROAD SECTION APPROVAL, DEVELOPER SHALL PROVIDE AN ENGINEERS ROAD SECTION RECOMMENDATION, LAND PLAN, TIA, & TYPICAL ROADWAY CROSS-SECTION BASED ON TRAFFIC VOLUMES.



**NOTES:**

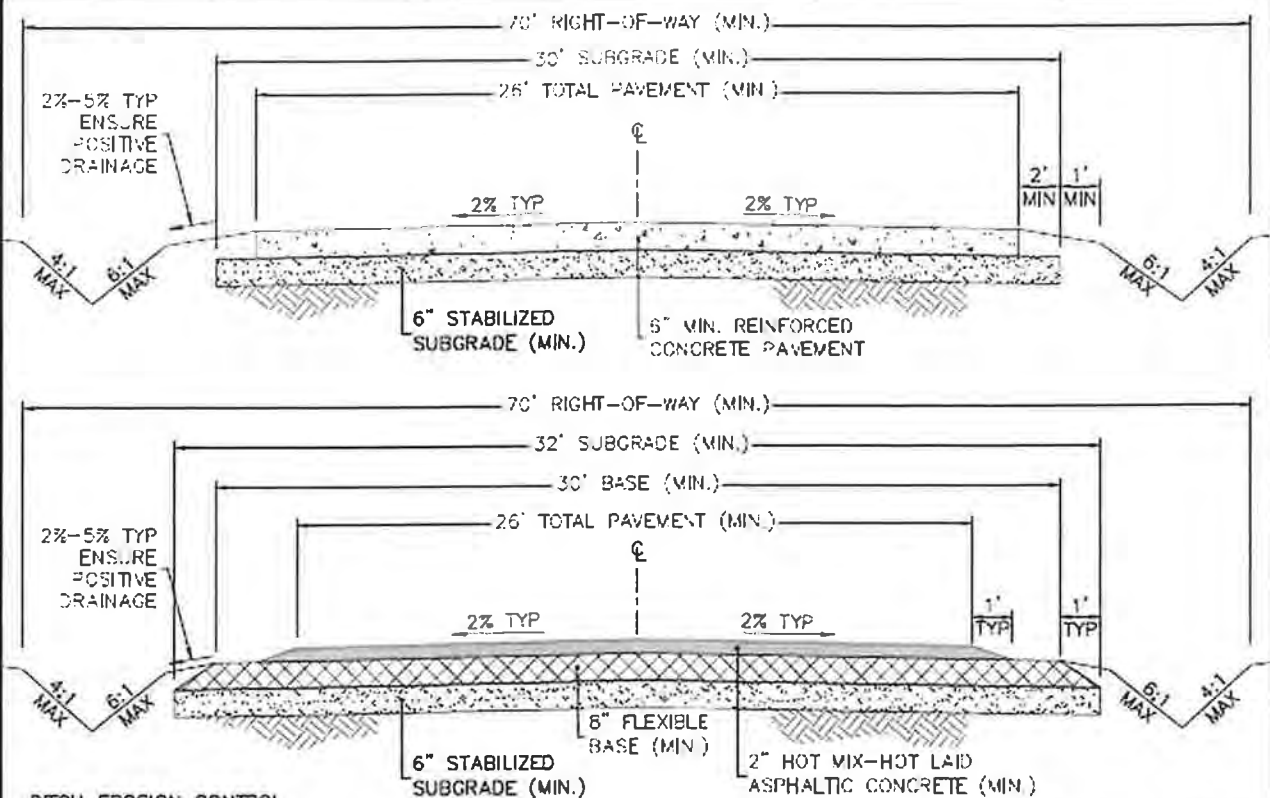
1. THIS DETAIL PROVIDES THE MINIMUM REQUIREMENTS, AND GEOTECHNICAL INVESTIGATION IS REQUIRED TO DETERMINE IF THE MINIMUM STANDARDS ARE SUFFICIENT.
2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
3. EXCEPT WHERE TYING TO EXISTING INFRASTRUCTURE, ROAD CROSS SLOPES SHALL NOT EXCEED 3% OR BE LESS THAN 1%.
4. DITCH EROSION CONTROL:  
 DITCH VELOCITY OF <3 FPS REQUIRE SEEDING / HYDRO MULCH  
 DITCH VELOCITY OF 3-5 FPS REQUIRE VEGETATION BLOCK SOD OR RIGID LINING  
 DITCH VELOCITY OF >5 FPS REQUIRE RIGID LINING (PAVERS, STONE RIPRAP, CONC. OR EQUAL)



**MINOR COLLECTOR  
 RURAL ROAD SECTIONS**  
 WALKER COUNTY, TX  
 SCALE: NTS 05/2025

**NOTES:**

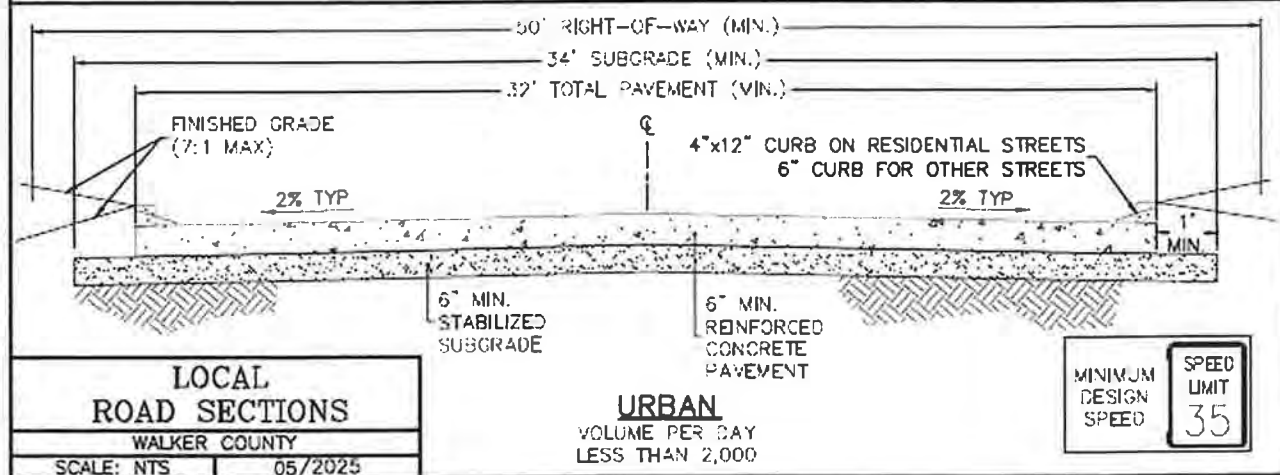
1. THIS DETAIL PROVIDES THE MINIMUM REQUIREMENTS, AND GEOTECHNICAL INVESTIGATION IS REQUIRED TO DETERMINE IF THE MINIMUM STANDARDS ARE SUFFICIENT.
2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
3. EXCEPT WHERE TYPING TO EXISTING INFRASTRUCTURE, ROAD CROSS SLOPES SHALL NOT EXCEED 3% OR BE LESS THAN 1%.



**DITCH EROSION CONTROL**

DITCH VELOCITY OF <3 FPS REQUIRE SEEDING / HYDRO MULCH  
 DITCH VELOCITY OF 3-5 FPS REQUIRE VEGETATION BLOCK SOD OR RIGID LINING  
 DITCH VELOCITY OF >5 FPS REQUIRE RIGID LINING (PAVERS, STONE RIPRAP, CONC, OR EQUAL)  
 PROVIDE SAFETY END TREATMENTS AND HEADWALLS IN ACCORDANCE WITH TXDOT BRIDGE  
 STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.

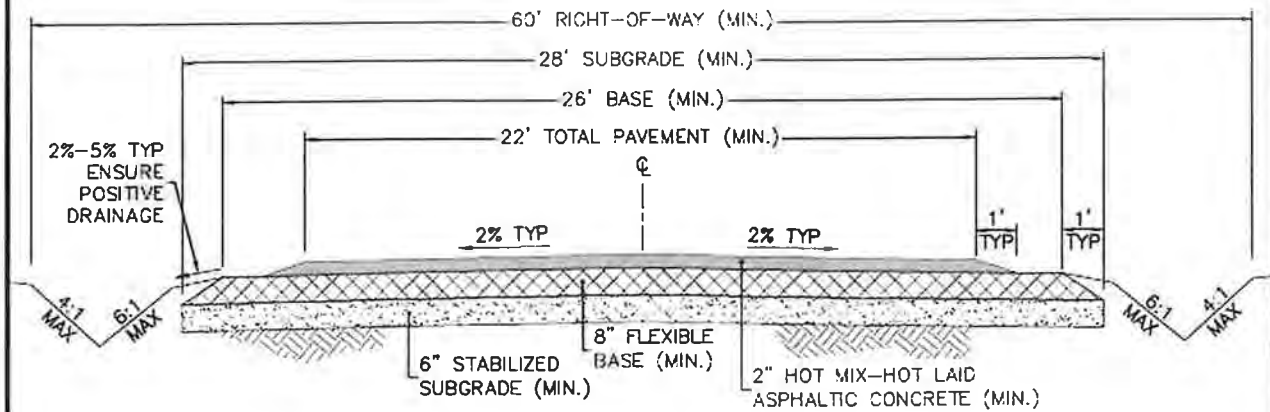
MINIMUM DESIGN SPEED	SPEED LIMIT 35
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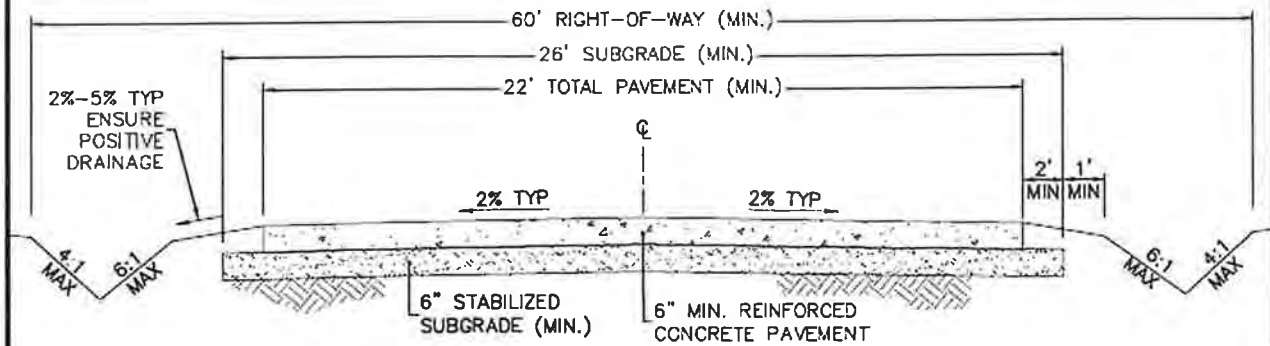
MINIMUM DESIGN SPEED	SPEED LIMIT 35
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**NOTES:**

1. THIS DETAIL PROVIDES THE MINIMUM REQUIREMENTS, AND GEOTECHNICAL INVESTIGATION IS REQUIRED TO DETERMINE IF THE MINIMUM STANDARDS ARE SUFFICIENT.
2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
3. EXCEPT WHERE TYING TO EXISTING INFRASTRUCTURE, ROAD CROSS SLOPES SHALL NOT EXCEED 3% OR BE LESS THAN 1%.
4. DITCH EROSION CONTROL:  
 DITCH VELOCITY OF <3 FPS REQUIRE SEEDING / HYDRO MULCH  
 DITCH VELOCITY OF 3-5 FPS REQUIRE VEGETATION BLOCK SOD OR RIGID LINING  
 DITCH VELOCITY OF >5 FPS REQUIRE RIGID LINING (PAVERS, STONE RIPRAP, CONC, OR EQUAL)



**RURAL ASPHALT**



**RURAL CONCRETE**

**LOCAL LOW VOLUME  
ROAD SECTIONS**

WALKER COUNTY

SCALE: NTS 05/2025

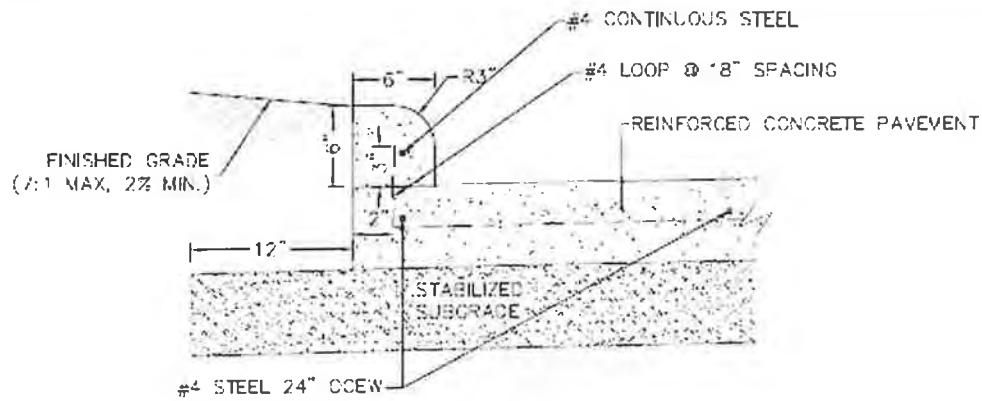
**LOCAL LOW VOLUME STREET RESTRICTIONS:**

1. ONLY PERMITTED ON RURAL DEVELOPMENT.
2. THE STREET SHALL NOT EXCEED 1,000 FEET IN LENGTH.
3. THE DEVELOPMENT MAY ONLY CONSIST OF ONE STREET.
4. THE VOLUME PER DAY IS LESS THAN 190.

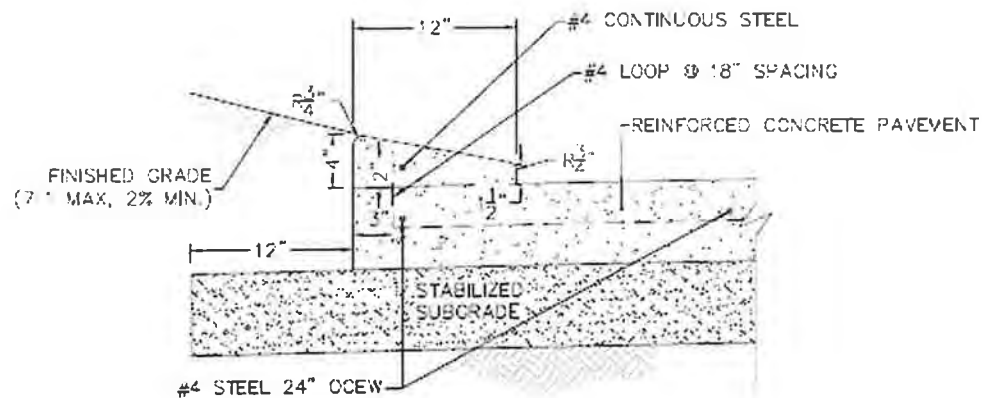
MINIMUM  
DESIGN  
SPEED

SPEED  
LIMIT  
35

## Appendix G - Curb Details



**6" CURB**  
(ALL STREETS)



**4"x12" ROLLOVER CURB**  
(RESIDENTIAL LOTS ONLY)

**NOTES:**

1. CONCRETE SHALL BE CLASS A (4000 PSI).
2. ALL REINFORCING BARS SHALL BE #4 GRADE 60 STEEL (100% TIED), UNLESS OTHERWISE SPECIFIED.
3. ROUND ALL EXPOSED SHARP EDGES WITH A ROUNDING TOOL TO A MINIMUM RADIUS OF 1/4 INCH.
4. PROVIDE EPOXIED DOWELS WHERE CONCRETE CURBS ARE PLACED ON EXISTING CONCRETE PAVEMENT.
5. EXPANSION AND CONTRACTION JOINTS SHALL BE CONSTRUCTED TO MATCH, INCLUDING PAVEMENT JOINTS IN THE CURB AND GUTTER LINES ADJACENT TO JOINTED CONCRETE PAVEMENT. WHERE PLACEMENT OF CURB OR CURB AND GUTTER IS NOT ADJACENT TO CONCRETE PAVEMENT, EXPANSION JOINTS SHALL BE PROVIDED AT STRUCTURES, CURB RETURNS, AND AT THE LOCATIONS DIRECTED BY THE ENGINEER.
6. ONE-HALF INCH EXPANSION JOINT MATERIAL SHALL BE PROVIDED WHERE CURB OR CURB AND GUTTER IS ADJACENT TO SIDEWALK OR RIPRAP.
7. ALL JOINTS SHALL BE EPOXY SEALED, (GRAY COLOR TO MATCH).
8. ALL CURB SHALL BE SPRAYED WITH WHITE PIGMENTED CURING COMPOUND.
9. PLACE BACKFILL BEHIND THE CURB WITHIN 7-DAYS OF NEW CURB INSTALLATION.

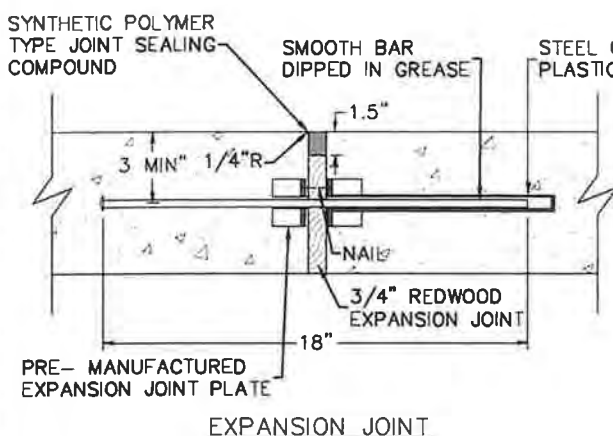
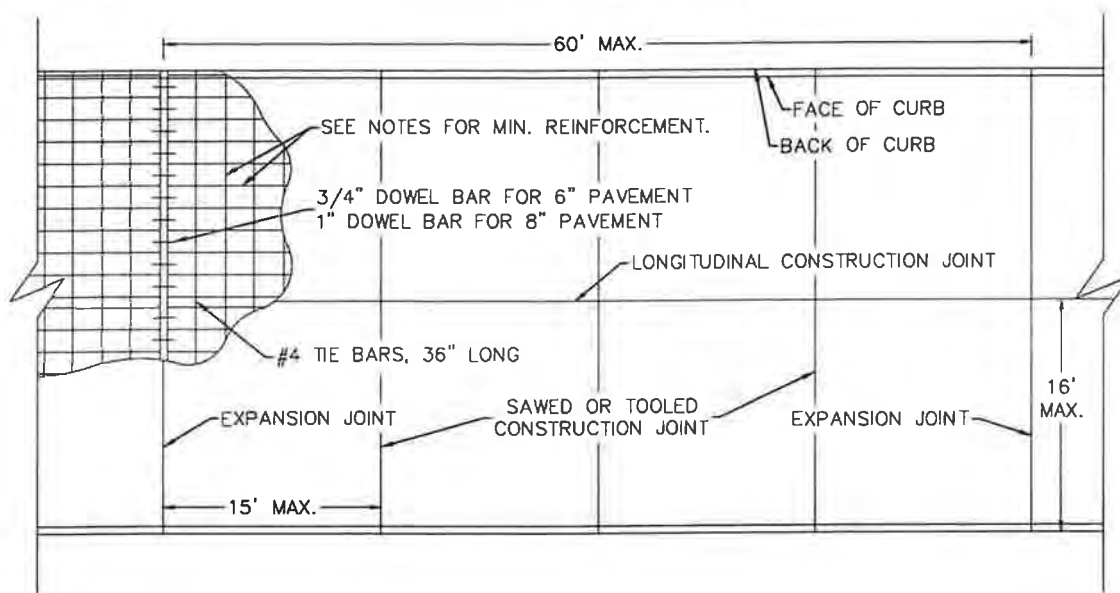
**CONCRETE CURB  
DETAILS**

WALKER COUNTY

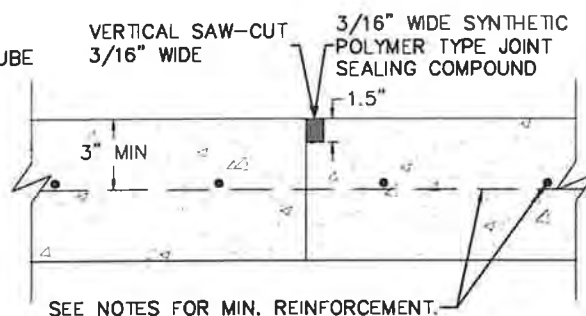
SCALE: NTS

05/2025

## Appendix H - Concrete Pavement Details



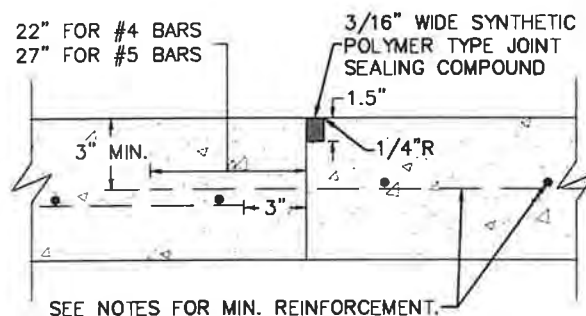
EXPANSION JOINT



TRANSVERSE "SAWED" CONSTRUCTION JOINT

**NOTES:**

1. CONCRETE SHALL BE CLASS A (4000 PSI @ 28 DAYS).
2. ALL REINFORCING BARS SHALL BE #4 GRADE 60 STEEL (100% TIED), UNLESS OTHERWISE SPECIFIED.
3. ROUND ALL EXPOSED SHARP EDGES WITH A ROUNDING TOOL TO A MINIMUM RADIUS OF 1/4" INCH.
4. 6" CONCRETE MIN. REINFORCEMENT:  
LONGITUDINAL: #4 BARS @ 18" C-C  
TRANSVERSE: #4 BARS @ 36" C-C
5. 8" CONCRETE MIN. REINFORCEMENT:  
LONGITUDINAL: #5 BARS @ 24" C-C  
TRANSVERSE: #5 BARS @ 36" C-C
6. REGARDING NOTES 4 AND 5, AN EQUAL OR LARGER AREA OF REINFORCEMENT BARS MAY BE UTILIZED.
7. THIS DETAIL PROVIDES THE MINIMUM REQUIREMENTS, AND FINAL PAVEMENT DESIGN SHALL BE BY A REGISTERED PROFESSIONAL ENGINEER.



LONGITUDINAL CONSTRUCTION JOINT

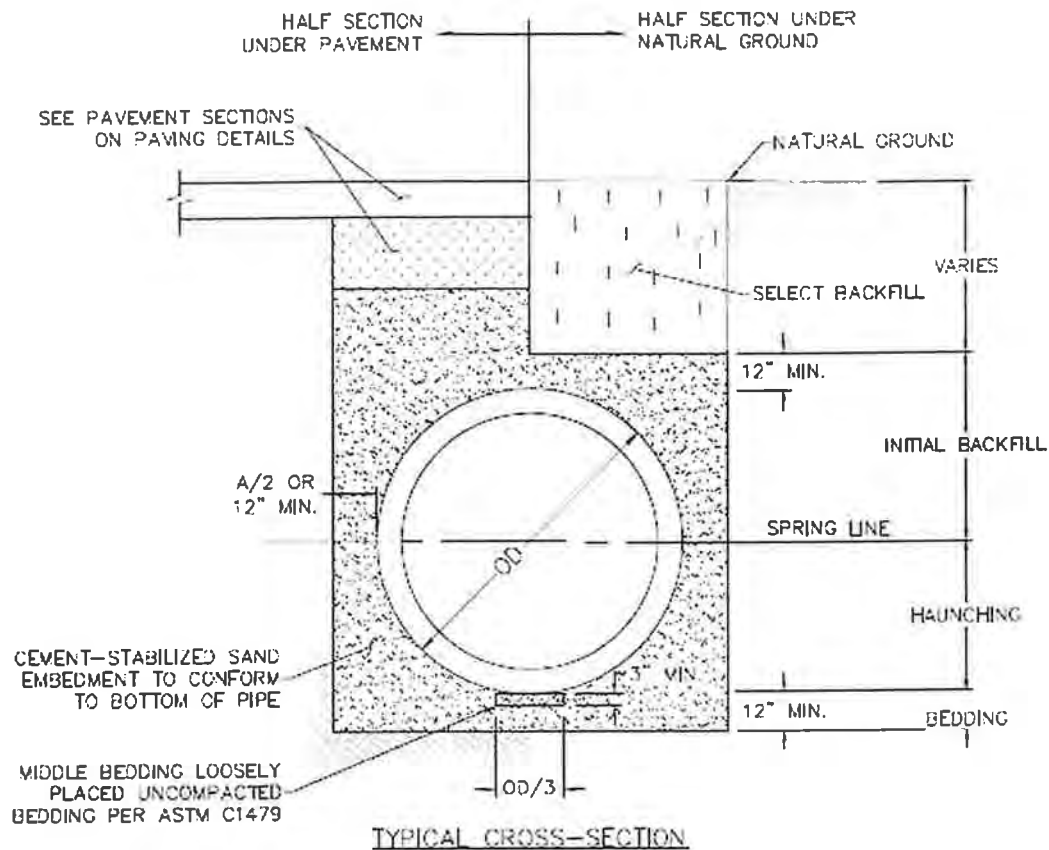
**CONCRETE PAVEMENT  
DETAILS**

WALKER COUNTY

SCALE: NTS 05/2025



## Appendix I - Storm Bedding and Backfill Details



**NOTES:**

1. THIS DETAIL MAY BE USED ONLY FOR DRY STABLE TRENCH CONDITIONS.
2. MINIMUM TRENCH WIDTH SHALL BE PIPE OD PLUS AN ALLOWANCE "A" FOR THE NOMINAL PIPE SIZE:

NOMINAL PIPE SIZE	"A"
18" TO 30"	24"
OVER 30"	36"

3. MAXIMUM TRENCH WIDTH SHALL BE NOT GREATER THAN MINIMUM TRENCH WIDTH PLUS 24 INCHES, UNLESS OTHERWISE NOTED
4. CEMENT STABILIZED SAND TO BE BACKFILLED UP TO BOTTOM OF SUBGRADE WHERE PIPES CROSS ANY ROAD.
5. ANY STORM SEWER 48 INCHES OR SMALLER LOCATED UNDERNEATH OR WITHIN 1 FOOT OF A PAVING SECTION SHALL BE BEDDED AND BACKFILLED WITH 2 SACK CEMENT STABILIZED SAND.

**RCP STORM BEDDING  
AND BACKFILL DETAIL**

WALKER COUNTY

SCALE: NTS. 05/2025

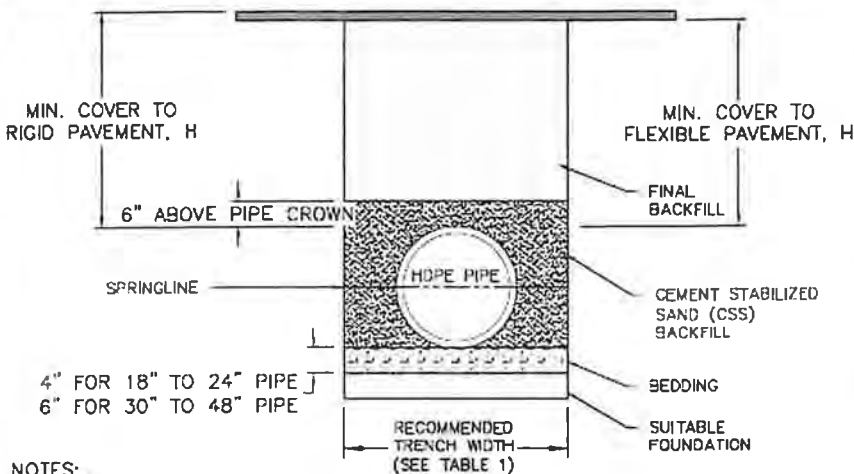


TABLE 1  
RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
18" (450mm)	45" (1143mm)
24" (600mm)	52" (1321mm)
30" (750mm)	60" (1524mm)
36" (900mm)	78" (1981mm)
42" (1050mm)	83" (2108mm)
48" (1200mm)	90" (2286mm)

**NOTES:**

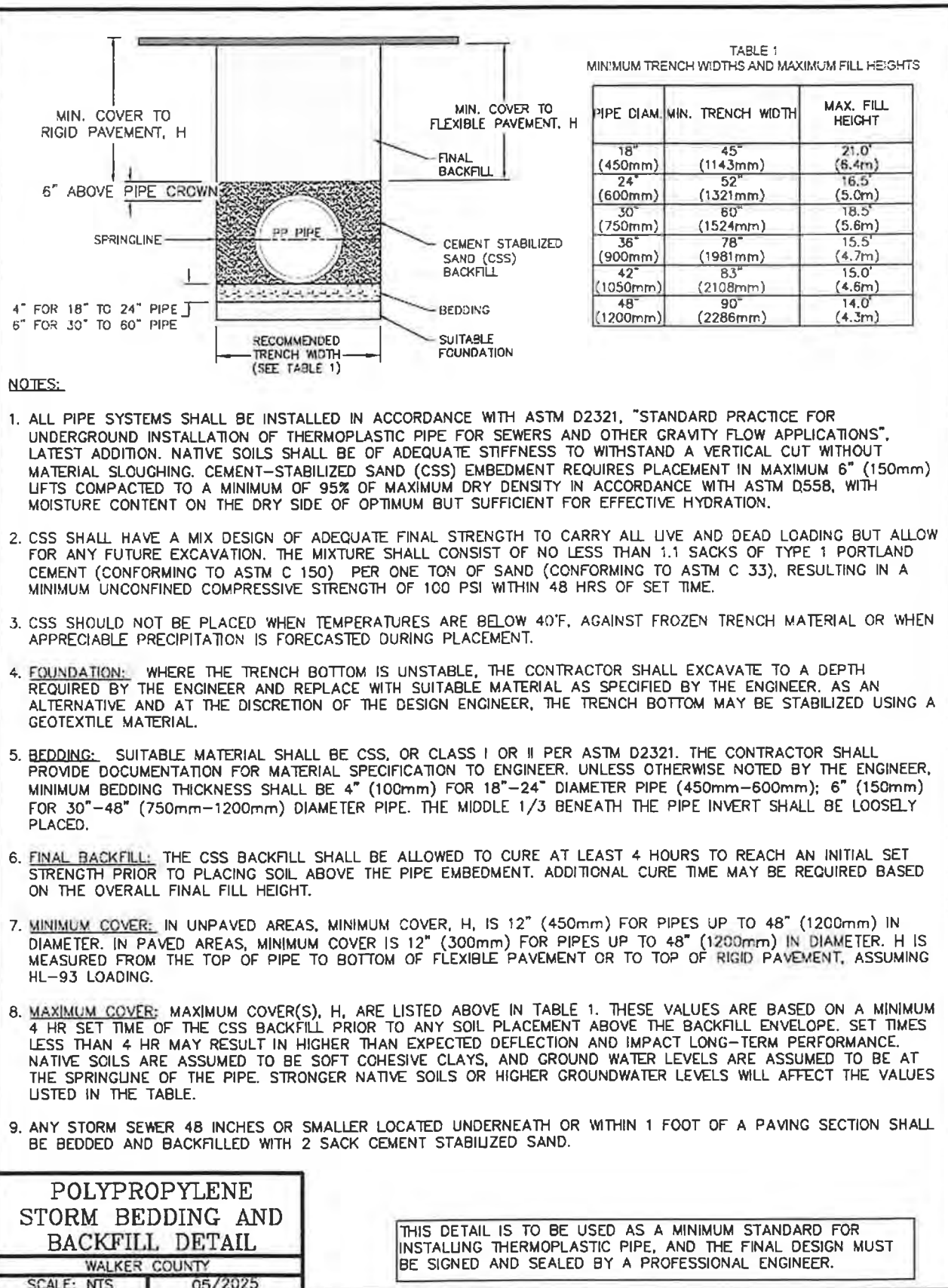
1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION. NATIVE SOILS SHALL BE OF ADEQUATE STIFFNESS TO WITHSTAND A VERTICAL CUT WITHOUT MATERIAL SLOUGHING. DUE TO THE FINAL SET STRENGTH, CEMENT STABILIZED SAND (CSS) SHALL BE COMPACTED TO 95% SPD OR GREATER. SEE NOTES 7 AND 9 REGARDING SET STRENGTH.
2. RECOMMENDED TRENCH WIDTHS ARE LISTED IN TABLE 1 PER ASTM D2321. THESE VALUES ARE BASED ON PROVIDING SUFFICIENT SPACE BETWEEN THE PIPE O.D. AND THE TRENCH WALL, SUCH THAT WORKING ROOM FOR COMPACTION EQUIPMENT IS PROVIDED WITHOUT DAMAGING THE PIPE OR TRENCH WALL INTEGRITY. NARROWER TRENCHES MAY BE POSSIBLE BASED ON THE COMPACTION EQUIPMENT.
3. CSS SHALL HAVE A MIX DESIGN OF ADEQUATE FINAL STRENGTH TO CARRY ALL LIVE AND DEAD LOADING BUT ALLOW FOR ANY FUTURE EXCAVATION. TYPICAL 7 DAY COMPRESSIVE STRENGTHS RANGE BETWEEN 50 AND 100 PSI. MIX DESIGNS CAN VARY BASED ON THE CEMENT, ASH, SOIL, ADMIXTURES, AND WATER RATIO AND SHALL BE DESIGNED AND DEFINED BY THE ENGINEER OF RECORD. THE AMERICAN CONCRETE INSTITUTE (ACI) REPORT ACI 230.1R-09 IS ONE RESOURCE THAT PROVIDES MIX DESIGNS BASED ON DIFFERENT CLASSIFICATIONS OF SOIL.
4. CSS SHOULD NOT BE PLACED WHEN TEMPERATURES ARE BELOW 40°F, AGAINST FROZEN TRENCH MATERIAL OR WHEN APPRECIABLE PRECIPITATION IS FORECASTED DURING PLACEMENT.
5. **FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
6. **BEDDING:** SUITABLE MATERIAL SHALL BE CSS, OR CLASS I OR II PER ASTM D2321. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 18"-24" DIAMETER PIPE (300mm-600mm); 6" (150mm) FOR 30"-48" (750mm-1200mm) DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED.
7. **FINAL BACKFILL:** THE CSS BACKFILL SHALL BE ALLOWED TO CURE AT LEAST 4 HOURS TO REACH AN INITIAL SET STRENGTH PRIOR TO PLACING SOIL ABOVE THE PIPE EMBEDMENT. ADDITIONAL CURE TIME MAY BE REQUIRED BASED ON THE OVERALL FINAL FILL HEIGHT (SEE NOTE 9).
8. **MINIMUM COVER:** MINIMUM COVER, H, IS 12" (300mm) THROUGH 48" (1200mm) DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
9. **MAXIMUM COVER:** MAXIMUM COVER, H, IS BASED ON A MINIMUM 4HR SET TIME OF THE CSS BACKFILL PRIOR TO ANY SOIL PLACEMENT ABOVE THE BACKFILL ENVELOPE. FILL HEIGHTS UP TO 15FT ARE SUITABLE FOR ALL DIAMETERS. LONGER SET TIME MAY ALLOW FOR GREATER FILL HEIGHTS, CONTACT AN ADS REPRESENTATIVE FOR GUIDANCE; SET TIME LESS THAN 4HR MAY RESULT IN HIGHER THAN EXPECTED DEFLECTION AND IMPACT LONG-TERM PERFORMANCE.
10. ANY STORM SEWER 48 INCHES OR SMALLER LOCATED UNDERNEATH OR WITHIN 1 FOOT OF A PAVING SECTION SHALL BE BEDDED AND BACKFILLED WITH 2 SACK CEMENT STABILIZED SAND.

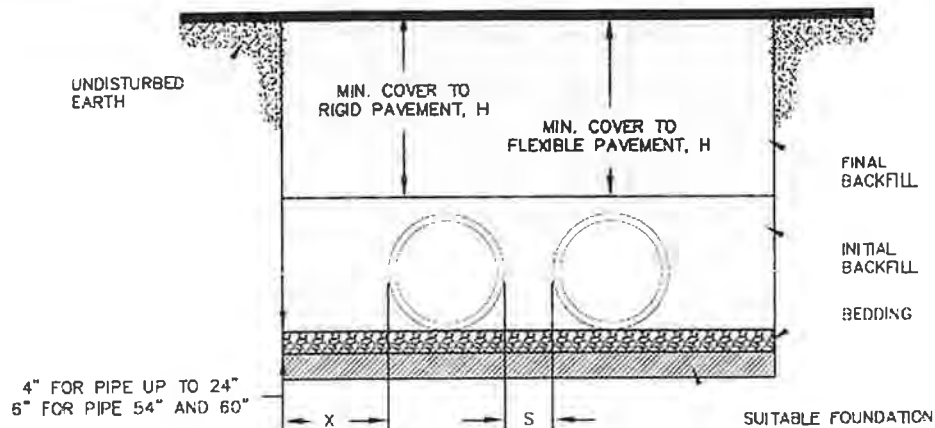
**HDPE STORM BEDDING  
AND BACKFILL DETAIL**

WALKER COUNTY

SCALE: NTS 05/2025

THIS DETAIL IS TO BE USED AS A MINIMUM STANDARD FOR  
INSTALLING THERMOPLASTIC PIPE, AND THE FINAL DESIGN MUST  
BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER.





MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
18" - 48" (450mm - 1200mm)	12" (305mm)	48" (1219mm)

\*VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

PIPE DIAM.	MIN. "X"	MIN. "S"
18" (450mm)	14" (356mm)	12" (305mm)
24" (600mm)	14" (356mm)	12" (305mm)
30" (750mm)	18" (457mm)	15" (381mm)
36" (900mm)	21" (533mm)	18" (457mm)
42" (1050mm)	21" (533mm)	21" (533mm)
48" (1200mm)	21" (533mm)	24" (610mm)

MINIMUM SPACING ("S") MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER

**NOTES:**

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. **FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL
4. **BEDDING:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-48" (750mm-1200mm).
5. **INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING TO THE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. **MINIMUM COVER:** MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
7. ANY STORM SEWER 48 INCHES OR SMALLER LOCATED UNDERNEATH OR WITHIN 1 FOOT OF A PAVING SECTION SHALL BE BEDDED AND BACKFILLED WITH 2 SACK CEMENT STABILIZED SAND.

**PARALLEL HDPE/PP  
PIPE STORM BEDDING  
AND BACKFILL DETAIL**

WALKER COUNTY

SCALE: NTS 05/2025

THIS DETAIL IS TO BE USED AS A MINIMUM STANDARD FOR INSTALLING THERMOPLASTIC PIPE, AND THE FINAL DESIGN MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER.