

Sheriff Clint McRae,
Captain John Davila,

I wanted to reach out to you gentlemen and let you know that the first part of NCIC's contract with Walker County Sheriff's Office for Inmate Communications is wrapping up on April 4, 2025, and written approval is needed to continue with the second part of our contract with the Walker County Sheriff's Office.

The second part consists of 4-1yr renewals with written consent each year. NCIC has added more equipment and internet to the facility in the last few months and would like to request the Courts approval for the next 2 years of service with the Walker County Sheriff's Office.

There will be no change to the contract and NCIC will continue to provide the services and support for the Walker County Sheriff's Office.

I have signed the letter of renewal below. If the County approves the above renewal, please have an authorized individual sign and date the County's section below and return to me by email or mail.

We truly appreciate the opportunity we have been given and look forward to serving the Walker County Sheriff's Office for years to come.

Respectfully,



03/11/2025

Douglas Morgan
Regional Sales Manager
Cell- 903-806-5884
Email: Doug.Morgan@ncic.com

County Representative



AMENDMENT
LEXIS®/LEXIS®+/LEXIS®+AI FOR
STATE/LOCAL GOVERNMENT
(EXISTING SUBSCRIBER VERSION - TERM)

"Subscriber" Name: Walker County, Tx District Attorney's Office
Account Number: 100010PPX
"LN": LexisNexis, a division of RELX Inc.

1. Amendment

This Amendment ("Amendment") amends and supplements the terms of the Lexis Subscription Agreement previously entered into between LexisNexis, a division of RELX Inc. ("LN") and Subscriber (the "Subscription Agreement"). This Amendment shall serve as Subscriber's acceptance of the General Terms & Conditions for Use of the Online Services in effect as of the date of this Amendment and displayed at: <https://www.lexisnexis.com/en-us/terms/GovtAcademic/terms.page>.

2. Certification

- 2.1. Subscriber certifies that the number of government professionals in Subscriber's organization is as set forth below. A "Government Professional User" is defined as an attorney, judge, librarian, researcher, investigator or analyst who is employed by the Subscriber.

Number of Government Professional Users:	10
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- 2.2. A "Support Staff User" is defined as a person who supports the Government Professional User, including, but not limited to: paralegals, interns, legal secretaries or other administrative support members. 1 ID will be issued to support staff for each Government Professional User accounted for above. Support Staff Users will receive access at no additional charge.

- 2.3. Each LN ID must be issued for individual use by the Government Professional User or Support Staff User.

- 2.4. If Subscriber, at the time of signing this Amendment has 11 or more Government Professional Users, then Subscriber is required to notify LN if the number of Government Professional Users falls below 11. Subscriber shall, within 30 days of the staffing change, notify LN in writing.

- 2.5. Subscriber acknowledges that the pricing and menus provided to Subscriber in this Amendment depend in part on the number of Government Professional Users in Subscriber's organization. Subscriber certifies that as of the date Subscriber signs this Amendment there are the number of Government Professional Users in Subscriber's organization (the "Reference Number") as Subscriber has specified above.

- (a) At LN's request from time to time, Subscriber will certify in writing the then-current Reference Number.
- (b) If there is a change in the Reference Number during the Term, LN may, in its sole discretion on at least 30 days prior written notice to Subscriber, increase or decrease the Monthly Commitment by an amount that does not exceed, on a percentage basis, the change in the Reference Number.

3. Lexis+ Product and Charges

- 3.1. This Section 3 amends the Subscription Agreement with respect to the Lexis+ product offering described below. The term of Subscriber's commitment for the Lexis+ product offering will begin upon the date Subscriber's billing account ("Account Number") is activated ("Activation") and will continue for the last period set forth in Section 3.3 below (the "Committed Term"). Subscriber may not terminate this Amendment for convenience under the General Terms during the Committed Term. Notwithstanding the foregoing, Subscriber may terminate this Amendment during the Committed Term for a material breach by LN that remains uncured for more than 30 days after LN receives written notice from Subscriber identifying a specific breach. If Subscriber terminates this Amendment pursuant to this Section, then Subscriber will pay all charges incurred up to the date of termination.

Lexis+ Content & Features		
Product	SKU Number	Number of Users
Core Public Records with Smartlinx Person, Business and Location Reports	1004801	10
Criminal Law Library	1010626	10
Prosecutor Premium Library	1011969	10



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All Legislative Bill Histories	1509667	10
TX National Government Package	1537061	10
Lexis+™ Practical Guidance - State & Local Government	1534660	10

- 3.2. In exchange for access to the Lexis+ Content, Feature and/or Service set forth above in Section 3.1, Subscriber will pay to LN the following amount (the "Monthly Commitment") during the periods set forth below.

Committed Term	Monthly Commitment
7/1/2025 - 6/30/2026	\$1,180
7/1/2026 - 6/30/2027	\$1,239
7/1/2027 - 6/30/2028	\$1,301

- 3.3. During the Term, LN may make content and features available to Subscriber that are not included in the Lexis+ Content described above at an additional charge ("Out of Plan Materials"). Authorized Users trying to access Out of Plan Materials will be notified of the additional charges before the materials are displayed. If an Authorized User accesses the Out of Plan Materials, Subscriber will pay the transactional charge(s) displayed at the time of access. If Subscriber does not initial below, Out of Plan Materials will be excluded from Authorized User's search.

To have Out of Plan Materials available for your Authorized Users, initial here

(Initial)

- 3.4. Use of Lexis+ under this Amendment is available to Subscriber and its Authorized Users (defined in the General Terms).
- 3.5. LN may temporarily suspend access to Lexis+ until all unpaid amounts are paid in full. No claims directly or indirectly related to this Amendment with respect to amounts billed or payments made under this Amendment may be initiated by Subscriber more than 6 months after such amounts were first billed to Subscriber.

4. Closed Offer

The prices and other terms are subject to change if Subscriber has not submitted a signed original or copy on or before _____.

5. Confidential Information

Subject to any state open records or freedom of information statutes, this Amendment contains confidential pricing information of LN. Subscriber understands that disclosure of the pricing information contained herein could cause competitive harm to LN and will receive and maintain this Amendment in trust and confidence and take reasonable precautions against such disclosure to any third person. This Section 5 will survive the termination or expiration of this Amendment.

6. Support and Training

During the Term, Subscriber, with the support of LN, agrees to encourage the effective use of Lexis+ through:

- (a) Meaningful participation in additional ongoing programs presented by LN to update and train Authorized Users;
- (b) Authorize the periodic distribution of memos or other communications by LN and/or Subscriber to Authorized Users; and
- (c) The periodic review with LN of Subscriber's Authorized User's use of materials and training under this Amendment.



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7. Miscellaneous

This Amendment does not bind either party until it has been accepted by both parties. Subscriber may accept this Amendment by signing below. LN will accept this Amendment by providing Subscriber with access to Lexis+ or by signing below.

LEXISNEXIS WILL NOT ACCEPT ANY CHANGES, CORRECTIONS OR ADDITIONS TO THIS AMENDMENT UNLESS SUCH CHANGES ARE EXPRESSLY ACCEPTED BY LN IN WRITING. SUCH CHANGES WILL HAVE NO LEGAL EFFECT.

AGREED TO AND ACCEPTED BY:

Subscriber: Walker County, Tx District Attorney's Office
[MUST BE COMPLETED BY SUBSCRIBER]
Authorized Subscriber Signature:
Printed Name: _____
Job Title: _____
Date: _____

LexisNexis, a division of RELX Inc.

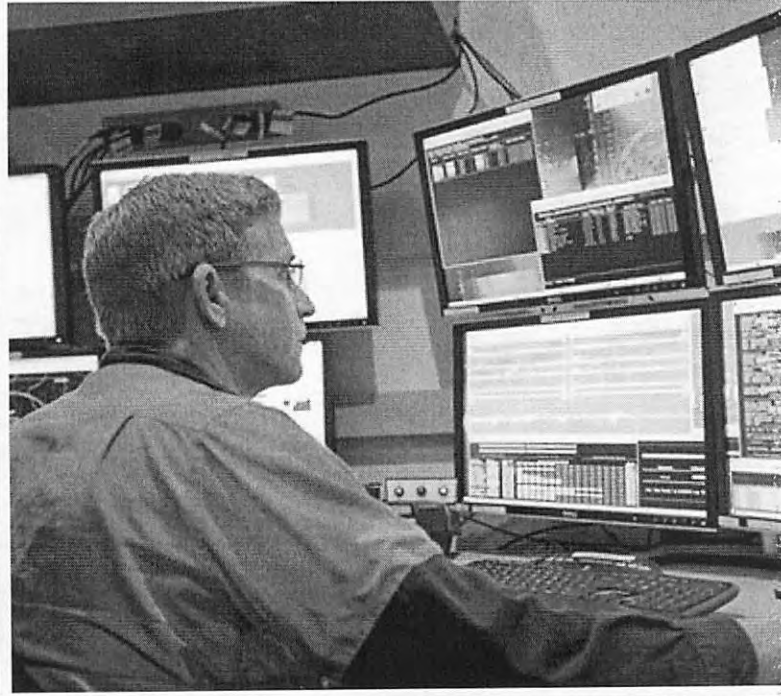
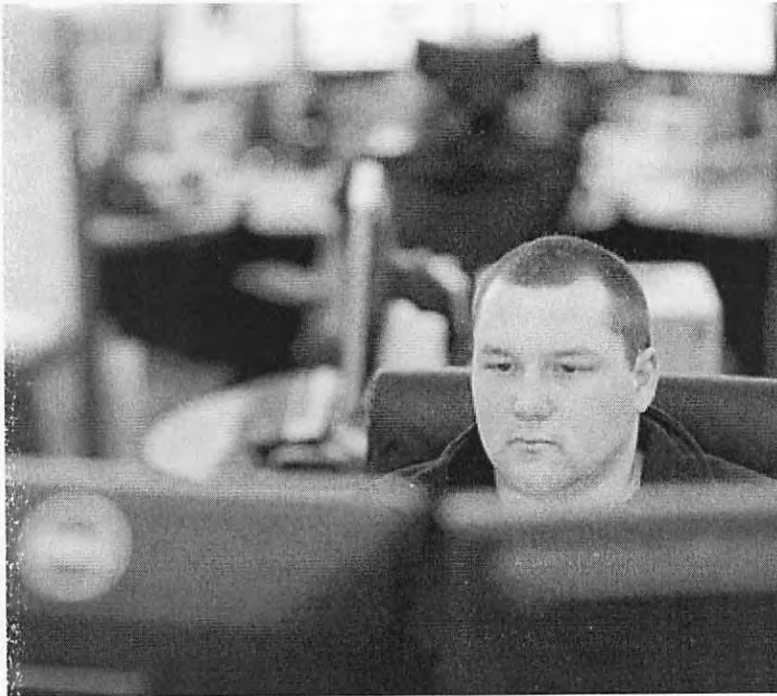
[COMPLETED BY LEXISNEXIS]

Authorized Signature:
Name: _____
Job Title: _____
Date: _____



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(EXISTING SUBSCRIBER VERSION - TERM)

Customer Information (please print or type)			
Organization Name (full legal name)		Walker County, Tx District Attorney's Office	
Billing Frequency		<input type="checkbox"/> Monthly	<input type="checkbox"/> Annually
Tax Exempt (if yes please provide exemption certificate)		<input type="checkbox"/> Yes	<input type="checkbox"/> No
New Invoice Contact Person	<input type="checkbox"/> Yes <input type="checkbox"/> No	First & Last Name	Email Address
PO Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No	PO #	
MSA # if applicable			



WALKER COUNTY

04/29/2024



MOTOROLA SOLUTIONS

QUOTE-2618602

04/29/2024

WALKER COUNTY
1301 SAM HOUSTON AVE
HUNTSVILLE, TX 77340

Dear ,

Motorola Solutions is pleased to present WALKER COUNTY with this quote for quality communications equipment and services. The development of this quote provided us the opportunity to evaluate your requirements and propose a solution to best fulfill your communications needs.

This information is provided to assist you in your evaluation process. Our goal is to provide WALKER COUNTY with the best products and services available in the communications industry. Please direct any questions to Kris Kram at kkram@texascom.com.

We thank you for the opportunity to provide you with premier communications and look forward to your review and feedback regarding this quote.

Sincerely,

Kris Kram

Motorola Solutions Manufacturer's Representative



Billing Address:
WALKER COUNTY
1301 SAM HOUSTON AVE
HUNTSVILLE, TX 77340
US

Quote Date:04/29/2024
Expiration Date:05/18/2025
Quote Created By:
Kris Kram
kkram@texascom.com

End Customer:
WALKER COUNTY

Contract: 38451 - TXWARN 2024

Summary:

Any sales transaction resulting from Motorola's quote is based on and subject to the applicable Motorola Standard Terms and Conditions, notwithstanding terms and conditions on purchase orders or other Customer ordering documents. Motorola Standard Terms and Conditions are found at www.motorolasolutions.com/product-terms.

Line #	Item Number	Description	Qty	List Price	Sale Price	Ext. Sale Price
1	NNTN7624C	CHARGER,CHR IMP VEH EXT NA/EU KIT	1	\$509.76	\$382.32	\$382.32
	APX™ 6500 / Enh Series	ENHANCEDAPX6500				
2	M25URS9PW1BN	APX6500 ENHANCED 7/800 MHZ MOBILE	4	\$3,518.00	\$2,093.21	\$8,372.84
2a	QA01648AA	ADD: HW KEY SUPPLEMENTAL DATA	4	\$6.00	\$3.57	\$14.28
2b	G996AS	ENH: OVER THE AIR PROVISIONING	4	\$110.00	\$65.45	\$261.80
2c	GA00580AA	ADD: TDMA OPERATION	4	\$495.00	\$294.53	\$1,178.12
2d	G66BJ	ADD: DASH MOUNT E5 APXM	4	\$138.00	\$82.11	\$328.44
2e	G51AU	ENH: SMARTZONE OPERATION APX6500	4	\$1,320.00	\$785.40	\$3,141.60
2f	G78AT	ENH: 3 YEAR ESSENTIAL SVC	4	\$288.00	\$288.00	\$1,152.00
2g	GA01606AA	ADD: NO BLUETOOTH/ WIFI/GPS ANTENNA NEEDED	4	\$0.00	\$0.00	\$0.00
2h	B18CR	ADD: AUXILIARY SPKR 7.5 WATT APX	4	\$66.00	\$39.27	\$157.08
2i	G444AH	ADD: APX CONTROL HEAD SOFTWARE	4	\$0.00	\$0.00	\$0.00
2j	G806BL	ENH: ASTRO DIGITAL CAI OP APX	4	\$567.00	\$337.37	\$1,349.48
2k	GA01767AG	ADD: RADIO AUTHENTICATION	4	\$110.00	\$65.45	\$261.80



Any sales transaction following Motorola's quote is based on and subject to the terms and conditions of the valid and executed written contract between Customer and Motorola (the "Underlying Agreement") that authorizes Customer to purchase equipment and/or services or license software (collectively "Products"). If no Underlying Agreement exists between Motorola and Customer, then Motorola's Standard Terms of Use and Motorola's Standard Terms and Conditions of Sales and Supply shall govern the purchase of the Products.
Motorola Solutions, Inc.: 500 West Monroe, United States - 60661 - #: 36-1115800



Line #	Item Number	Description	Qty	List Price	Sale Price	Ext. Sale Price
2l	GA01670AA	ADD: APX E5 CONTROL HEAD	4	\$717.00	\$426.62	\$1,706.48
2m	W22BA	ADD: STD PALM MICROPHONE APX	4	\$79.00	\$47.01	\$188.04
2n	QA09113AB	ADD: BASELINE RELEASE SW	4	\$0.00	\$0.00	\$0.00
2o	G193AK	ADD: ADP ONLY (NON-P25 CAP COMPLIANT) (US ONLY)	4	\$0.00	\$0.00	\$0.00
2p	G174AD	ADD: ANT 3DB LOW-PROFILE 762-870	4	\$47.00	\$27.97	\$111.88
2q	G361AH	ENH: P25 TRUNKING SOFTWARE APX	4	\$330.00	\$196.35	\$785.40

Grand Total**\$19,391.56(USD)****Notes:**

- Unless otherwise noted, this quote excludes sales tax or other applicable taxes (such as Goods and Services Tax, sales tax, Value Added Tax and other taxes of a similar nature). Any tax the customer is subject to will be added to invoices.





Purchase Order Checklist NA OM

Marked as PO/ Contract/ Notice to Proceed on Company Letterhead
(PO will not be processed without this)

PO Number/ Contract Number

PO Date

Vendor = Motorola Solutions, Inc.

Payment (Billing) Terms/ State Contract Number

Bill-To Name on PO must be equal to the *Legal* Bill-To Name

Bill-To Address

Ship-To Address (If we are shipping to a MR location, it must be documented on PO)

Ultimate Address (If the Ship-To address is the MR location then the Ultimate Destination address must be documented on PO)

PO Amount must be equal to or greater than Order Total

Non-Editable Format (Word/ Excel templates cannot be accepted)

Tax Exemption Status

Signatures (As required)

NOTE: When an email order is submitted a confirmation is sent from Motorola AutoNotify referencing a case number.

Once checklist is complete, order still must go through **Order Validation/Credit Approval**

Rachel Parker

From: Kimberly Rerich
Sent: Monday, March 31, 2025 4:25 PM
To: Rachel Parker
Subject: RE: Salaries

This happened last year when certain of your positions were given that raise that was different than all the rest of the County and the rest of your people.

Kimberly Rerich
First Assistant Auditor
Walker County Auditor's Office
Phone 936-436-4936
krerich@co.walker.tx.us

From: Rachel Parker <rparker@co.walker.tx.us>
Sent: Monday, March 31, 2025 4:15 PM
To: Kimberly Rerich <krerich@co.walker.tx.us>
Subject: RE: Salaries

How does the District Chief have a higher budgeted amount than the Assistant Chief?

From: Kimberly Rerich <krerich@co.walker.tx.us>
Sent: Monday, March 31, 2025 11:40 AM
To: Rachel Parker <rparker@co.walker.tx.us>
Subject: RE: Salaries

See below

Kimberly Rerich
First Assistant Auditor
Walker County Auditor's Office
Phone 936-436-4936
krerich@co.walker.tx.us

From: Rachel Parker <rparker@co.walker.tx.us>
Sent: Friday, March 28, 2025 2:01 PM
To: Kimberly Rerich <krerich@co.walker.tx.us>
Subject: Salaries

Can you send me the annual and hourly salary ranges for both of the job descriptions below:

- Assistant EMS Chief - \$ 90,629 is the amount budgeted for the position. The minimum for the pay group is \$ 76,999
- EMS District Chef - \$ 90,712 is the amount budgeted for the position. The minimum for the pay group is \$ 69,959

Thank you so much!

Rachel Parker
Get Outlook for iOS



ELLIOTT ELECTRIC SUPPLY

P.O. Box 206524, Dallas, TX 75320-6524

www.ElliottElectric.com

Quote #10-58977

926 HWY 19

HUNTSVILLE, TX 77320

936-439-0658

Page: 1

Customer Account: (8817690) Ship To Information: Customer Phone: 936-435-8099 Customer Job/PO: STORM SHELTER LIGHTING
WALKER CO PURCHASING & AUDITOR WALKER COUNTY PURCHASING DEPCustomer Job Phone: 936-436-4944
P O BOX 1260 1301 SAM HOUSTON AVE STE 100
ATTN: ACCOUNTS PAYABLE HUNTSVILLE, TX 77340
HUNTSVILLE, TX 77342-1260

• ATTENTION: Do Not Deliver From This Document!

Salesman: Lang, Ashley

Quote Date: 3/19/2025

Date and Time Printed: 3/26/2025 10:33:21 AM

Item Number	Quote Quantity	Catalog Number	Vendor Code	Description	Price	Unit Code	Extended Price
1	12	ASDLSB5BHVPR0500	ASD	300/400/500W LED AREA LIGHT 3K/4K/5K 200-480V QBAS	\$ 309.64	E	\$ 3,715.68
2	12	ASDAMR2LSBBR	ASD	ADJUSTABLE ARM MOUNTING BRACKET	\$ 30.94	E	\$ 371.28
Total: \$							4,086.96

Customer Information:

Here is a quote for 12 of the high voltage lighting

There is one of each type of mounting bracket for pricing reference.



**6640 Signat
Houston, Texas 77041
Phone (713) 466 6800
Fax (713) 466 4234
www.aarinc.net**

March 28, 2025

Walker County Purchasing Office
1301 Sam Houston Ave. Suite 235.
Huntsville TX 77340

Ref: Additional Mold Remediation

Re: Mold Remediation of Court Reporter Office in the Walker County Courthouse, County Court at Law., located at 7007 Bertner Ave., in Houston, Texas 77030

Laura Buccafurni:

We are pleased to submit pricing as requested for mold remediation of all identified mold contaminated materials in the sheetrock walls in the Court Reporter Office, with the following means and methods; in the above referenced project as follows:

- A. Remove the bottom 4ft of sheetrock (in the areas prescribed in the AMS Amended Mold Remediation Protocol, Drawing Page 15) for surface mold contamination.
- B. Remove all exposed wall insulation.
- C. Remove all affected base cove.
- D. Replace all removed building materials and paint to match existing.

Mold Remediation as follows:

- 1. Set up a critical barrier in the work area with a layer of fire retardant 6-mil polyethylene sheeting.***
- 2. Perform all gross removal work under negative pressure through the use of HEPA vacuum or HEPA filtered negative air machine. If feasible, exhaust air outside of the building in such a manner as to avoid exhaust air being reintroduced into the facility. Barriers and ventilation should be placed in such a manner as to prevent spore migration from the current work area to other areas within the building.***
- 4. Clean walls, wall cavities, floors, and non-porous materials with an EPA registered disinfectant detergent per manufacturer's recommendations.***
- 5. Encapsulate the exposed sheetrock surfaces with an approved mold encapsulant.***
- 6. Notify the Mold Assessment Consultant upon completion for clearance and cleanliness verification***

AAR reserves the right to adjust the above scope of work and pricing upon opening the walls and finding that it is necessary to open the walls beyond 4 feet up from the floor.

Mold Remediation Price: (Phase 2)
Two Thousand Five Hundred Dollars

\$ 2,500.00 (taxes not included)

Repair Price: (Phase 2)
Two Thousand Nine Hundred Fifty Dollars

\$ 2,950.00 (taxes not included)

Total Price:
Five Thousand Four Hundred Fifty Dollars \$5,450.00 (taxes not included)

Owner Assumptions:

Owner to provide required Consultant and Testing of the project for Mold Remediation.

Owner to provide power & water for remediation.

Remediation and repair work to be performed during Phase 2 of the original scope of work.

Our quotation is based on the following:

DSHS, EPA and OSHA approved remediation work techniques

\$10,000,000 CSL general liability policy including risks associated with mold remediation

Payment Bond Included

Complete Close out Documentation

AAR will work during regular business hours.

AAR acknowledges receipt of Amended Mold Protocol.

Schedule: **Schedule timelines are estimates only**

Court Reporter Office – 1 day for Mold Remediation / 2 days for Repairs

Sub-Contractor (Repairs):

Menville Construction

4859 Mustang Road

Brenham, TX 77833

Exclusions:

Replacement of any removed materials.

8.25% service tax is not included.

AAR will require a tax exempt letter.

No repair and/or replacement of flooring is offered in this proposal.

If you have any questions regarding this quote, feel free to call me at (713) 466 6800 or by mobile (281) 650-8106.

Sincerely,

Michael Mackey
Project Manager



TEXAS ASSOCIATION *of* COUNTIES HEALTH AND EMPLOYEE BENEFITS POOL

February 3, 2025

Affordable Care Act Reporting and Tracking Service (ARTS) Renewal Information

The Texas Association of Counties Health and Employee Benefits Pool (TAC HEBP) has begun the renewal process for those counties and districts participating in the Affordable Care Act Reporting and Tracking Service (ARTS). Renewal will enable your entity to produce the forms required by IRS Sections 6055/6056 for calendar year 2025, assuming this reporting continues to be a requirement. Reporting will consist of Form 1095C, which must be provided both to employees and the IRS (plus transmittal Form 1094C, filed with IRS). Current law requires all employers with 50 or more full-time equivalent employees to file these forms. ARTS will provide measurement period tracking for 2025 and beyond (to determine whether an employee must be offered health coverage), as well as affordability testing for groups that require employee contributions toward the cost of their own health coverage.

As your county or district provides health benefits through TAC HEBP, ARTS will continue to be available at NO COST in 2025, assuming program deadlines are met.

Your entity will need to continue sending employee, payroll, and unpaid leave of absence files to TAC HEBP in order to utilize this service for the 2025 reports. **Payroll data must be provided for each payroll cycle. Employee files must be provided, at a minimum, once per quarter. LOA files may be provided if and when applicable.** The information provided will be used to determine:

- 1) whether individuals are eligible for a federal premium subsidy or tax credit; and
- 2) whether your entity is subject to penalties under the ACA employer mandate.

Some payroll vendors have worked with TAC to produce these files for you. You will be responsible for the completion of required information in your payroll system and submission to TAC, but this eliminates the need for manually producing additional spreadsheets.

If you use a payroll system that will produce the required IRS forms, and you determine that your entity does not need measurement period tracking or affordability monitoring, you may not need ARTS. It is a service offered by TAC and is completely optional.

Enclosed is the **2025 ARTS Renewal Confirmation Program Agreement** on page 1. Please return a signed copy (initials on pages 1 and 2, signature on page 3) to your Employee Benefits Consultant or email to ARTS@county.org no later than 3/31/2025 if your entity wishes to continue its participation in the program. If you have any questions, please contact your Employee Benefits Consultant at (800) 456-5974.



TEXAS ASSOCIATION of COUNTIES HEALTH AND EMPLOYEE BENEFITS POOL

ACA Reporting and Tracking Service (ARTS) 2025 ARTS Renewal Confirmation Program Agreement

HEBP Member: (Pooled Group or ASO)

Program Services

The ARTS program includes the following services:

- *Measurement, Administrative, and Stability Period tracking for 2025 and notification of eligibility for part-time / variable / seasonal employees (can provide tracking back to beginning of Measurement Period if 2024 data was provided by county/district).*
- *Reporting for your county/district regarding the status of potential benefits-eligible employees.*
- *Production of your county/district's 1095C forms, shipped to you for distribution to employees (optional direct mail service for additional fee).*
- *Transmission of your county/district's 1094C and 1095C forms to the IRS.*

Program Requirements

- 1) Participants agree to provide employer, payroll, employee and unpaid leave of absence (LOA) files related to the group's Health Benefits Plan in the file format designated by TAC HEBP (ARTS Data File Guide attached):
 - **Payroll data files must be provided for each payroll cycle, and should be submitted at least once per calendar month.**
 - **Employee data files must be provided, at a minimum, once per quarter.**
 - **LOA data files may be provided if and when applicable.**

NOTE: *It is critical that we receive the files in the proper format and the correct naming convention. Failure to do so may result in our inability to provide this service to your county or district.*

- 2) Group agrees to pay program fees as described in the **2025 ARTS Fee Schedule** on page 2.

Enrollment and Data Submission Deadlines

- Please refer to the enclosed "2025 Deadlines for ARTS Files" document for details.
- Groups who wish to participate in the ARTS program must return the signed documents to TAC HEBP no later than **March 31, 2025** in order to participate.
- Data file transmission to TAC HEBP must begin no later than August 5, 2025, to avoid late fees, however, **we recommend that you continue sending your files after each payroll or at least monthly** to avoid getting backlogged.

_____ Initials



TEXAS ASSOCIATION *of* COUNTIES

HEALTH AND EMPLOYEE BENEFITS POOL

ACA Reporting and Tracking Service (ARTS) HEBP Member (Fully Insured or ASO) 2025 Fee Schedule for Renewing Participant

1	<input checked="" type="checkbox"/>	ARTS Annual Subscription Fee	*\$4.75 / form	Waived
2	<input type="checkbox"/>	Optional Forms Distribution <i>(group chooses to have TAC mail employee forms)</i>	\$ 1.50 / form	If applicable, will be billed in 2026 after forms are produced
3	<input type="checkbox"/>	Late fee for service election form <i>(after 3/31/2025)</i>	\$1,500	
4	<input type="checkbox"/>	Late fee for data submission <i>(after 8/4/2025 and/or 1/9/2026)</i>	\$3,000	If applicable, will be billed in 2026 after forms are produced
		Total Amount Due: (if zero, enter 0.00)		\$ _____

**Per 1095C form*

Fees subject to change annually

_____ Initials



TEXAS ASSOCIATION of COUNTIES HEALTH AND EMPLOYEE BENEFITS POOL

ACA Reporting and Tracking Service (ARTS) Contact Designation Form

Contracting Authority: Walker County (Group Name) hereby designates and appoints, as indicated in the space provided below, a ~~Contracting~~ Authority of department head rank or above and agrees that any notice to, or agreement by, a Group's Contracting Authority, with respect to service or claims hereunder, shall be binding on the Group. Each Group reserves the right to change its Contracting Authority from time to time by giving written notice to HEBP.

Name: Amy Klawinsky Title: Treasurer
Address: 1301 Sam Houston Ave Suite 103 Huntsville TX 77340
Phone: 936.436.4934 Fax: 936.436.0888
Email: aklawinsky@co.walker.tx.us

Primary Contact: Main contact for data file and reporting matters pertaining to the ARTS program.

Name: Amy Klawinsky Title: Treasurer
Mailing Address: 1301 Sam Houston Ave Suite 103 Huntsville TX 77340
Delivery Address (no PO Boxes): _____
Phone: 936.436.4934 HIPAA Secured Fax#: 936.436.0888
Email: aklawinsky@co.walker.tx.us

Other Contact Emails for ARTS correspondence regarding data files, if any:

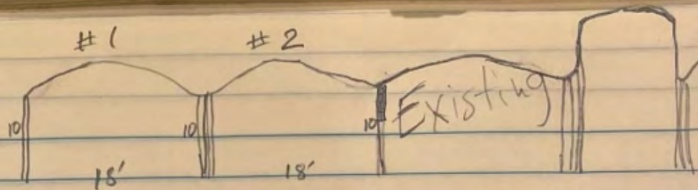
Signature of County Judge or Contracting Authority

Date

Print Name and Title

Payroll Software provider: Sage HRMS
Software Version #: 10.7074

Reg.



18' x 25' 2137

14 1163

connection 282

Labor 125

3' side panel 185.50

Sub Total 3892.50

10% off - 389.25

Total 3503.25

18' x 25' 2137

14' 1163

connection 282

Labor 125

3707

Sub Total 3707.00

10% off - 370.70

Total 3336.30

No

TAX

Both

6839.55



WALKER COUNTY PLAT APPLICATION

If any section is not applicable to the proposed development project please mark that section "NA"
All references to the Walker County Subdivision Regulations will be abbreviated WCSR in this document.

SECTION A – OWNER / APPLICANT INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Last Name Jenkins	A2. Property Owner's First Name Michael	Application Number: P-2025-001
A3. Mailing Address [REDACTED]		Date of Submittal: 1-3-25
		Precinct Number: 3
City [REDACTED]	State [REDACTED]	ZIP Code [REDACTED]
A4. Primary Telephone Number [REDACTED]	A5. Alternate Phone Number	
A6. Email Address [REDACTED]	A7. Name of Lienholder (If no lienholder mark "None")	
SECTION B – PROFESSIONAL SERVICES		
<p>Owner shall provide the names of the Professional Engineer, Registered Professional Land Surveyor, and any Authorized Representative for the Plat Application. By including the information of an Authorized Representative on the application the Owner/Applicant agrees that this individual is given authority to sign for, submit, receive, and make any decisions related to the submitted application on behalf of the owner. In the case that the owner wishes to retract this authority, the Owner/Applicant shall submit this retraction in writing to the Planning and Development Office. If no Authorized Representative is named then all communications related to the project will be submitted to the Owner/Applicant. All correspondence, including but not limited to notices, approvals, disapprovals, and conditions are authorized to be sent to any listed Mailing Address or Electronic Mail account.</p>		
B1. Name of Registered Professional Land Surveyor (R.P.L.S.) Harold E. (Eddie) McAdams	B2. Phone Number of R.P.L.S. 936-295-3304 or 936-577-2136	
B3. Email of R.P.L.S. haroldmcadams46@gmail.com	B4. Mailing Address of R.P.L.S. 1025 12th Street Huntsville, Texas 77340	
B5. Name of Professional Engineer N/A	B6. Phone Number of P.E. N/A	
B7. Email of P.E. N/A	B7. Mailing Address of P.E. N/A	
B9. Name of Authorized Representative	B10. Phone Number of Authorized Representative.	
B11. Email of Authorized Representative	B12. Mailing Address of Authorized Representative.	

SECTION C – PARENT TRACT PROPERTY INFORMATION <i>Information for the tract or tracts of land that are the subject of the plat application</i>				
C1. Is the property located within the city limits of Huntsville, New Waverly, or Riverside? (Mark with "X")			*Yes	<input checked="" type="checkbox"/> No
<i>*If the answer to C1 is "Yes" then the applicant will need to apply to the City having jurisdiction.</i>				
C2. Is the property within two miles of the City of Huntsville? (Mark with "X")			*Yes	<input checked="" type="checkbox"/> No
<i>*If the answer to C2 is "Yes" then the applicant will need to submit any plat applications to the City of Huntsville.</i>				
C3. Is the property within 1/2 mile of the City of New Waverly? (Mark with "X")			Yes	<input checked="" type="checkbox"/> No
<i>The Abstract, Tract #, and Survey Name are generally included in the property description on the deed, the Geographic Id # can be obtained from the Walker County Appraisal District, the Appraisal District Map or the most recent property tax statement issued for the property. If a property is in a platted subdivision items B10 – B13 must be filled out using information from the property deed, if not in a platted subdivision mark these sections "NA"</i>				
C4. Property Acreage	C5.. Appraisal Geographic ID #	C6. Survey Name	C7. Abstract #	
2.50	PID 37868	A.R. MAGEE	400	
<i>Section C8 – C11 are for Amending Plat and Replat Applications only.</i>				
C8. Subdivision Name		C9. Lot #s	C10. Block #	C11. Section #
Walnut Creek		Lot 7	#	One, BLK. 2
C12. Deed Record Filing Information for Parent Tract (s) (WCDR and WCOPR are the record sets of the County Clerk - Mark the record set with an "X") If more than one tract please indicate multiple deeds.				
Volume / Document #	Page	<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)	
Inst. #101306		<input checked="" type="checkbox"/>	Walker County Official Public Records (WCOPR)	
		<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)	
Volume / Document #	Page	<input type="checkbox"/>	Walker County Official Public Records (WCOPR)	
		<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)	
Volume / Document #	Page	<input type="checkbox"/>	Walker County Official Public Records (WCOPR)	
		<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)	
Volume / Document #	Page	<input type="checkbox"/>	Walker County Official Public Records (WCOPR)	
		<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)	

SECTION D – APPLICATION TYPE <i>Please choose a single application type from the list below and mark with an "X".</i>	
D1. _____	Plat Application (This application is required for all plat applications including improvements <u>or</u> including more than 4 lots)
D2. _____	Minor Plat Application (This application is required for minor subdivisions with no proposed infrastructure <u>and</u> 4 or less lots.)
D3. <u>X</u>	Re-Plat / Amending Plat Application (This application is required to alter or amend a previously platted subdivision)
D4. _____	Exception Application (This application is required in order to obtain approval for subdivisions excepted from the WCSR.)

SECTION E - REQUEST FOR A GUIDANCE REVIEW		
<p>The request for a guidance review is only allowable if an application is submitted incomplete. The guidance review is voluntary and must be requested by the owner/applicant below and authorized by the County. This review of the submitted documents prior to a complete application is outside the standard review timelines, however the applicant/ owner may proceed to submit a complete application without awaiting the results of this review. If at any time during the Guidance Review process a completed application is submitted then the Guidance Review will cease, and the incomplete results of the review will not be forwarded to the applicant. Any deficiencies or comments released as part of the guidance review are not to be considered as a final review, but are collected to assist the owner and owner's agents in their efforts to comply with the regulations.</p>		
E1. The Developer/Owner does hereby voluntarily make a request for a "Guidance Review" of the application if the application is found to be incomplete.	X	<div style="display: flex; justify-content: space-between;"> <div>Yes, a review is requested</div> <div>No, a review is not requested</div> </div>

SECTION F – SUBDIVISION APPLICATION DETAILS

(The # of Proposed Lots shall include any Reserve or Remainders Created by the Subdivision)

F1. Original Acreage 2.5	F2. Original # of Tracts 1	F3. # of Proposed Lots 2	F4. Proposed Name of Subdivision Walnut Creek
-----------------------------	-------------------------------	-----------------------------	--

SECTION G – ENGINEERING AND PROPOSED IMPROVEMENTS

G1. Will the proposed subdivision utilize a public water system?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
G2. Will the proposed subdivision utilize individual on-site sewage facilities?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
G3. Will the proposed subdivision include the construction of road, drainage, or other improvements regulated by the WCSR?	<input type="checkbox"/> Yes *	<input checked="" type="checkbox"/> No
G4. If the answer to G3 is "Yes" then what is the estimated cost of construction of all regulated improvements?		
G5. If the answer to G3 is "Yes" then what is the approximate length of all proposed roads in linear feet?		
G6. Will the proposed subdivision access from or across a Texas Department of Transportation system road?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

SECTION H – CERTIFICATIONS AND ACKNOWLEDGEMENTS

I, the below signed individual, am the legal owner or legal representative of the owner of the property described in this application, and do hereby certify that the information contained in this application is a true and correct under penalty of law. The below signature further represents my understanding, agreement, and acceptance of the following items:

- Authorization is hereby given to Walker County and its representatives to enter onto the private property described in the application for the purpose of inspection and regulation related to this application and the applicable regulations.
- I have read and understand the requirements of the Walker County Subdivision Regulations, and understand it is my responsibility to comply with all the requirements therein.
- The completion and acceptance of this application by Walker County in no way shall be construed as a guarantee that the proposed construction will be approved for installation. This application may be rejected as incomplete for 10 business days after the original submittal of the application at any point without any refund of the application fee. This includes that no refund shall be given for applications submitted incomplete or applications withdrawn. The applicant also recognizes that additional resubmittals, applications, or responses after the initial application may result in a fee increase to the original application fee, and that any increase in the fee must be paid when the additional submittal is submitted.
- The completion and acceptance of this application is not an authorization to perform any activity. A final approval of the application and approval of the plat for filing must be made in writing prior to any subdivision of property or filing of any plat. I understand that any approvals made related to this application are made subject to the minimum requirements of the Walker County Subdivision Regulations.
- If no direct variance is granted to the Walker County Subdivision Regulations or other State or Federal requirements then no approval under this application shall be construed to provide a waiver to compliance with those regulations and the Owner/Applicant is still fully responsible for compliance with said regulations.
- The fee for the subdivision applications may be calculated based on variable factors including cost of construction, number of lots, length of road centerline, and the quantity of revisions, replacement applications, and responses. The initial calculated fee charged at the original submittal may increase during the application timeline if any of these variables change or are calculated in error. Any increase in the fee must be paid as part of any submittal of a revision, replacement, or response to an application.
- I hereby release, indemnify, and hold harmless Walker County and its employees and agents for any and all claims, costs, or liabilities, expressly including alleged negligence, or for any damages to property or persons arising from the inspection, construction, development, design, or review related to this application or occurring under any permit issued in relation to this application. I understand that I and my agents are completely and wholly responsible for the design and construction of all necessary improvements to local, State, and Federal Standards.
- I certify that all necessary permits from those Federal, State, or local government agencies (including but not limited to Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334 (Corps of Engineers), Texas Commission on Environmental Quality, Texas Historical Commission, United States Fish and Wildlife (Endangered Species), Texas Water Development Board, TXDOT, and City Approvals, etc.) have been obtained.

Signature

Date

Printed Name

Michael Jenkins

1-3-25

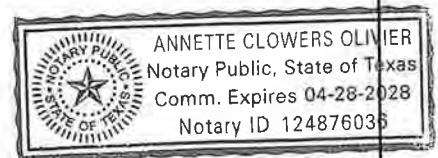
Michael Jenkins

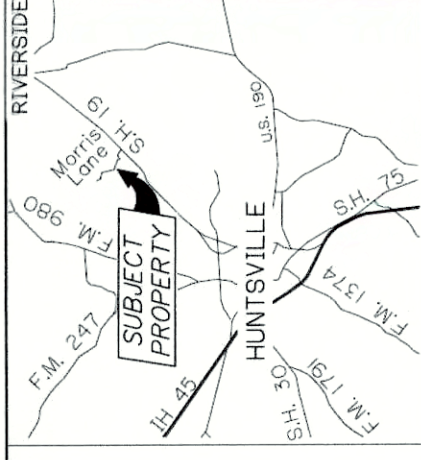
THE STATE OF Texas § COUNTY OF Walker §

Before me Annette C. Olivieri a notary public on this day personally appeared

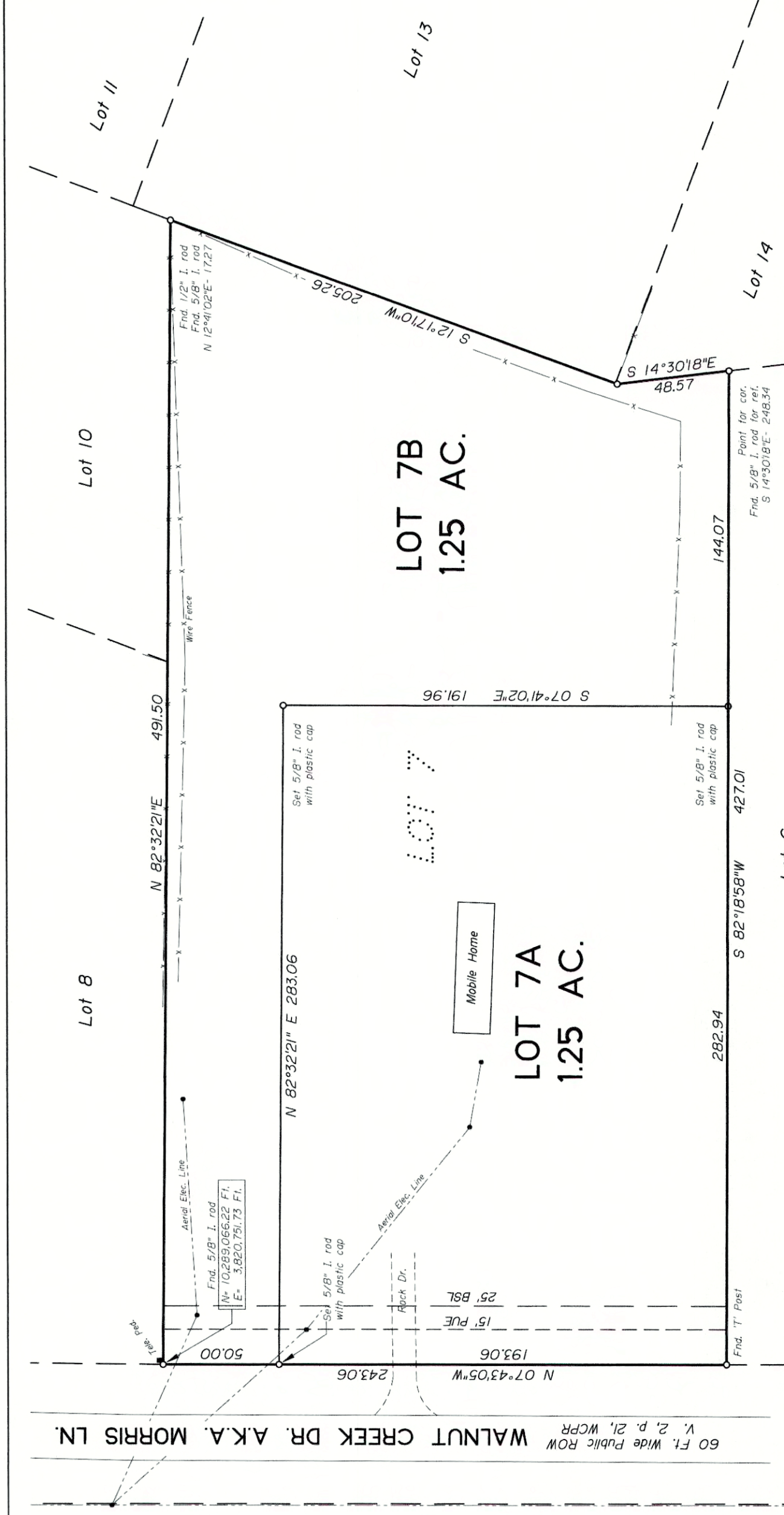
known to me (or proved to me) to be the person whose name is subscribed to the forgoing instrument and acknowledged to me that he executed the same for purposes and consideration there in expressed.

Given under my hand and seal of office this 3rd Day of Jan., 2019. 2025





VICINITY MAP



APPROVAL OF COMMISSIONERS COURT

The Commissioners Court of Walker County, Texas, does hereby certify that this map or plat, for a subdivision having been fully presented to the Commissioners Court of Walker County, Texas, and by the said Court duly considered, was on this day approved and that this plat is authorized to be registered and recorded in the proper records of the County Clerk of Walker County, Texas. This certification is based upon the representations of the developer/developer's agent, engineer, sanitarian, and/or surveyor whose seal(s) and/or signatures are affixed hereto. This certification is made solely upon such representations and should not be relied upon for verifications of the facts alleged. Walker County disclaims any responsibility to any member of the public for independent verification of the representations, factual or otherwise, contained in this plat and the documents associated with it.

DATED this _____ day of _____, 20____.

Colt Christian
County Judge

Danny Kuykendall
Commissioner, Precinct 1

Ramie White
Commissioner, Precinct 2

Bill Daugette
Commissioner, Precinct 3

Brandon Decker
Commissioner, Precinct 4

ON-SITE SEWAGE FACILITY REVIEW

Based upon a review of the plat and plans as represented by the said engineer or surveyor, I, the below signed design/review professional, being qualified to make said determination under Texas law, find that this plat complies with the requirements of the Walker County On-Site Sewage Facility Regulations, and Title 30 of the Texas Administrative Code, Chapter 285, including but not limited to the suitability of the proposed lots to accommodate on-site applicable facilities within the proposed development considering all of the requirements of Title 30, 285 TAC and any applicable local orders. I also agree that Walker County, its agents, and assigns bear no responsibility to any member of the public for independent verification of the representations, factual or otherwise, contained in this plat and the documents associated with it.

[Signature]
Prof. Sanitarian No. 3523

SURVEYOR NOTES

1. Replat of Lot 7, Block 2, Walnut Creek, Section One, a subdivision recorded in Vol. 2, pg. 21, Plat Records of Walker County, Texas. Restrictions recorded in Vol. 450, pg. 428, Deed Records of Walker County, Texas.
2. Coordinates, bearings and distances shown herein are Grid NAD 83 (1993), Texas Central Zone referenced to the City of Huntsville Mapping Control Network and are based on the position of Control Point 6007 having published coordinates of N 10-22-02.226356 P., E. 3-16-56.576 P., and 1.716 P. observations. Distances may be converted to Geoidic Horizontal (Surface) by dividing by a Combined Scale Factor of 0.999988.
3. Unless otherwise noted "plastic caps" referenced herein are 1-3/4" diameter, yellow in color and stamped "H.E. McAdams, R.P.L.S. No. 2005".
4. This property is within Zone X, "areas determined to be outside the 0.2% annual chance floodplain", according to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48042-0275D and Map No. 4847C0275D dated August 16, 2011.
5. This survey was completed without an Abstract of Title. There may be easements and other matters not shown.

COUNTY NOTES

6. Regulations' policies on drainage runoff due to the development of impervious areas created through the development of the lot for residential, commercial, or recreational use. It is the responsibility of lot owners to comply with any regulations or limitations noted, and permits issued by Walker County, Texas, for the development of the lot. The responsibility of the lot owner is to ensure that the lot is developed in accordance with the regulations and permits issued by Walker County, Texas, for the development of the lot. The responsibility of the lot owner is to ensure that the lot is developed in accordance with the regulations and permits issued by Walker County, Texas, for the development of the lot.
7. Walker County will at no point be under any obligation to accept maintenance of the roads or associated drainage features, as the roads and associated drainage features were developed and approved, by request of the owner, specifically for private maintenance.
8. All lots within the subdivision and the owners thereof must continue to accept all existing drainage flows and drainage structures in place at the time of development that are a part of the existing drainage system and are not to be removed or altered in any way that would affect the existing or designed system of drainage, in addition to all natural flows of water entering onto or crossing the property.
9. No structure or land within this plat shall hereafter be developed without first obtaining a Development Permit from the Walker County Floodplain Administrator unless the proposed development is exempt or excepted from the Walker County Floodplain Development Regulations.
10. The lowest finished floor elevation shall be in minimum compliance with the Local, State, or Federal regulations whichever elevation is higher.
11. Cluster and individual mailboxes, if allowed, shall be set three feet from the edge of the pavement or behind curbs, when used. All mailboxes within County arterial right-of-way shall meet the current TxDOT standards. Any mailbox that interferes or negatively affects the maintenance or use of the roads or drainage system may be removed by Walker County.
12. It is the responsibility of the Owner, not the County, to assure compliance with the provisions of all applicable state, federal and local laws and regulations relating to the platting and development of this property.
13. The County assumes no responsibility for the accuracy of representations by other parties in this plat. Floodplain data, in particular, may change. It is further understood that the Owner(s) of the tract of land covered by this plat, its successors and/or assigns, or a designated property owner's association must install and maintain at their own expense all roads, structures, drainage facilities, and other improvements necessary for the development of the property. It is the responsibility of the Owner(s) of the tract of land covered by this plat, its successors and/or assigns, or a designated property owner's association to ensure that the property is developed in accordance with the regulations and permits issued by Walker County, Texas, for the development of the property.
14. Utilities shall be installed within a dedicated utility easement. Utilities are not permitted within drainage easements, unless specifically excepted by the subdivision regulations.
15. If any portion of the original parent tract being subdivided as a Minor Subdivision is further subdivided so that the total area of the original parent tract exceeds 40 acres, then all new lots created from the replat shall be addressed by the replat applications engineering plans, including detention for all new lots created by the replat. A note to this effect shall be placed on the face of the plat.
16. This plat does not seek to change or amend any existing deed restrictions.

OWNER'S ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS §
COUNTY OF WALKER §

I, Michael Jenkins, Managing Member of RITE LIVING ENTERPRISES, LLC, owner of the certain tract of land shown herein and shown on a Plat of Walnut Creek, Section One recorded in Instrument No. 10306 of the Official Public Records of Walker County, Texas, and do hereby re-subdivide said tract as shown herein, and do hereby consent to all plat note requirements shown herein, and do hereby forever dedicate to the public the roads, alleys, rights-of-way, easements and public places shown herein for such public purposes as Walker County may deem appropriate and do hereby state that all public roadways and easements as shown on this plat are free of liens or this dedication is approved by a lender. This subdivision is to be known as REPLAT OF LOT 7, BLOCK 2, WALNUT CREEK, SECTION ONE, CREATING LOTS 7A & 7B.

TO CERTIFY WHICH, WITNESS by my hand this 10th day of February, 2025.

Signed *Michael Jenkins*
Michael Jenkins, Managing Member
1050 Trinity Cat Off
Huntsville, Texas 77320

NOTARY PUBLIC ACKNOWLEDGEMENT

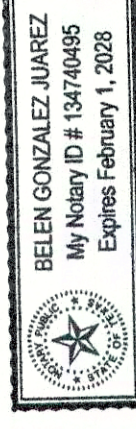
STATE OF TEXAS §
COUNTY OF WALKER §

This Instrument was acknowledged before me

on this 10th day of February, 2025.

by *Michael Jenkins*

Notary Public for State of Texas



LIENHOLDER ACKNOWLEDGEMENT AND SUBORDINATION STATEMENT

We, owners and holder of a lien against the property described as REPLAT OF LOT 7, BLOCK 2, WALNUT CREEK, SECTION ONE, a subdivision within the County of Walker, said Property recorded in Volume 2, Page 21, Plat Records of Walker County, Texas, said lien being evidenced by Instrument of record in Instrument No. 10306, Official Public Records of Walker County, Texas, do hereby, in all things subordinate to said plat said lien, and we hereby confirm that we are the present owners of said lien and have not assigned the same nor any part thereof.

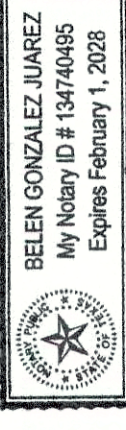
By: *Loth Lehman*
Loth Lehman, SVP
First National Bank of Huntsville

NOTARY PUBLIC ACKNOWLEDGEMENT

The State of Texas §
County of Walker §

This Instrument was acknowledged before me on the 10th day of February, 2025, by Kyle Whisenand, SVP First Financial Bank, N.A., Huntsville.

Belen Gonzalez Juarez
Notary Public
State of Texas



CERTIFICATION BY THE COUNTY CLERK

STATE OF TEXAS §
COUNTY OF WALKER §

I, Kari A. French, Clerk of the County Court of said County, do hereby certify that the foregoing instrument in writing, with its certificate of authentication was filed for record in my office

on the _____ day of _____, 20____.

at _____ o'clock, _____ M., and duly recorded this

on the _____ day of _____, 20____.

at _____ o'clock, _____ M., in the Plat Records of said County in

Volume _____, page _____.

Kari A. French, Clerk County
Court of Walker County, Texas

By: _____ Deputy

REPLAT OF

LOT 7, BLOCK 2
WALNUT CREEK, SECTION ONE
CREATING LOT 7A & 7B

A.R. MAGEE SURVEY, A-400
WALKER COUNTY, TEXAS

SEPTEMBER 2024

SCALE: 1" = 50 FEET
H.E. McADAMS & SON SURVEYING, INC.
Registered Professional Land Surveyors
P.O. Box 5047, Huntsville, Texas 77342
TBPELS Firm No. 10194425



WALKER COUNTY PLAT APPLICATION

If any section is not applicable to the proposed development project please mark that section "NA"
All references to the Walker County Subdivision Regulations will be abbreviated WCSR in this document.

SECTION A - OWNER / APPLICANT INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Last Name Toth	A2. Property Owner's First Name George	Application Number: P-2025-005
A3. Mailing Address [REDACTED]		Date of Submittal: 7 7 25
		Precinct Number: 2
City [REDACTED]	State [REDACTED]	ZIP Code [REDACTED]
A4. Primary Telephone Number [REDACTED]	A5. Alternate Phone Number [REDACTED]	
A6. Email Address [REDACTED]	A7. Name of Lienholder (If no lienholder mark "None") None	
SECTION B - PROFESSIONAL SERVICES		
<p>Owner shall provide the names of the Professional Engineer, Registered Professional Land Surveyor, and any Authorized Representative for the Plat Application. By including the information of an Authorized Representative on the application the Owner/Applicant agrees that this individual is given authority to sign for, submit, receive, and make any decisions related to the submitted application on behalf of the owner. In the case that the owner wishes to retract this authority, the Owner/Applicant shall submit this retraction in writing to the Planning and Development Office. If no Authorized Representative is named then all communications related to the project will be submitted to the Owner/Applicant. All correspondence, including but not limited to notices, approvals, disapprovals, and conditions are authorized to be sent to any listed Mailing Address or Electronic Mail account.</p>		
B1. Name of Registered Professional Land Surveyor (R.P.L.S.) Joe Fuller	B2. Phone Number of R.P.L.S. 936-662-2934	
B3. Email of R.P.L.S.	B4. Mailing Address of R.P.L.S. P.O. Box 1783 Huntsville, TX 77342	
B5. Name of Professional Engineer	B6. Phone Number of P.E.	
B7. Email of P.E.	B7. Mailing Address of P.E.	
B9. Name of Authorized Representative Adam Tokar	B10. Phone Number of Authorized Representative. [REDACTED]	
B11. Email of Authorized Representative [REDACTED]	B12. Mailing Address of Authorized Representative.	

SECTION C – PARENT TRACT PROPERTY INFORMATION <i>Information for the tract or tracts of land that are the subject of the plat application</i>				
C1. Is the property located within the city limits of Huntsville, New Waverly, or Riverside? (Mark with "X")			*Yes	<input checked="" type="checkbox"/> No
<i>*If the answer to C1 is "Yes" then the applicant will need to apply to the City having jurisdiction.</i>				
C2. Is the property within two miles of the City of Huntsville? (Mark with "X")			*Yes	<input checked="" type="checkbox"/> No
<i>*If the answer to C2 is "Yes" then the applicant will need to submit any plat applications to the City of Huntsville.</i>				
C3. Is the property within 1/2 mile of the City of New Waverly? (Mark with "X")			Yes	<input checked="" type="checkbox"/> No
<i>The Abstract, Tract #, and Survey Name are generally included in the property description on the deed, the Geographic Id # can be obtained from the Walker County Appraisal District, the Appraisal District Map or the most recent property tax statement issued for the property. If a property is in a platted subdivision items B10 – B13 must be filled out using information from the property deed, if not in a platted subdivision mark these sections "NA"</i>				
C4. Property Acreage 2.139	C5. Appraisal Geographic ID # 0032-121-0-0-01461	C6. Survey Name Mercer GR (A-32), Tract 14.61		C7. Abstract # 0032
Section C8 – C11 are for Amending Plat and Replat Applications only.				
C8. Subdivision Name Toth-Tokai		C9. Lot #s	C10. Block #	C11. Section #
C12. Deed Record Filing Information for Parent Tract (s) (WCDR and WCOPR are the record sets of the County Clerk - Mark the record set with an "X") If more than one tract please indicate multiple deeds.				
Volume / Document # Deed Volume: 1209 Deed Number: 18945	Page 680	<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)	
		<input checked="" type="checkbox"/>	Walker County Official Public Records (WCOPR)	
Volume / Document #	Page	<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)	
		<input type="checkbox"/>	Walker County Official Public Records (WCOPR)	
Volume / Document #	Page	<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)	
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Volume / Document #	Page	<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)	
		<input type="checkbox"/>	Walker County Official Public Records (WCOPR)	
SECTION D – APPLICATION TYPE				
<i>Please choose a single application type from the list below and mark with an "X".</i>				
D1. _____ Plat Application (This application is required for all plat applications including improvements <u>or</u> including more than 4 lots)				
D2. _____ Minor Plat Application (This application is required for minor subdivisions with no proposed infrastructure <u>and</u> 4 or less lots.)				
D3. <input checked="" type="checkbox"/> Re-Plat / Amending Plat Application (This application is required to alter or amend a previously platted subdivision)				
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SECTION E - REQUEST FOR A GUIDANCE REVIEW				
The request for a guidance review is only allowable if an application is submitted incomplete. The guidance review is voluntary and must be requested by the owner/applicant below and authorized by the County. This review of the submitted documents prior to a complete application is outside the standard review timelines, however the applicant/ owner may proceed to submit a complete application without awaiting the results of this review. If at any time during the Guidance Review process a completed application is submitted then the Guidance Review will cease, and the incomplete results of the review will not be forwarded to the applicant. Any deficiencies or comments released as part of the guidance review are not to be considered as a final review, but are collected to assist the owner and owner's agents in their efforts to comply with the regulations.				
E1. The Developer/Owner does hereby voluntarily make a request for a "Guidance Review" of the application if the application is found to be incomplete.			<input checked="" type="checkbox"/> Yes, a review is requested	<input type="checkbox"/> No, a review is not requested

SECTION F – SUBDIVISION APPLICATION DETAILS

(The # of Proposed Lots shall include any Reserve or Remainders Created by the Subdivision)

F1. Original Acreage 2-139	F2. Original # of Tracts 1	F3. # of Proposed Lots 1	F4. Proposed Name of Subdivision ?
-------------------------------	-------------------------------	-----------------------------	---------------------------------------

SECTION G – ENGINEERING AND PROPOSED IMPROVEMENTS

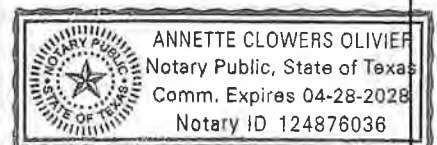
G1. Will the proposed subdivision utilize a public water system?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
G2. Will the proposed subdivision utilize individual on-site sewage facilities?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
G3. Will the proposed subdivision include the construction of road, drainage, or other improvements regulated by the WCSR?	<input checked="" type="checkbox"/> Yes *	<input type="checkbox"/> No
G4. If the answer to G3 is "Yes" then what is the estimated cost of construction of all regulated improvements?		
G5. If the answer to G3 is "Yes" then what is the approximate length of all proposed roads in linear feet?		
G6. Will the proposed subdivision access from or across a Texas Department of Transportation system road?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

SECTION H – CERTIFICATIONS AND ACKNOWLEDGEMENTS

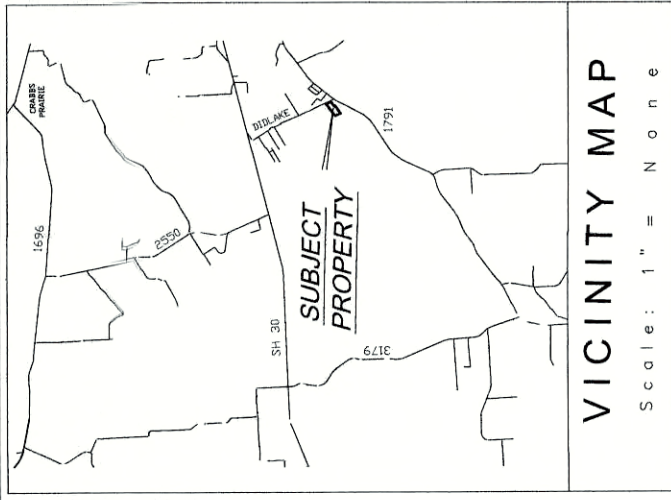
I, the below signed individual, am the legal owner or legal representative of the owner of the property described in this application, and do hereby certify that the information contained in this application is a true and correct under penalty of law. The below signature further represents my understanding, agreement, and acceptance of the following items:

1. Authorization is hereby given to Walker County and its representatives to enter onto the private property described in the application for the purpose of inspection and regulation related to this application and the applicable regulations.
2. I have read and understand the requirements of the Walker County Subdivision Regulations, and understand it is my responsibility to comply with all the requirements therein.
3. The completion and acceptance of this application by Walker County in no way shall be construed as a guarantee that the proposed construction will be approved for installation. This application may be rejected as incomplete for 10 business days after the original submittal of the application at any point without any refund of the application fee. This includes that no refund shall be given for applications submitted incomplete or applications withdrawn. The applicant also recognizes that additional resubmittals, applications, or responses after the initial application may result in a fee increase to the original application fee, and that any increase in the fee must be paid when the additional submittal is submitted.
4. The completion and acceptance of this application is not an authorization to perform any activity. A final approval of the application and approval of the plat for filing must be made in writing prior to any subdivision of property or filing of any plat. I understand that any approvals made related to this application are made subject to the minimum requirements of the Walker County Subdivision Regulations.
5. If no direct variance is granted to the Walker County Subdivision Regulations or other State or Federal requirements then no approval under this application shall be construed to provide a waiver to compliance with those regulations and the Owner/Applicant is still fully responsible for compliance with said regulations.
6. The fee for the subdivision applications may be calculated based on variable factors including cost of construction, number of lots, length of road centerline, and the quantity of revisions, replacement applications, and responses. The initial calculated fee charged at the original submittal may increase during the application timeline if any of these variables change or are calculated in error. Any increase in the fee must be paid as part of any submittal of a revision, replacement, or response to an application.
7. I hereby release, indemnify, and hold harmless Walker County and its employees and agents for any and all claims, costs, or liabilities, expressly including alleged negligence, or for any damages to property or persons arising from the inspection, construction, development, design, or review related to this application or occurring under any permit issued in relation to this application. I understand that I and my agents are completely and wholly responsible for the design and construction of all necessary improvements to local, State, and Federal Standards.
8. I certify that all necessary permits from those Federal, State, or local government agencies (including but not limited to Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334 (Corps of Engineers), Texas Commission on Environmental Quality, Texas Historical Commission, United States Fish and Wildlife (Endangered Species), Texas Water Development Board, TXDOT, and City Approvals, etc.) have been obtained.

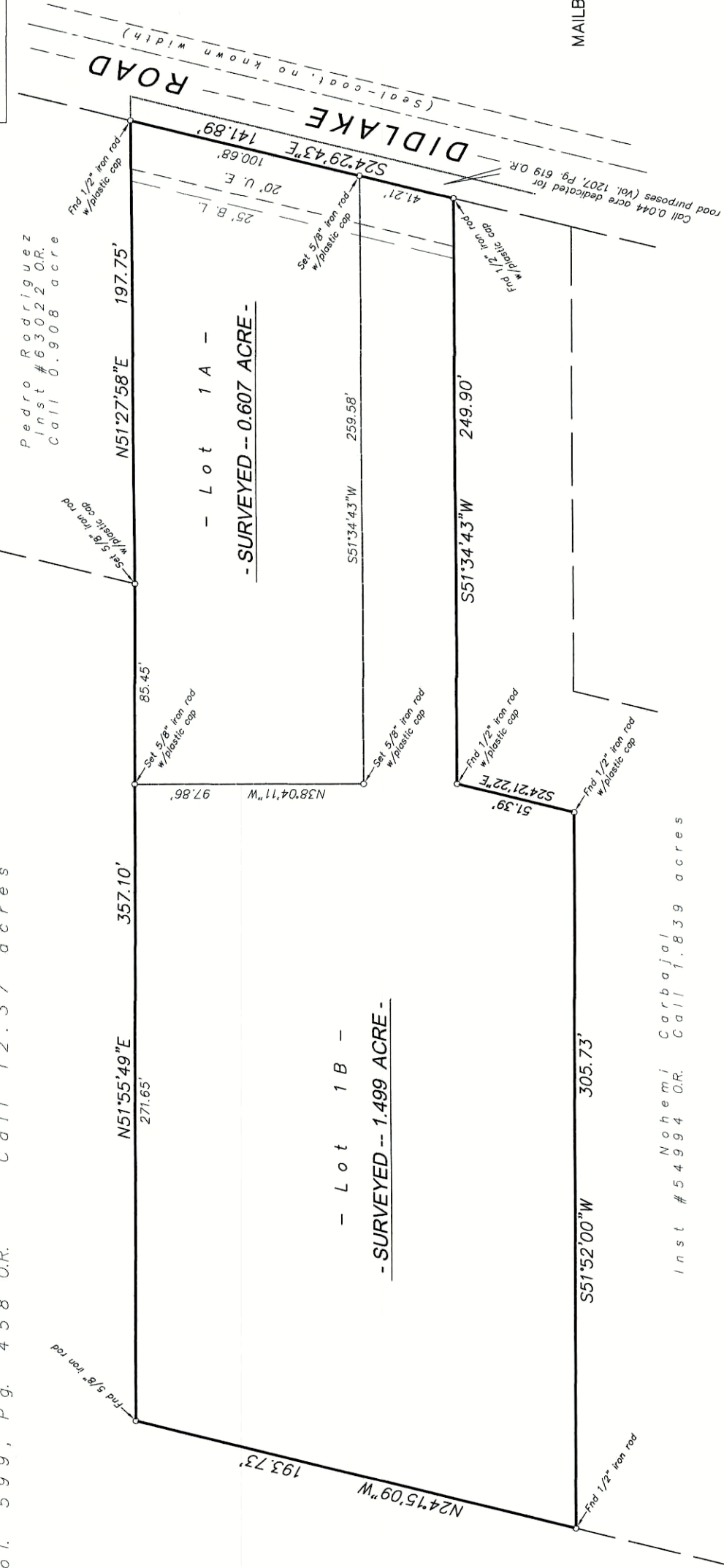
Signature <i>George Toth</i>	Date 3-5-25	Printed Name George Toth
THE STATE OF <u>Texas</u> § COUNTY OF <u>Walker</u> §		
Before me <u>Annette C. Olivier</u> a notary public on this day personally appeared <u>George Toth</u> known to me (or proved to me) to be the person whose name is subscribed to the forgoing instrument and acknowledged to me that he executed the same for purposes and consideration there in expressed.		
Given under my hand and seal of office this <u>7th</u> Day of <u>March</u> , 20 <u>25</u>		



Vol. 599, Pg. 438 O.R. Call 12.37 acres



PANEL No. 48471 C 0350 D Date/Revised Date: August 16, 2011



NOTES:

1. Bearings referenced to NAD 1983, Texas-Central Zone. Bearings based on GPS observations. Distances and areas are Grid and may be converted to Surface Horizontal by dividing by a scale factor of 0.99988;
2. This survey was performed without the benefit of a title commitment. Easements and other matters may exist not shown by this survey;
3. This plat does not seek to change or amend any deed restrictions;
4. Cluster and individual mailboxes, if allowed, shall be set three feet from the edge of the pavement or behind curbs, when used. All mailboxes within the County arterial right-of-way shall meet the current TxDOT standards. Any mailbox that interferes or negatively affects the maintenance or use of the roads or drainage system may be removed by Walker County.
5. Deed: (2,139 acres), Adam Tokai to George Toth, recorded in Volume 1209, Page 680 (Tract 1), O.R.;

MAILBOX

3.73 If any portion of the original parent tract being subdivided as a Minor Subdivision is further subdivided so that the total number of daughter tracts created from the original parent tract exceeds 4, then all new lots created must be addressed by the re-plat application's engineering plans, including detention for all new lots created by the replat.

OWNERS DEDICATION (C1)

State of Texas
County of Walker

KNOW ALL MEN BY THESE PRESENTS:

We, George and Maria Toth, sole owners of the certain tract of land shown hereon and described in a Deed recorded in Volume 1209, Page 680, Official Records of Walker County, Texas and do hereby state that there are no lien holders on the certain tract of land and do hereby subdivide said tract as shown hereon, and do hereby consent to all plat note requirements shown hereon, and do hereby forever dedicate to the public the roads, alleys, rights-of-way, easements and public places shown hereon for such public purposes as Walker County may deem appropriate and do hereby state that all public roadways and easements as shown on this plat are free of liens or this dedication is approved by a lienholder. This subdivision is to be known as a Re-plat of Tract 1 (2,139 acres), of the TOTH-TOKAI 3,978 ACRE Subdivision.

TO CERTIFY WHICH, WITNESS by my hand this 28th day of March, 2025.

Signed, George Toth
George Toth
262A Didlake Road
Huntsville, Texas 77340

Signed, Maria Toth
Maria Toth
262A Didlake Road
Huntsville, Texas 77340

NOTARY PUBLIC ACKNOWLEDGEMENT

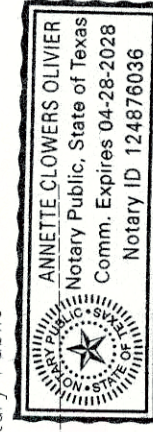
STATE OF TEXAS

COUNTY OF WALKER

BEFORE ME, the undersigned authority, on this day personally appeared George and Maria Toth, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE, this the 28th day of March, 2025.

Annette C. Oliver
Notary Public



COMMISSIONERS COURT APPROVAL (C4)

STATE OF TEXAS

COUNTY OF WALKER

The Commissioners Court of Walker County, Texas, does hereby certify that this plat, with field notes hereon, for a subdivision having been fully presented to the Commissioners Court of Walker County, Texas and by the said Court duly considered, was on this day approved and that this plat is authorized to be registered and recorded in the proper records of the County Clerk of Walker County, Texas.

This certification is based upon the representations of the developer/developer's agent, engineer, sanitation, and/or surveyor whose seal(s) and/or signatures are affixed hereto. This certification is made solely upon such representations and should not be relied upon for verifications of the facts alleged. Walker County disclaims any responsibility to any member of the public for independent verification of the representations, factual or otherwise contained in this plat and the documents associated with it.

County Judge
Colt Christian

Commissioner, Pct. 1
Danny Kuykendall

Commissioner, Pct. 2
Ronnie White

Commissioner, Pct. 3
Bill Daugeite

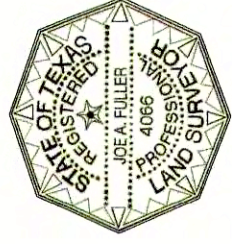
Commissioner, Pct. 4
Brandon Decker

DEVELOPMENT NOTES (C9)

No structure or land within this plat shall hereafter be developed without first obtaining a Development Permit from the Walker County Floodplain Administrator unless the proposed development is exempt or excepted from the Walker County Floodplain Development Regulations.

The minimum lowest finished floor elevation shall be in minimum compliance with the local, State or Federal regulations, whichever elevation is higher.

I, JOE A. FULLER, Registered Professional Land Surveyor, do hereby certify that this plat represents a survey made on the ground under my supervision and that all monuments and apparent easements are shown hereon.



Signed, Joe A. Fuller
Joe A. Fuller
P.O. Box 1783
Huntsville, Texas 77340

February 28, 2025

UTILITIES (C11)

Utilities shall be installed within a dedicated utility easement. Utilities are not permitted within drainage easements, unless specifically excepted by the subdivision regulations.

LEGEND

D.R. Walker County Deed Records
O.R. Walker County Official Records
B.L. Set Back Lines
U.E. Utility Easements

OWNERS RESPONSIBILITIES (C3)

It is the responsibility of the Owner, not the County, to assure compliance with the provisions of all applicable state, federal and local laws and regulations relating to the platting and development of this property.

The County assumes no responsibility for the accuracy of representations by other parties in this plat. Floodplain data, in particular, may change. It is further understood that the Owner(s) of the tract of land covered by this plat or a designated property owner's association must install and maintain at their own expense all roads, stormwater management controls, traffic control devices, and signage that may be required until such time, if any, said infrastructure in the subdivision have been accepted for public maintenance.

ON-SITE SEWAGE FACILITY REVIEW (C6)

Based upon a review of the plat and plans as represented by the said Engineer or Surveyor, I, the below signed design/review professional, being qualified to make said determination under Texas law, find that this plat complies with the requirements of the Walker County On-Site Sewage Facility Regulations, and Title 30 of the Texas Administrative Code, Chapter 285, including but not limited to the suitability of the proposed lots to accommodate on-site facilities within the proposed development considering all of the requirements of Title 30, 285 TAC and any applicable local orders. I also agree that Walker County, its agents and assigns, bear no responsibility to any member of the public for independent verification of the representations, factual or otherwise, contained in this plat and the documents associated with it.

Wes Hubert, Lic. #3367

Date

PLAT NOTES ADDRESSING AREA DRAINAGE (C10)

All owners of lots within the subdivision shall have the responsibility of complying with the Walker County Subdivision Regulations' policies on drainage runoff due to the development of impervious areas created through the development of the lot for residential, commercial, or recreational use. It is the responsibility of the lot owners to comply with any regulations or limitations noted, and permits issued by Walker County for development do not act as a waiver or variance of the lot owner's responsibility to provide for excess runoff and drainage created by the permitted development. If detention of water is necessary in order to comply with the local, state or federal regulations, including but not limited to the Walker County Subdivision Regulations then the owner may be able to accomplish compliance with said policies through creating detention on a single lot, multiple lots, or the entire subdivision depending on the circumstances involved and depending on the owner's ability to obtain the cooperation of other owners in the subdivision. A copy of an agreement between owners to create detention shall be submitted to Walker County and filed in the public records becoming a restriction on future owners, heirs, and assigns.

All lots within the subdivision and the owners thereof must continue to accept all existing drainage flows and drainage structures in place at the time of development that are a part of or necessary to the existing or designed roads infrastructure or the existing or designed system of drainage, in addition to all natural flows of water entering onto or crossing the property.

COUNTY CLERK'S CERTIFICATION (C5)

STATE OF TEXAS
COUNTY OF WALKER

I, Karl French, Clerk of the County Court of said County, do hereby certify that the foregoing instrument in writing, with its certificate of authentication was filed for record in my office on the day of at o'clock, ---M, and duly recorded this the day of 20, in the Plat Records of said County in Volume ---, Page ---.

TO CERTIFY WHICH, WITNESS my hand and seal at the County Court of said County, at my office in Huntsville, Texas, the date last shown above written.

Karl French, County Clerk of
Walker County, Texas

By: Deputy

LOTS 1A and 1B, being a replat of
TRACT 1, TOTH-TOKAI
3.978 ACRE SUBDIVISION

In the GEORGE MERCER SURVEY, A-32
Walker County, Texas

February, 2025

Scale: 1" = 60 Feet

FULLER and ASSOCIATES
P.O. Box 1783
Huntsville, Texas 77340
FILE: TOTH-TOKAI Sub Div Tr 1 2,139ac-Didlake-MP \2025\



Walker County Subdivision Regulations

EFFECTIVE: 4/7/2025

Resolution & Order # 2025-XX

THE STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF WALKER §

THAT ON THIS, **7th Day of April 2025**, the Commissioners Court of Walker County, Texas, met in duly called and convened lawful Session at the County Courthouse in Huntsville, Texas, with the following members present:

Colt Christian	County Judge
Danny Kuykendall	Commissioner, Precinct One
Ronnie White	Commissioner, Precinct Two
Bill Daugeette	Commissioner, Precinct Three
Brandon Decker	Commissioner, Precinct Four

And at said meeting, among other business, came up for consideration and adoption the following Resolution and Order:

WHEREAS, the Commissioners Court of Walker County, Texas, has, after proper notice, held a public hearing concerning a proposed revision of the Walker County Subdivision Regulation; and

WHEREAS, after soliciting the public's comments, the Commissioners Court finds that the adoption of revised Regulations will be in the public interest;

NOW THEREFORE BE IT RESOLVED, that the Walker County Commissioners Court hereby adopts the attached document as the revised Walker County Subdivision Regulations and *orders* that they be in full force and effect on **April 7, 2025**; and

FURTHER RESOLVED, that County Judge Colt Christian be, and is hereby authorized to sign this Resolution and Order as the act and deed of the Walker County Commissioner's Court.

The foregoing Resolution and order was lawfully moved by Commissioner _____, duly seconded by Commissioner _____, and duly adopted by the Commissioners Court on a vote of five (5) members for the motion and 0 (zero) member(s) opposed, with no commissioner(s) being absent from the dais.

Colt Christian
County Judge, Walker County, Texas

DATE: _____

Danny Kuykendall
Commissioner, Precinct One, Walker County, Texas

Ronnie White
Commissioner, Precinct Two, Walker County, Texas

Bill Daugeette
Commissioner, Precinct Three, Walker County, Texas

Brandon Decker
Commissioner, Precinct Four, Walker County, Texas

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Walker County Subdivision Regulations

On July 21, 1986, acting pursuant to the Texas Local Government Code, Walker County adopted regulations governing platting and the subdivision of land. They were further revised on March 18, 1991, February 7, 1994, December 11, 1995, October 15, 1996, November 23, 1998, July 24, 2000, April 25, 2005, February 26, 2018, April 23, 2018, September 23, 2019, June 1, 2022, March 27, 2023, April 24, 2023, September 1, 2023, November 18, 2024, and are hereby further revised as follows. These Regulations shall be known as the Walker County Subdivision Regulations.

These revised Regulations, as well as required review fees, shall apply to all new Applications received on or after the date that these revised Regulations were adopted by the Walker County Commissioners Court. Any subdivision applications that were originally submitted prior to that date shall be subject to the Regulations and any applicable fees that were in effect at the time of the original submission, unless, at the applicant's option, the applicant elects to proceed under the new regulations or requirements. Compliance with these Regulations shall be a prerequisite to the approval of any subdivision by Walker County, except insofar as they may conflict with any applicable State statute.

Section 1 - Purpose

1.1 These Regulations have been prepared in general to aid in the orderly development of Walker County, Texas, and provide guidelines, which will lead to a desirable environment. Specifically, they have been prepared for the following purposes:

- To furnish the Owner with guidance and assistance in the expedient preparation and approval of his or her plat.
- To protect the citizens of Walker County by providing subdivision and development guidelines for residential, commercial, and industrial subdivisions.
- To provide for the welfare of the public by providing guidelines for the location, design, and construction of roadways, roadway intersections, drainage improvements, and other features that provide for the safety of the general public.
- To provide for the proper arrangement and construction of roads, and to ensure the proper relationship of roads to existing or planned roads.
- To ensure adequate access for emergency response vehicles.
- To ensure that Walker County will not be burdened with substandard roads in the future.

Section 2 - Definition of Terms

2.1 **100-year Floodplain**

Any land that would be inundated by a flood having a one percent chance of occurring in any given year, including but not limited to any land shown on the current version of the FEMA National Flood Insurance Program Flood Maps.

2.2 **100-year Storm**

A storm having a one percent probability of occurrence in any given year.

2.3 **Application**

A submittal that includes a completed Application form along with all required attachments which may be required as part of that submittal and the appropriate review fee. These attachments may include but are not limited to forms, agency approvals, specifications, drawings, drainage or geotechnical reports, and electronic data files. (See Appendix D). The DPD is authorized to make additions or changes to the Application forms without any additional approval by Commissioners Court.

2.4 **Base Flood Elevation (BFE)**

The water surface elevation resulting from the flood that has a one percent chance of equaling or exceeding that level in any given year (also called the Base Flood).

2.5 **Block**

A tract of land bounded by actual or platted roads, waterways, or other definite boundaries, or a combination thereof.

2.6 **Commissioners Court**

All references in these Regulations to the Commissioners Court shall mean the Commissioners Court of Walker County or the person(s) designated by the Commissioners Court of Walker County.

2.7 **Condominium Development**

A form of real property with portions of the real property designated for separate Ownership or occupancy, and the remainder of the real property designated for common Ownership or occupancy solely by the Owners of those portions. For the purposes of these Regulations, Condominiums shall include, but not be limited to, all developments created under Chapter 82 of the Texas Property Code, also known as the Uniform Condominium Act.

2.8 **County**

All references in these Regulations to the "County" shall mean Walker County.

2.9 **County Engineer**

All references in these Regulations to the "County Engineer" shall be construed to refer to the Professional Engineer employed by or contracted by Walker County for the review of plat applications, plans, permits, or general engineering review related to any application, or his/her authorized representative.

2.10 **Cul-de-sac**

A road having one terminus open for vehicular and the other terminated by a vehicular turnaround.

2.11 **Daughter Tract/Daughter Parcel**

Any of the tracts created by the division of a parent tract, including the remainder of the parent tract itself.

2.12 **DPD**

All references in these regulations to the “DPD” shall be construed to refer to the current Director of Planning and Development for Walker County, Texas, or his/her authorized representative.

2.13 **Dwelling Unit**

A dwelling unit is defined as a single unit of residence for a family of one or more persons.

2.14 **Easement**

A grant by the property Owner for the use of a strip or parcel of land by the public or utilities, or for any private purpose.

2.15 **ETJ (Extraterritorial Jurisdiction)**

The unincorporated area that is contiguous to the corporate boundaries of a city, as defined by that city, and within various distances of the municipality depending on the number of inhabitants of a municipality. Within an ETJ, cities have statutory authority to adopt rules governing plats and subdivisions.

2.16 **FEMA**

The Federal Emergency Management Agency, a federal agency of the Department of Homeland Security.

2.17 **Frontage**

Frontage is the measurement of distance along the right of way adjacent to and abutting a lot boundary as measured at the edge of the right of way of:

- 1) an existing city, county, or state-maintained road; or
- 2) a public road that has been platted in accordance with these regulations and either submitted an approved surety or accepted as substantially complete.

2.18 **Guidelines**

The Engineering Guidelines contained in Appendix B as part of the Walker County Subdivision Regulations, as amended.

2.19 **Improvements**

Any or all road pavements, curbs and gutters, sidewalks, utilities, drainage facilities, topsoil, trees, grading, signs, and crosswalks, and may also include walkways, streetlights, or any other manmade changes to improved or unimproved real estate.

2.20 **LOG**

Lip of Gutter; the front edge of the curb. The point where the curb meets the roadway pavement. (Also referred to as the “face of curb”).

2.21 **Loop Street**

A type of local street where each end terminates at an intersection with the same street.

2.22 **Lot**

For the purpose of these Regulations, a parcel or part of a tract of land created by a division of a parent tract regardless of whether it is made using a metes and bounds description in a deed of conveyance or a contract for deed, by using a contract of sale or executory contract to convey, or by using any other method, exclusive of any adjoining road or road right-of-way. Lots shall meet the minimum dimensions, area, and setback requirements of these Regulations.

2.23 **Major Thoroughfare**

Major thoroughfare shall mean an arterial road as defined herein.

2.24 **Minimum Requirements**

Requirements when defined as a minimum shall be the least restrictive standards as allowed by applicable local, state, and federal regulations.

2.25 **Minor Subdivision / Minor Plat**

Minor Subdivision/ Minor Plat shall mean an application for plat that meets the following:

- a) does not include or require the construction of any road or drainage improvements under this policy, excluding detention;
- b) subdivides an existing compliant tract into 4 or fewer parts, tracts, or lots;
- c) and is not located within a platted subdivision.

2.26 **Owner**

The person(s) possessing title and/or applicable lienholders to the property to be subdivided. This can also refer to the Owner's surveyor, engineer, lawyer, planner, or other agent(s) who has been given authority to represent the Owner.

2.27 **Parent Tract/Parent Parcel**

The original tract/parcel owned by the Owner prior to any division.

2.28 **Plans**

Construction drawings, specifications, reports, calculations, detailed quantity take-offs, bidding forms, or other documents required for construction, construction review, or construction-related approvals.

2.29 **Plat**

The Plat is the plat required for filing in the records of the County Clerk and is a map or drawing of a proposed subdivision (1) prepared in conformance with the approved engineering plans application and (2) meeting the requirements of these regulations.

2.30 **Precinct Commissioner**

The Walker County Commissioner in whose precinct the subdivision is located.

2.31 **RV Park:**

Also known as a Recreational Vehicle Park, is a planned facility or location created for the temporary lodging of individuals in Recreational Vehicles, Motor Homes, 5th wheel trailers, and similar vehicles, but not including mobile homes, manufactured homes, or structures not certified and licensed for roadway operation by a state. RV Parks offer short-term lodging not to exceed five months per year. For the purposes of this policy, an RV Park would include any property that offers two or more recreational vehicles or recreational vehicle spaces or sites for rent, lease, or financial gain on a single property.

2.32 **Registered Professional Engineer**

A person licensed, as of the date of the plan being presented, to practice engineering in Texas.

2.33 **Registered Professional Land Surveyor**

A person licensed, as of the date of the plan being presented, to practice land surveying in Texas.

2.34 **Regulations**

The Walker County Subdivision Regulations (this document), as amended, including all appendices.

2.35 **Residential Rental Community**

A Residential Rental Community is a property subdivided by short-term leases, not to exceed 36 months, into two (2) or more separate dwelling units or spaces. A Residential Rental Community does not include Condominiums, Manufactured Home Rental Communities, or Recreational Vehicle Parks.

2.36 **Road/Street**

The terms "street" or "road" are interchangeable and mean a vehicular way, including culverts and bridges, and are used to describe all vehicular ways regardless of any other designation they may carry. All roads shall be categorized into one of the following functional classifications:

2.36.1 **Arterial Road**

Arterial roads are those that are principally regional in nature, which will serve vehicular traffic beyond the limits of a subdivision; or connect one collector or arterial with one or more collectors or arterials. Arterial roads include any road used for through or high-volume traffic ($\geq 12,000$ average daily trips), or any road included as an arterial on a county or city transportation plan.

2.36.2 **Collector Road**

Collector roads are those that connect one local road with one or more local roads; or any road with $\geq 2,000$ average daily trips that is not an arterial road.

2.36.3 **Local Road**

Local roads are those that principally provide direct access to lots within a subdivision and have less than 2,000 average daily trips.

All roads Arterial, Collector, and Local roads shall also be classified as follows:

2.36.4 **Urban Road**

For the purposes of this order, an urban road is any road situated such that any of the lot frontages are less than 125 feet. Any road with a curb and gutter design will be considered an urban road.

2.36.5 **Rural Road**

For the purposes of this order, a rural road is any road situated such that any of the lot frontages are 125 feet or more.

2.36.6 **Major Thoroughfare**

Major thoroughfare includes arterial roads, as defined herein, and all roads included either now or in the future in the Walker County Long Range Transportation Plan.

2.37 **Subdivision**

The division of a tract of land into two or more parts to layout (1) a subdivision of the tract, including an addition; (2) lots; or (3) streets, alleys, squares, parks, or (4) other parts of the tract intended by the owner of the tract to be dedicated to public use (Sec 232.001, Texas Local Government Code, as

amended. The Walker County Commissioners Court has adopted guidelines, incorporated in these Regulations as Appendix A, stating when Owners are required to file a plat for a subdivision). A division of a tract includes a division regardless of whether it is made using a metes and bounds description in a deed of conveyance or a contract for deed, by using a contract of sale or executory contract to convey, or by using any other method.

For the purpose of these Regulations, subdivisions shall be classified as either urban or rural, as follows:

2.37.1 Urban Subdivision

Urban subdivisions are any subdivision such that any of the lot frontages are less than 125 feet or are less than 1 acre in size.

2.37.2 Rural Subdivision

Rural subdivisions are any subdivision such that all of the lot frontages are 125 feet or more, and all lots are greater or equal to 1 acre in size.

2.38 Travel Way

The portion of a road or roadway intended for vehicular travel. Where concrete curb is installed, the travel way shall be measured LOG to LOG. In cases where a rollover curb (i.e., 4"x12" curb) is installed, the travel way shall be measured from the inside edge to the inside edge of the rollover curb (i.e., the rollover curb is not included as part of the travel way). The travel way also does not include gravel or paved shoulders.

2.39 TxMUTCD

The latest edition of the Texas Manual on Uniform Traffic Control Devices.

2.40 Utility

All persons, firms, corporations, partnerships, municipality, or other private authorities providing gas, electric, water, sewer, drainage facilities, telecommunications, cable television, or other services of a similar nature.

Section 3 - Application Review and Approval Procedures

General Requirements

- 3.1 Every Owner of any tract of land situated outside the corporate limits of any city in Walker County, Texas, must apply for approval and have a plat of the subdivision prepared in compliance with these regulations as authorized by Chapter 232 of the Texas Local Government Code and under the platting and applicability guidelines included in Appendix A. No plat shall be approved for filing in the unincorporated areas of Walker County, Texas, without meeting the requirements of these regulations unless specifically exempted (See Platting Guidelines included as Appendix A). Any tract that has not had its boundary changed since February 1, 2000, may be sold in its entirety without being platted unless otherwise required by State law; this would include but is not limited to the replatting and amending plat requirements.
- 3.2 If the property to be platted lies entirely within the limits of a city, the Owner shall consult directly with that city pertaining to all platting procedures and requirements.
- 3.3 If the property to be platted lies entirely outside of the limits of a city and all ETJs, platting procedures and requirements shall be in accordance with these Regulations.
- 3.4 If the property to be platted lies fully or partially within the ETJ of a city, the platting procedure shall be accomplished in accordance with the most current applicable agreement between the County and that city.
- 3.5 In those ETJ's where the agreement provides for a joint review by both the city and the County (reference is made to Appendix E), an Application shall be filed with the entity or office required by the agreement.
- 3.6 It is the obligation of the Owner to submit all information necessary to permit proper review by the County. If this is not done, the submission will be rejected and a new application must be filed.
- 3.7 All subdivisions of land must either be approved for an exception under State or Local exceptions (See Appendix A), or complete all required applications and approvals required herein. All applications for an exception must be approved by the DPD and/or the County Engineer and have an affidavit of exception on the current form filed in the records of the County Clerk.
- 3.8 All applications shall be marked as to the category of application: Exception, Variance, Plat, or Replat / Amending Plat. Additionally, applications shall include any request for consideration as a plat seeking consideration under the requirements of a Minor Subdivision. A separate application governed by independent timelines and processes will need to be submitted for each category of application requested and/or necessary for the completion of a project.
- 3.9 All applications must include all submittals as required herein or shown on the "Walker County Subdivision Regulations Application Checklist" attached as Appendix D. Appendix D is provided as a guide to assist the applicant in the application process and does not provide complete details of each individual requirement, the detailed requirements are provided in the text and appendices of these regulations.
- 3.10 Once an application and application fee are submitted, no refund of any fees will be given unless required by statute or approved by Commissioners Court. There will be no refund due to an application being submitted incomplete or the withdrawal or cancellation of an application or project. It is the Owner's responsibility to review these regulations and associated guidance and submit the

application only after due diligence has been given to the completeness and suitability of the application.

- 3.11 All subdivisions of land not otherwise excepted by these regulations must submit a plat application for approval prior to filing a plat or subdividing any property within the unincorporated areas of Walker County. For certain platting such as amending plats, lot combination in existing subdivisions, and minor subdivisions with prior approval from the DPD and/or County Engineer a minor plat complying with the County's standards may be submitted. The names of the proposed subdivision and any of the physical features (such as streets, parks, etc.) must not be so similar in spelling or pronunciation to the names of similar features in Walker County, as to cause confusion. All streets and roads must be named on the plat, a list of road names must be submitted by the Owner to the Department of Planning and Development, and approval of the names received, prior to the submittal of the plat application for review and approval.
- 3.12 The Owner must submit six fully signed and executed copies of the plat on 18"x24" media; ~~(three paper copies, and three mylar copies).~~ In addition to the plat, the Owner must submit 3 paper copies of all submittals along with the following digital files of any plans, plats, exhibits, studies, or other documents required by these regulations for all applications:
- a) A copy of all items in an Adobe .pdf format;
 - b) A copy of all plans, plats, maps, or spatially displayed or related documents and data in .dwg format or pre-approved alternate format.
 - c) A copy of all features shown on the plat must be provided in ESRI shapefile format, including but not limited to roads, rights of way, easements, lot lines, property lines, section and block outlines, etc.

All entities or objects within the AutoCAD drawing file shall be at zero elevation. The coordinate system of the electronic drawing and shapefile shall be the Texas State Plane Coordinate System, Central Zone, U.S. Survey feet, grid coordinates. Right-of-way centerlines, real property boundary lines (lots, blocks, external subdivision boundary, rights-of-way, etc.), and text shall each reside on independent or separate layers. All documents required to be submitted by a registered professional land surveyor or professional engineer must be sealed and signed. *An exemption from the requirement to submit a digital map may be granted if the Owner of the tract submits with the plat application an acknowledged statement indicating that the digital mapping technology necessary to submit a map that complies with this subsection was not reasonably accessible, including justification as to why the technology is not reasonably accessible.*

- 3.13 To protect the public interest, the Commissioners Court of Walker County hereby decrees under the provisions of Chapter 232, Texas Local Government Code, that the Owner of any tract of land that desires to obtain the approval necessary for recording a subdivision plat in the County Clerk's Records of Walker County shall construct all roads and drainage facilities, including storm-water detention, along with any items required by other governmental agencies in said subdivision to the standards and specifications set forth in the Engineering Guidelines incorporated as Appendix B of these Regulations before offering said plat for approval; unless financial surety is approved and provided in accordance with Section 6, construction plans are approved by the Commissioners Court, and all necessary permits have been issued.
- 3.14 If an Owner wishes to construct improvements prior to filing a plat, then the owner must submit a variance request, requesting a revised process for submittal and approval of infrastructure.
- 3.15 All road and drainage improvements shall be designed and certified by a Professional Engineer

licensed to practice in Texas. All plans and specifications shall conform to the requirements of these regulations.

- 3.16 The Owner shall submit construction plans, sealed by a Professional Engineer, for roads, drainage, traffic signage, and/or utility improvements within the proposed subdivision or within any existing County right of way to the Planning and Development Department and obtain plan approval from the Commissioners Court prior to beginning construction. These plans shall show the location of water, sanitary sewer, and storm sewer utilities, and shall show proposed easements for privately owned utilities (electric, cable television, gas, telephone, etc.). Utilities will be reviewed based on their impact on the right of way, public infrastructure, and the floodplain. These plans shall be sealed by a professional engineer and include the design requirements as described in Appendix B, Engineering Guidelines.

Pre-Application Meeting

- 3.17 It is strongly recommended that the Owner request and attend a pre-application meeting with the Walker County Department of Planning and Development prior to all Plat Applications.
- 3.18 The Owner must submit a request for this meeting and is encouraged to bring to the meeting any of the application documents listed in Appendix D.
- 3.19 A Pre-Application Meeting will generally be scheduled within 10 business days of the receipt of a completed request and the Owner will be notified of the time and date of the meeting. The time, date, duration, and location of the meeting will be at the complete discretion of the County.
- 3.20 The Pre-Application Meeting will allow the Staff to provide some information on the plat application processes and allow Owner to ask questions related to policy in relation to a potential application.
- 3.21 A Pre-Application meeting does not constitute a Plat Application.

Plat Application

- 3.22 A Plat Application must be submitted and approved prior to any plat being filed for all subdivisions of land subject to these regulations. (See Appendix A for additional guidance on applicability)
- 3.23 Applications and any revised applications or responses to conditional approvals or disapprovals must be submitted during a scheduled submittal meeting with DPD or assigned staff. The Owner or the Owner's designated representative must attend the meeting. This meeting may be scheduled in conjunction with a pre-development meeting if so desired by the applicant.
- 3.24 The Application must include the documents and other information required by these regulations.
- 3.25 All Plat Applications shall include the fee as required by the currently adopted Schedule of fees.
- 3.26 All Plat Applications must include a completed and executed Application Form in its most current version. The application form will be available from the Department of Planning and Development, and the DPD has the authority to update or change this form without the need for any additional action by Commissioners Court.
- 3.27 All Plat Applications shall include copies of the current filed deed for the parent tract.
- 3.28 All Plat Applications shall include a copy of a valid Title Abstract or Title Report completed to current

ownership for the parent tract from a title company or attorney. The surveyor's certification shall state the plat was completed with the benefit of a current Title Abstract or Title Report and includes all encumbrances noted on the current Title Abstract or Title Report.

- 3.29 All Plat Applications shall include a copy of a Final Plat in compliance with these Regulations and including all final signatures and certifications.
- 3.30 All Plat Applications shall include such documents as necessary to identify the Owner or Owner's agent authorized to sign documents in relation to the plat. This may include but is not limited to powers of attorney, articles of incorporation, and title documents.
- 3.31 All Plat Applications not specifically exempted from the requirement to submit a detention/drainage study or flood study under these regulations, and all Subdivision Applications that include the construction of any improvements required or regulated under these regulations must include completed plans, sealed by a Registered Professional Engineer authorized to practice in Texas, for all improvements. The plans must comply with these regulations including but not limited to Appendix B. In addition, all plans must be satisfactory to the Commissioners Court.
- 3.32 All Plat Applications proposing new streets and roads must include copies of written approval from the governmental authority having jurisdiction over 911 addressing that all road names and spellings included in the plat have been authorized for use.
- 3.33 All Plat Applications that do not indicate plans for the connection to or installation of a TCEQ approved municipal wastewater system must include an approved OSSF Subdivision Planning Materials Submittal for Subdivision Development from the TCEQ Authorized Agent unless exempted in writing. No lot or tract shall be included within any application for subdivision in violation of state law or local order, including, but not limited to the Texas Administrative Code, Title 30, Chapter 285, and the Walker County Regulations for on-site sewage facilities.
- 3.34 All Plat Applications planning to utilize a TCEQ approved municipal wastewater system must include a letter from the wastewater provider including a reference to the provider's valid Certificate of Convenience and Necessity (CCN) or documentation of an application, indicating that the provider is prepared to provide sewer services ~~for~~ to the proposed subdivision.
- 3.35 All Plat Applications shall include letters of serviceability from all water and electric providers, including the name, phone number, and e-mail address of the utility company contact. ~~The letter must include a reference to the subdivision and the number of lots to be served.~~
- 3.36 If a person submits a plat for the subdivision of a tract of land for which the source of the water supply intended for the subdivision is groundwater under that land, the plat application must include a written statement that:
- (1) is prepared by an engineer licensed to practice in this state or a geoscientist licensed to practice in this state; and
 - (2) certifies that adequate groundwater is available for the subdivision.
 - (3) The certificate shall be submitted with a TCEQ-approved form.
 - (4) The report shall include a satisfactory letter of receipt and comment from the Bluebonnet Groundwater Conservation District.

A variance for this item cannot be granted unless credible evidence of groundwater availability in the vicinity of the proposed subdivision is provided, and it complies with Local Government Code §232.0032.

- 3.37 All Plat Applications that require or include the construction of improvements must include an approved permit issued under the Walker County Regulations for Flood Plain Management. All plats and plans shall conform to the Walker County Floodplain Regulations regardless of the permitting requirements.
- 3.38 All Plat Applications that require a variance to be granted must submit a copy of all approved variances with the application.
- 3.39 All Plat Applications requiring the construction of improvements must include a detailed and itemized report including a list of improvements, in a bid schedule format, with associated unit quantities that are necessary to complete the road and drainage improvements per the required construction plans and is sufficient for the Commissioners Court to set the bond amount, sealed by a registered professional engineer authorized to practice in Texas. The report must be acceptable to the County Engineer and the Commissioners Court in format and content. Lump sum units shall not be used for quantifiable items such as pavement, stabilization, earthwork, etc.
- 3.40 All Plat Applications requiring the construction of improvements must include a maintenance plan in the form of a document signed by the Owner specifying the mechanism and/or entity that will be responsible for maintenance of the public improvements within the subdivision until such time, if any, the roads, drainage, and associated appurtenances are adopted for public maintenance by Walker County. The plat must include a note identifying the entity referenced in the maintenance plan that shall be responsible for the on-going maintenance of the roads, rights-of-way, signage, drainage, and other improvements within the subdivision, until such time, if any, said infrastructure is adopted into public maintenance.
- 3.41 All Plat Application shall include any necessary approvals from other governmental agencies such as Texas Department of Transportation, Groundwater Districts, Army Corps of Engineers, etc. Any plat proposed within 2000 feet of the Trinity River or Lake Livingston shall include a letter of "no objection" from the Trinity River Authority. Any plat proposed within 2000 feet of Lake Conroe shall include a letter of "no objection" from the San Jacinto River Authority. Any plat proposing to connect to or provide access from a road under the maintenance or control of the Texas Department of Transportation shall provide written approval of said access or connection. It is the sole responsibility of the Owner and/or the Owner's Representative to properly research any approvals that are required from other agencies. Acceptance of an application by Walker County does not waive any responsibility or requirement for compliance with any outside agency.

Review Process

- 3.42 All plat applications shall be submitted complete and made as a single submittal. It is the Owner's responsibility to review these regulations and associated guidance and submit the application only after due diligence has been given to the completeness and suitability of the application. An application checklist is attached as Appendix D, as an aid to compliance. Acceptance of the application for review is not an indication of the completeness of an application. No review for completeness will take place prior to submittal of an application by the Owner and payment of the associated fee. It should be recognized by the Owner that the submittal of a complete application is a requirement of the Owner and that the submittal of incomplete applications affects program costs and expenses and may result in increases in the application fee.
- 3.43 Once an application and application submittal fee are submitted no refund of any fees will be given

unless required by statute or approved by the direct action of Commissioners Court. There will be no refund due to an application being submitted incomplete or the withdrawal or cancellation of an application or project.

- 3.44 An application is considered submitted for review on the date application, revised application, or resubmittal is received by the Walker County Department of Planning and Development at:

**1313 University Avenue, Suite A
Huntsville, TX 77320**

- 3.45 Delivery of the application must take place in accordance with the administrative criteria set by the Walker County Department of Planning and Development. The Walker County Department of Planning and Development does not receive any applications on non-business days. Unless an alternative submittal process has been agreed to in advance and in writing by the DPD, all submittals must take place at a submittal meeting scheduled in advance by the Owner.
- 3.46 The DPD is authorized to set any necessary administrative criteria related to the submittal of applications under this policy, including but not limited to, setting the times and/or dates at which applications will be received, requiring appointments for submittal of the applications, making changes as necessary to the administrative forms related to applications, specifying the method and type of payment, and specifying the form of submittal.
- 3.47 The County shall have 10 business days from the date the application is received to notify the Applicant of any documents or other required information missing from the application. The application will not be considered complete until all documents or other required information are submitted. This initial review of the submittal is an administrative review to determine if required documents or other information are missing from the application and should not be construed as a qualitative review to determine approval, completeness, appropriateness, or compliance of the documentation or other submittals with these regulations.
- 3.48 In such cases where the application is missing any document or other required information, the County will notify the Owner of the missing documents or other required information. The missing documents or other required information must be submitted to the County as a single submittal along with payment for any increase in the fee, and a receipt will be provided to Owner for the revised submittal. Each time a submittal is made of missing documents or other required information the 10-business day administrative review period described in Sections 3.42 - 3.48 will begin again. This process will continue until all documents and other required information are submitted, or until the Application expires (See Section 3.68).
- 3.49 If an incomplete application is submitted for review, but the application fee and completed application form are submitted, the Owner may request a "Guidance Review" from the County on the incomplete application prior to submitting the missing documents or other required information in the revised application. The guidance review is a voluntary process designed to improve the Owner's Application without being subject to the strict timelines, revision processes, and rejection processes surrounding completed applications. The DPD and County Engineer are not required to conduct a guidance review of any incomplete applications unless the DPD agrees that the review would have significant benefit to the application, and not create a significant negative impact on County resources. The acceptance of an application for "Guidance Review" is at the total discretion of the DPD. A "Guidance Review" may only be requested or granted on withdrawn or incomplete applications. As the Guidance Review is not a required process, it is outside of the application process timeline, and there is no maximum response time for this process to complete; however, the Owner may proceed to re-

application at any point without waiting for the Guidance Review to be completed if the Owner so desires.

- 3.50 Once an application is considered complete and regulatory review has begun no additional documents or other information may be submitted for review, with the exception of a response to a conditional approval or disapproval by the Commissioners Court or its authorized representative. If an application is withdrawn then a revised application may be submitted under the conditions allowed of this policy.
- 3.51 Following the receipt of a complete Application, the DPD and/or the County Engineer will review the Application for compliance with these regulations and forward the application and the review comments to the Commissioners Court for action.
- 3.52 The DPD and/or County Engineer will submit a copy of the application review(s) to the Commissioners Court, the person authorized by the Commissioners Court, or, in the case of a joint review where the county is not acting as the authorized office, to the specified authorized office.
- 3.53 Unless an Owner successfully withdraws an application, the DPD and/or County Engineer will refer the original application along with comments and recommendations to the Commissioners Court or person designated by the Commissioners Court for action.
- 3.54 The Commissioners Court or its designee will consider the plat application for approval within 30 days of the date of the receipt of a complete application, unless a valid extension is allowed for under law or has been applied for and granted by the Owner.
- 3.55 If an application is approved without conditions, the application will be considered complete and the plat may then be approved for filing by the Commissioners Court. Approval for the plat for filing is a separate action from the approval of the plat application and is not included in the 30-day or 15-day timelines for the approval of the application.
- 3.56 If an application is disapproved, or approved with conditions, ~~by~~ the Commissioners Court or its authorized representative shall provide a written list of conditions for approval to the Owner. The Owner may withdraw the application; ~~or the Owner may~~ submit a written response that satisfies each reason for disapproval provided or satisfies each condition. If the Owner wishes to submit a response, the response should be submitted as a single submittal addressing each condition or reason.
- 3.57 If the applicant chooses to submit a written response that satisfies each reason for disapproval provided, or satisfies each condition for conditional approval, the applicant must submit the written response in the same format(s) and quantities as required under the original application. The response shall be accompanied by all required forms, and any increases in the application fee or outstanding fee balances shall be paid when submitting the response.
- 3.58 Following the submittal of a response to a conditional approval or disapproval, the Commissioners Court and/or its designee shall review the response and take additional action to approve, approve with conditions, or disapprove the application within 15 calendar days.
- 3.59 The process described in Sections 3.56 through 3.58 shall continue until the application is approved by the Commissioners Court, is approved by the Commissioners Court's designee, expires, or is withdrawn.
- 3.60 At any time following the submittal and acceptance of a completed application, the DPD or County Engineer may recommend the application for action by the Commissioners Court or a person herein designated by the Commissioners Court.

- 3.61 At any time following the submittal and acceptance of a completed application, the Commissioners Court may take action on an application without allowing for a withdrawal, revision, or extension.
- 3.62 Following approval of a plat for filing by the Walker County Commissioners Court, the Owner shall submit the final plat to the County Clerk for recording in accordance with the requirements of the County Clerk's Office.
- 3.63 If a final plat is not recorded within five years of the approval of the plat for filing by the Commissioners Court, the approval of the final plat expires. A single six-month extension may be granted by the Commissioners Court. The extension must be requested in writing by the Owner at least 30 days prior to the expiration.

Withdrawal of an Application

- 3.64 If the Owner wishes to withdraw the application, the Owner must submit a request for an administrative withdrawal of the original application on the current County form. Withdrawal of an application is voluntary and must be requested by the Owner on an approved form. An application ~~is that has been~~ withdrawn can only be submitted as a new application, ~~however, it may be submitted within 90 days of the withdrawal, under the same application number, and pay only the increase in fee that would be charged for a revised application under the schedule of fees. If an application is withdrawn and not resubmitted within 90 days, then the application must be submitted as a new application in accordance with these regulations~~ and pay the fee for a new application, and a new application fee must be paid.
- 3.65 An application submitted following a withdrawal will be processed under a new timeline starting with a review for completeness under these regulations. No replacement applications will be accepted once an application has been accepted as complete without the original application being withdrawn.
- 3.66 The Owner may voluntarily submit a withdrawal of application and replacement application only if approved by an authorized representative of the Commissioners Court.
- 3.67 The DPD and/or the County Engineer are hereby authorized to approve or deny any requests for extension or application withdrawal and/or replacement.

Expiration of an Application

- 3.68 Applications shall automatically expire in 120 days under the conditions laid out in 245.002(e) of the Texas Local Government Code. All applications shall expire as a dormant application under 245.005 5 years from the original date of submittal.

Minor Subdivisions

- 3.69 Minor subdivisions are subdivisions with four or fewer total lots, that are not located within an existing platted subdivision, and that do not require the construction of any road or drainage improvement under these regulations aside from detention. (See definitions section)
- 3.70 Minor Subdivision Applications ~~(while not exempt from meeting the detention requirements of these regulations, State, or Federal law,)~~ are not required by these regulations to submit engineering plans

or a drainage study for review by the County as long as the plat includes the Minor Plat drainage certifications under C10.- Minor Subdivisions are also not required to submit a Title Report but shall include all encumbrances noted on the current Title Report.

- 3.71 Minor Subdivisions are not required to submit 911 name approvals, ~~construction—cost estimates~~engineer's itemized list of improvements, ~~groundwater—certifications/reports~~, bonding, maintenance plans, letters of serviceability, or engineering drawings required for Plats; because, by definition, these plats do not include or require the construction of said improvements.
- 3.72 Instead of the submittal requirements listed in Section 3.12, Minor Subdivision Applications may submit the plat on 8.5" by 14"/11" paper, three original copies of the plat must be submitted. The plat must include all of the requirements described in Section 4 of these regulations, with the exception of the applicable plat notes and signature blocks from Appendix C. The applicable Appendix C notes and signature blocks will be included on the Minor Plat document created by Walker County. The submitted plat will be attached to the Minor Plat document as an exhibit. Once fully executed and approved the plat will be filed in the Official Public Records of Walker County, Texas.
- 3.73 If any portion of the original parent tract being subdivided as a Minor Subdivision is further subdivided so that the total number of daughter tracts created from the original parent tract exceeds 4, then all new lots created must be addressed by the re-plat application's engineering plans, including detention for all new lots created by the replat. A note to this effect shall be placed on the face of the plat.
- 3.74 The DPD and/or the County Engineer are hereby authorized to approve, disapprove, or approve with conditions all plat applications involving Minor Subdivisions. Following the approval of a plat for a Minor Subdivision, the plat will be placed on the Commissioners Court agenda to be approved for filing.
- 3.75 If any portion of the original parent tract was subdivided within the previous five years utilizing an exception other than those exceptions listed under Section A2 or A3.3 of Appendix A, then all daughter tracts from the parent tract subject to the exception shall also be included in the total lot count to determine eligibility for Minor Subdivision plats.

Amending Plats and Re-plats Process

- 3.76 Re-plat and Amending Plat applications shall not be subject to the same review timelines and procedures that relate to the approval of plat applications.
- 3.77 Re-plats or Amending Plats otherwise meeting the requirements of a Minor Subdivision will be allowed to utilize the submittal requirements for Minor Subdivision Applications; all other Amending Plats or Re-plats shall meet the same submittal requirements as listed for Plat Applications within these regulations.
- 3.78 As re-plats and amending plats are subject to different procedures and timelines as outlined in Chapter 232 of the Texas Local government code, these applications will be processed in accordance with those requirements (see Section 5).

Section 4 - Plat Requirements

Every plat shall include all of the following:

- 4.1 Date, north arrow, scale, and name of the proposed plat. The scale of the plat, excluding the vicinity map and key map overall, shall not be greater than 200 feet per inch and shall be to a standard engineering scale.
- 4.2 All portions of the plat must be legible without magnification. The minimum text size shall be 0.06 inches.
- 4.3 The plat shall be prepared by a Registered Professional Land Surveyor.
- 4.4 A vicinity map, drawn at a scale appropriate to show all nearby major roadways and sufficient in detail to identify the location of the proposed plat. A graphic or stated scale is not required on a vicinity map.
- 4.5 The plat shall be certified as to accuracy by the surveyor preparing the plat and show in reasonable detail the location of and width of existing and proposed streets, roads, alleys, lots, parks, easements, and other related features within the subdivision.
- 4.6 The plat shall be drawn on tracing cloth or other permanent type of material consisting of one or more sheets measuring eighteen inches wide and twenty-four inches long. If separate sheets are used a key map showing the entire tract with match lines shall be drawn on the first sheet.
- 4.7 Bearings and distances, calling for the lines of established surveys, landmarks, and other data furnished, sufficient to locate the property on the ground, must be shown on the plat.
- 4.8 Lots and block numbers are to be arranged in a systematic order as shown on the plat in distinct and legible figures.
- 4.9 The plat (including the entire parent tract if only a portion of that tract is to be subdivided) shall be shown on a single sheet, regardless of its acreage. The plat may also be separately shown on multiple sheets if necessary to show all details and information as required by this section.
- 4.10 Name, address, and telephone number of the professional individual(s) or firm(s) responsible for the preparation or certification of the plat.
- 4.11 Name of the property Owner(s) of record.
- 4.12 All adjacent property Owner's names, deed record, or subdivision name, block, and lot number.
- 4.13 County boundaries, city limits, ETJ boundaries, and subdivision section and/or phase boundaries.
- 4.14 Size, in acres, of all daughter tracts, including the remaining portion of the original tract.
- 4.15 Centerline tangent lengths and curve data for all proposed roads.
- 4.16 Road names and road designation (whether the road will be public or private), and right-of-way width for all proposed roads within and all existing roads abutting the plat. All rights-of-way and easements shall comply with Appendix B and Appendix F.

- 4.17 Survey ties across all existing right-of-way located adjacent to the boundary of the subdivision. Each tie shall show the bearing and distance from a proposed property pin to an existing property pin or fence if a pin cannot be found. Based upon this tie, a right-of-way width shall be shown. The intent of this requirement is to assist in determining if an additional right-of-way is needed.
- 4.18 Any existing County-maintained road right-of-way that joins the tract being subdivided shall have the same right-of-way widths and setbacks required herein. ~~The additional right-of-way,~~ as might be required, shall be furnished by the Owner and measured from an acceptable centerline alignment. The dedication of additional rights-of-way and setbacks along existing County-maintained roads is not required to exceed the boundaries of the parent tract(s). For rights-of-way and easements within amending plats and replats, see Section 5.
- 4.19 A dimension from the centerline of any existing roadway's pavement or causeway to the edge of the existing or proposed right-of-way.
- 4.20 Any area dedicated for road right of way shall be shown with bearings and distances, and be included on the plat drawing or in the plat notes the acreage of the dedicated road right of way.
- 4.21 All existing property lines and proposed lot lines with bearings and dimensions. For required lot frontages and other lot requirements, refer to Appendix B.
- 4.22 Building setback lines for each proposed lot. For building setback requirements, refer to Appendix B. Building setback lines can be included by a note on the plat at the owner's discretion.
- 4.23 All lot lines shall stop at the right-of-way lines; under no circumstances shall they extend past or into the right-of-way.
- 4.24 Proposed easements for detention basins, if needed, based on the requirements outlined in Appendix B.
- 4.25 Location of all existing and proposed easements including, but not limited to those outlined in Appendix B.
- 4.26 The location, zone classification, and panel effective date of the 100-year floodplain as identified on the most current Walker County Flood Insurance Rate Map (FIRM), published by the Federal Emergency Management Agency (FEMA).
- 4.27 The location of easements, lots, or reserves necessary for the proposed cluster mailboxes, if required.
- 4.28 If the proposed plat is to be a private subdivision (containing private roads), the title of the plat shall contain the phrase, "A Private Subdivision". Refer to Section 8 for additional requirements.
- 4.29 All existing and proposed plat boundary lines, phase/section lines, and lot lines with bearings and distances. Bearings shall be based on the Texas State Plane Coordinate System, Central Zone. Distances shall be expressed in U.S. Survey feet, and state whether distances are "Grid" or "Surface". A Combined Scale Factor shall be specified on the face of the plat to eight decimal places (example: 0.12345678) to facilitate the conversion of surface distances to grid distances. At least two external boundary corners of each block within the subdivision shall have grid coordinates depicted on the plat to the nearest one-hundredth of a foot (0.01 feet).
- 4.30 Owners are responsible for having surveys conducted and survey monuments installed in accordance with all the requirements and procedures established by Walker County and the Professional and

Technical Standards of the Texas Board of Professional Engineers and Land Surveyors. All property boundary corners, angle points, and points of curvature or tangency must be monumented or referenced by corner accessory monumentation carried out by a registered professional land surveyor.

All monuments must:

- a) Be set of sufficient depth to retain stable and distinctive location;
- b) Be of a size and material, that in the surveyor's judgment, will best ensure that the monument will withstand the deteriorating forces of nature;
- c) Include a cap or marker identifying the responsible registrant, firm, or associated employer;
- d) Include a notation on the applicable plan or plat that the corner was either found or set and a description of its physical characteristics; and
- e) Be exposed for inspection if requested by County.

- 4.31 All plats shall make accommodation for any necessary easements, rights-of-way, or lot design necessary to accommodate the improvements related to the subdivision as required by these regulations.
- 4.32 Any vertical elevations depicted on the plat shall be expressed in U.S. Survey feet and shall indicate the specific vertical datum used. Describe and locate at least one vertical reference mark used to verify or establish said datum, and indicate the vertical elevation used at each vertical reference mark.
- 4.33 Road rights of way shall be dedicated to the public except when a variance is granted in accordance with Section 8. All public roadways and easements shall be dedicated free of liens. All rights-of-way and easements shall be in compliance with Appendix B and Appendix F. All dedications of a right-of-way shall be by easement and in conformance with these regulations. The dedication shall be accompanied by a plat note as found in Appendix C1. The Owner's and any lien holder's dedication, and restrictions if any, duly acknowledged in the manner required for acknowledgment of deeds, shall also be provided.
- 4.34 If public roadways are to be built as part of the plat, the plat note regarding the responsibility for the construction of roadways is found in Appendix C2.
- 4.35 The plat note regarding Owner's responsibilities, as found in Appendix C3, must be included if not contained in the Owner's dedication.
- 4.36 All proposed easements and existing easements of record that have a designated route shall be shown on the plat with bearings and dimensions. The Owner shall be responsible for coordinating with all utility providers the location of all utility easements that are shown on the final plat.
- 4.37 If there are any areas within the plat that include a FEMA-mapped floodplain with any Zone A classification, or for major plats, if any water-course whose upstream drainage basin is larger than 640 acres exists within or adjacent to the plat boundary, the plat shall also show the extent of the 100-year floodplain as determined by an engineering study under the seal of a Registered Professional Engineer. This study shall be sufficient in scope to determine and establish a base flood elevation (BFE) for all points within the plat in accordance with FEMA-approved methodologies and standard engineering practices.
- 4.38 For plats where a FEMA-mapped floodplain with a Zone AE classification exists within the subdivision, the BFE established by the associated FEMA-published flood study may be substituted for the engineering study.

- 4.39 A minimum lowest finished floor elevation (FFE) for buildings shall be established for each lot adjacent to the floodplain. This minimum FFE shall be established in accordance with the most current edition of the Walker County Floodplain Regulations. FFE shall utilize the same vertical datum as used with the BFE determination and shall include information as to the elevation of the FFE above the BFE.
- 4.40 The plat note found in Appendix C4 for Commissioners Court approval, including authorization for the County Clerk to file the plat for record, and the County Clerk's certification as found in Appendix C5 must be included on all plats. These signatures shall be obtained after approval by the Walker County Commissioners Court.
- 4.41 All variances granted shall be listed in the notes section of the plat.
- 4.42 All parcels within the boundary of the subdivision shall have a block and lot number shown on the plat drawing.
- 4.43 If any lot within the plat will be served by an on-site sewage facility, a signature block as found in Appendix C6 shall be placed on the plat. This block shall show that a properly licensed individual has examined the plat and that it complies with the Walker County On-Site Sewage Facility Regulations, Construction Standards for On-Site Sewage Facility Regulations as published by the Texas Commission on Environmental Quality (TCEQ as amended). The Registered Sanitarian or Engineer that prepared the OSSF planning materials for the developer must sign this signature block.
- 4.44 If rural route mailboxes are proposed, see Appendix C7 for the placement of such mailboxes.
- 4.45 Plats shall reference the applicable FEMA FIRM Panel and note the flood zone. Major plats or plats for tracts within the ETJ of a city shall include the signature block as found in Appendix C8 relating to floodplain regulation.
- 4.46 If any areas of the plat are located outside of incorporated areas, include the plat note as found in Appendix C9 regarding the requirement to obtain a unique Development Permit from the Walker County Floodplain Administrator prior to any manmade change to improved or unimproved real estate, including but not limited to the placement of a structure or surface improvement.
- 4.47 All plats shall include the appropriate drainage notes/certifications as found in Appendix C10.
- 4.48 All plats shall include the appropriate note addressing utilities as found in Appendix C11.
- 4.49 All plats shall include the appropriate note addressing water supply as found in Appendix C12.
- 4.484.50 All plats shall include a Certification of Surveyor as found in Appendix C13.
- 4.494.51 If a variance is obtained from Commissioners Court for the roads within the subdivision to be private, include the appropriate note(s) per the requirements of Section 8.
- 4.504.52 It is the responsibility of the Owner to assure that the proposed name of the subdivision is not duplicated. Subdivisions with different sections are considered unique. The Owner shall check with the County Clerk's records for verification.
- 4.514.53 A culvert schedule shall be calculated by a P-E-licensed professional engineer and included on the plat in table form for all proposed driveway culverts. The table shall include the adjoining street name,

lot and block number, and diameter of each culvert. The design requirements are outlined in Appendix B and in the *Regulations for Walker County Driveway Permits, Design, and Materials*.

~~4.524.54~~ The Owner shall provide a letter of serviceability from an entity or entities providing water service. If water service to the subdivision will be by individual private wells, include a note on the plat that says that all lots will be served by private, on-site wells.

~~4.55~~ All notes on the face of the plat shall be directly related to plan approvals, subdivision regulations, and other federal, state, and local regulations. Specific deed restrictions that are not related to the application or variances granted in relation to the application shall not be listed on the face of the plat.

Section 5 - Amending Plats, Re-plats, or Vacating a Plat

- 5.1 The Owner of a previously recorded lot may create an amended plat to create six or fewer lots in the subdivision or a part of the subdivision covered by the preceding plat if:
- a) The changes do not affect any applicable County regulations, including zoning regulations if the County has authority to adopt zoning regulations; and
 - b) The changes do not attempt to amend or remove any existing covenants or restrictions; and
 - c) All applicable requirements of Section 232.009 of the Texas Local Government Code, as amended, are met.
 - d) The amended plat is prepared in accordance with the final plat requirements of these regulations.
- 5.2 The vacation of an existing plat shall be accomplished in accordance with the applicable provisions outlined in Section 232.008 and/or 232.0083 of the Texas Local Government Code, as amended.
- 5.3 Walker County does hereby adopt, as an alternative to the provisions in Section 232.009 governing the revision of plats, the provisions in Sections 212.013, 212.014, 212.015, and 212.016 governing plat vacations, replatting, and plat amendment. The Commissioners Court may approve a plat vacation, a replat, and an amending plat in the same manner and under the same conditions, including the notice and hearing requirements, as a municipal authority responsible for approving plats under those sections.

Instead of the purpose described by Section 212.016(a)(10), an amended plat may be approved and issued by the county to make necessary changes to the preceding plat to create six or fewer lots in the subdivision or a part of the subdivision covered by the preceding plat if:

- a) the changes do not affect applicable County regulations, including zoning regulations if the County has authority to adopt zoning regulations; and
 - b) the changes do not attempt to amend or remove any covenants or restrictions.
- 5.4 If an amended plat or a vacated plat is not recorded within two years of the approval by the Commissioners Court, the approval of the amended or vacated plat expires. The Commissioners Court may grant a single six-month extension.

5.5 When an amending plat or replat is proposed in order to consolidate lots, the consolidated lots are exempt from the minimum lot frontage requirements.

Section 6 - Financial Responsibilities and Guarantees

- 6.1 To protect the public interest, the Commissioners Court of Walker County hereby decrees under the provisions of Chapter 232, Local Government Code, that the Owner of any tract of land that desires to obtain approval of a subdivision plat for recording a plat in the County records shall construct all roads and drainage facilities, including storm-water detention, and any other items required by other governmental agencies, in said subdivision to the standards and specifications set forth in the Engineering Guidelines incorporated as Appendix B of these Regulations before offering said plat for approval, unless the owner meets the requirements of Section 6.4.
- 6.2 When traffic signal and additional turn lanes are required due to anticipated future traffic generated by the subdivision, as determined by the County Engineer or an independent traffic engineer, the future traffic signal shall be included on the Engineer's itemized quantity take-off and be added to the surety provided to the County. Installation of such signals shall be the responsibility of the Owner. Turn lanes and required signals shall be constructed in conjunction with the roadways. If improvements, turn lanes, or traffic signals are required by the Texas Department of Transportation (TXDOT) in relation to the subdivision, then the Owner shall provide written documentation to the County that all necessary TXDOT permits, surety, and construction requirements have been met with the application.
- 6.3 If the subdivision is required to construct off-site storm-water detention, then surety will be required for the construction of the detention facility prior to beginning construction of the subdivision improvements. This surety will be released upon completion of the construction of the detention facility and acceptance of the construction by the County.
- 6.4 If the Owner desires to have the plat approved before the completion of construction of the roads and drainage, then the Owner shall give a good and sufficient security in the form of a bond, cash, or letter of credit acceptable to the Commissioners Court, with the form and content reviewed by the Walker County Criminal District Attorney's Office. The bond or letter of credit must:
- (1) be payable to the County Judge of Walker County and the Judge's successors in office;
 - (2) be in an amount determined by the Commissioners Court to be adequate to ensure proper construction of the roads and streets in and drainage requirements for the subdivision. The security shall contain an amount sufficient for administering the rebidding of the proposed construction should this become necessary. The security amount shall be the full amount of the approved cost of construction. The surety shall be non-cancellable and remain in full force and effect until the obligation is completed.
 - (3) be executed with sureties as may be approved by Commissioners Court;
 - (4) be executed by a company authorized to do business as a surety in this State if the court requires a surety bond executed by a corporate surety; and
 - (5) be conditioned that the roads and streets and the drainage requirements for the subdivision will be constructed:
 - (A) in accordance with the specifications adopted by Commissioners Court; and

(B) within a reasonable time as set by Commissioners Court or based upon a schedule provided by the applicant and accepted by Commissioners Court.

- 6.5 The release of the security shall be conditioned on the completion (in compliance with the Engineering Guidelines and these regulations) of all the roads and drainage facilities shown on the plat.
- 6.6 The Owner may be granted partial reductions of the security requirement upon written approval by the Commissioners Court, and, if applicable, in accordance with the City ordinance when the subdivision lies inside the ETJ of a city.

Section 7 - Maintenance

- 7.1 By accepting a subdivision plat for filing, the Commissioners Court does not thereby accept the roads or improvements in the subdivision for Ownership or maintenance by the County. The Owner of the platted lots and/or the entity identified in the Maintenance Bond will be responsible for maintenance of all roads within the subdivision until such time, if any, as the maintenance of the roads have been accepted by the County.
- 7.2 The entity named in the Maintenance Plan and the Owner shall be responsible for the maintenance of the roads and other associated drainage and improvements in the subdivision.
- 7.3 With the exception of utilities designed and installed in accordance with these regulations, including public water system valves and hydrants, no landscaping, irrigation, sidewalks, illumination, water quality features, or other improvements not related to roads and drainage shall be located within the public rights-of-way, unless the Commissioners Court has granted a specific variance. Any such features proposed shall be included in the maintenance plan submitted with the Plat Application.
- 7.4 Once the construction has been completed and the County Engineer has reviewed the construction, the Owner shall provide the DPD with a paper copy and digital files of the "As-Built" plans showing the original approval signatures and the seal of a Registered Professional Engineer. These plans are to show the improvements as they were actually built. The files shall be in the same format as required in Section 3. After the "As-Built" plans are received and all construction deficiencies have been satisfied, the Owner's Engineer shall submit a dated, sealed, certification that all improvements have been constructed in accordance with the plans and the requirements of these regulations, unless as specific written variance has been granted, the form of this certification is subject to the approval of the DPD and/or County Engineer.
- 7.5 The County will consider accepting a road for maintenance only after dedication to the public of an easement for the roadway and associated drainage, and the minimum standards of these regulations being met. The County may also consider any other factors relating to the public's interest in their decision regarding accepting maintenance of the roads or drainage system.
- 7.6 In addition, written certification from a Registered Professional Engineer and the Owner is required, stating that the improvements were constructed in accordance with the applicable subdivision regulations in effect when the subdivision was recorded along with any written approved variances). If a final plat for the subdivision where the improvements are located was never recorded, the improvements must meet the current applicable subdivision regulations subject to any approved variances.
- 7.7 At the end of construction of the subdivision, but prior to consideration of the release of the construction surety or the acceptance of substantial completion of the roads by the County; the Owner shall provide to the County a bond in the amount of 10% of the total cost of construction of the roads and drainage of the subdivision as determined by Commissioners Court. The security shall be non-cancellable and remain in full force and effect until the obligation is completed. This bond must be payable to the County Judge, or his successors in office, of Walker County, Texas, and must be provided by the owner. Upon receipt of the additional surety and the acceptance of the substantial completion of the improvements by the County Engineer and the Commissioners Court, the County will continue to inspect the infrastructure for failure, defect, or other issues related to

construction or materials for an additional one year . The surety will be released or reduced following the extended inspection periods as described, unless a failure of workmanship or materials, in the sole opinion of the Commissioners Court, has occurred. The Owner will be notified of any deficiencies and given the opportunity to repair such deficiencies. If the Owner does not provide repairs within 90 days, the bond may be used by the County to repair these deficiencies.

- 7.8 Following the extended inspection period detailed above, the Commissioners Court, at its discretion, may conduct a hearing to decide whether or not to accept the roads for public maintenance. The Commissioners Court is not obligated to accept any roads, drainage, or other improvements even when they meet the minimum criteria of these regulations, and may consider other factors related to the public benefit, including but not limited to, the benefits of maintenance and cost of maintenance, the number of dwellings or properties served by the roadways, and the benefits to countywide traffic when making this decision.
- 7.9 The enforcement of deed and plat restrictions are the responsibility of the Owner(s) of the subdivision. However, in the unincorporated areas of Walker County, and the Extraterritorial Jurisdiction, both the city and Walker County, shall have the right and authority to enforce plat restrictions through appropriate legal procedure. This requirement does not create an obligation or requirement on the part of the County or city to enforce any plat restriction unless, in the judgement of the city or County, the enforcement is in public's interest and deemed appropriate or necessary at the time of occurrence.
- 7.10 In the event that the roads and drainage infrastructure are accepted for public maintenance, the County will assume no responsibility for drainage ways or easements in the subdivision outside of the road right-of-way or adjacent easements. Maintenance and liability of improvements not directly related to the roadway and drainage ways, including but not limited to landscaping, illumination, sidewalks, utilities, water quality features, or any other improvements required by other governmental agencies shall not be the responsibility of the County unless specifically approved for maintenance by the Commissioners Court.

Section 8 - Private Subdivisions

All new lots, including lots subject to an exception, must have lot frontages as required by these regulations. If an Owner intends to create a subdivision utilizing private roads, the Owner must receive a direct variance from Commissioners Court, submit a plat application in accordance with these regulations, and, at a minimum, meet the following requirements:

- 8.1 Private roads must meet all County road standards, except where specific variances have been granted by Commissioners Court for adequate cause in each case.
- 8.2 The title of the final plat for private subdivisions shall contain the phrase, "A Private Subdivision".
- 8.3 The subdivision plat and restrictions must contain a statement that Walker County will at no point be under any obligation to accept maintenance of the roads or associated drainage features, as the roads and associated drainage features were developed and approved, by request of the owner, specifically for private maintenance.
- 8.4 The plat must include a note identifying the entity referenced in the maintenance plan that shall be responsible for the on-going maintenance of the roads, rights-of-way, signage, drainage, gates, and other improvements within the subdivision.
- 8.5 The plat must include a note stating that any gates shall be accessible by emergency services personnel and all residents and landowners of the platted subdivision.
- 8.6 The subdivision plat must contain a statement that the entity referenced in the maintenance plan must ensure that the roads, rights-of-way, signage, drainage, gates, and other improvements shall be maintained to a standard that will allow emergency vehicles access for the roadway design speed in perpetuity.
- 8.7 The plat must contain a requirement that every deed contains a notice to the grantee that all roads are private and state the name of the entity that shall be perpetually liable for maintenance, that the County will never accept them for maintenance, and that the quality of the roads must be maintained as to not affect access by public service agencies such as police, fire, and emergency medical services.
- 8.8 All arterial roads must be dedicated to the public. Other roads must be dedicated to the homeowners association or other entity identified within the maintenance plan for the use of the property Owners, their assigns and successors, and emergency response agencies.
- 8.9 A sign must be placed at the entrance of the subdivision clearly stating that the roads in this subdivision are private roads. The location of this sign must be shown in the construction plans.
- 8.10 Any Owner that gates the entrances to the subdivision must provide either a crash gate or a lock box and a letter of approval from all of the affected emergency response agencies stating their approval of full-time access to and from the subdivision.
- 8.11 All road signs and signage in the subdivision shall be marked private and include design requirements as adopted by the County for public and private roads.
- 8.12 The County will not be responsible for providing traffic control enforcement within private subdivisions.

Section 9 - Variances

- 9.1 A variance is a grant of relief to a property owner from strict compliance with these regulations. The intent of a variance is not to simply remove an inconvenience or financial burden that may result from compliance with applicable regulatory requirements. Variances are intended to help alleviate an undue hardship that would be caused by the literal enforcement of the subject ordinance requirements. Variances are intended to provide relief when the requirements of these regulations render construction or placement of improvements impractical or impossible because of some unique or special characteristic of the subject property itself.
- 9.2 The Commissioners Court of Walker County shall have the authority to grant variances to these Regulations when the public interest, improved design functionality, or the requirements of justice demands relaxation of the strict requirements of the rules.
- 9.3 Any person who wishes to receive a variance shall apply with the proper forms and fees to the Department of Planning and Development.
- 9.4 All variances must be applied for separately from and prior to the application to which the variance is applicable and shall include all applicable information necessary for the review of the variance. In cases where an applicant has received a variance a copy of the approved variance must be submitted with any application to which it applies in order for the application to be considered complete.
- 9.5 The decision of the Commissioners Court whether to grant or deny a variance is at its complete discretion and shall be final.
- 9.6 If a plat or variance is approved by the Commissioners Court or is approved with condition(s), documentation of the variance approval will be provided to the applicant following the approval of the Commissioners Court's minutes.
- 9.7 Unless the plat, plans, or construction is completed including any required contingencies, filing, and/or inspections, all variances granted will expire 3 years from the date they are granted unless a specific term is set by the Commissioners Court in its action on the variance or the variance is specifically extended in writing by Commissioners Court.

Section 10 - Penalties

- 10.1 Section 232.005 of the Texas Local Government Code, as amended, provides for the enforcement of the state subdivision laws and of these Regulations.
- 10.2 A person commits an offense if the person knowingly or intentionally violates a requirement of these Regulations, including the Engineering Guidelines and other appendices incorporated herein. Such offense is a Class B Misdemeanor, punishable in July 2011 by (1) a fine not to exceed \$2,000; (2) confinement in jail for a term not to exceed 180 days; or (3) both such fine and confinement. (Texas Penal Code, Title 3, Ch. 12, Sec. 12.03, as amended).
- 10.3 A person may be jointly responsible as a party to an offense if the person (acting with intent to promote or assist the commission of the offense) solicits, encourages, directs, aids, or attempts to aid another person to commit the offense (Texas Penal Code, Title 2, Sec. 7.01, as amended). Thus, a real estate agent or broker, construction contractor, a lender, an attorney, a surveyor, an engineer, a title insurer, or any other person who assists in violating these Regulations may also face criminal penalties.
- 10.4 Besides prosecuting a criminal complaint, the County Attorney or other prosecuting attorney for the County may file a civil action in a court of competent jurisdiction to enjoin any violation or threatened violation of these Regulations and to recover damages.
- 10.5 A tract that has been subdivided without compliance with these Regulations will be ineligible to obtain a permit for the construction or modification of an On-Site Sewage Facility or the issuance of a Development Permit under the Walker County Floodplain Development, until such time as the tract has been brought into compliance.

Section 11 - Minimum Lot Frontage

- 11.1 All lots, including those subject to an exception, must have a minimum frontage length, as described in Appendix B2.1, on an existing County road unless otherwise specifically allowed by these regulations.

Appendix A - Platting Guidelines

As a guide to the public in determining when it is necessary to file a plat and comply with these Regulations (as amended), the Commissioners Court (as an incident of its power to enforce the subdivision laws and regulations under Chapter 232, Texas Local Government Code, as amended) has adopted the following policy guidelines stating when the division of an existing tract shall be considered by the Court to be a subdivision requiring the filing of a plat by law and/or compliance with regulations adopted under Chapter 232 authorizing the regulation of plats and subdivisions of land, and thus requiring compliance with these Regulations:

A1 - Plat Required

A1.1 Unless otherwise specifically exempted in these regulations, the owner of a tract of land located outside the limits of a municipality must have a plat of the subdivision prepared and approved under these regulations if the owner divides the tract into two or more parts to layout:

1. a subdivision of the tract, including an addition;
2. Lots; or
3. streets, alleys, squares, parks, or other parts of the tract intended by the owner of the tract to be dedicated to public use.

A division of a tract includes division regardless of whether it is made by using a metes and bounds description in a deed of conveyance or in a contract for deed, by using a contract of sale or other executory contract to convey, or by any other means.

A1.2 If a plat is required under these guidelines, it is immaterial that the division of daughter tracts is by contract, option, lease, or lease-purchase, rather than by deed, or that the daughter tracts are described by metes and bounds rather than lot and block.

A1.3 If the subdivision is for a Condominium Development, and if two or more structures, portions of structures, areas, or spaces are offered for sale, rent or lease, then the subdivision shall comply in all respects with these Regulations and the Walker County Engineering Guidelines. If compliance is required, an application for plat approval of the proposed Subdivision shall be prepared and submitted to the Commissioners Court in accordance with the terms and procedures set forth in these regulations. The final plat must be filed and recorded with the Walker County Clerk. This section excludes Manufactured Housing Communities separately regulated under the Walker County Manufactured Home Rental Community Regulations.

A1.4 For the purpose of compliance with the Walker County Subdivision Regulations, any proposed RV Park or addition to any existing RV Park must comply with the minimum requirements of the current version of the Walker County Manufactured Home Rental Community Regulations. The requirements of said regulations must be applied to the RV Park in the same manner as they would to a Manufactured Home Rental Community. RV Park submittals must be submitted under the fee schedules and under the application requirements of the Walker County Subdivisions Regulations.

A1.5 Residential Rental Community submittals must be submitted under the fee schedules and under the application requirements of these regulations. For the purpose of compliance with the Walker County Subdivision Regulations, any proposed Residential Rental Community, or addition to any existing Residential Rental Community, must comply with the minimum requirements of the current version of the Walker County Manufactured Home Rental Community Regulations. The requirements of said regulations must be applied to the Residential Rental Community in the same manner as they would to a Manufactured Home Rental Community, except as follows:

1. All rental spaces shall comply with the frontage requirements of the Walker County Subdivision Regulations, in the same manner as if they were lots.
2. All rental spaces shall comply with the minimum and maximum depth to width requirements of the Walker County Subdivision Regulations, in the same manner as if they were lots.
3. All drainage design criteria shall comply with the Walker County Subdivision Regulations.

A2 - Exceptions by Law

- A2.1 A property that has frontage on a public street and whose boundary has not changed since February 1, 2000, is considered a legal lot, unless said tract is otherwise required to complete a replat under State law. *[Texas Court of Appeals, Elgin Bank v. Travis County]*
- A2.2 In accordance with Section 232.0015, Texas Local Government Code, as amended, the filing of a plat is not required when the Owner does not lay out a part of the tract as described by Texas Local Government Code 232.001 (a)(3), and when the subdivision meets one of the requirements listed below (A2.2.1 – A2.2.8). In compliance with 232 Texas Local Government Code and these regulations and in order to qualify for exception, all daughter tracts must meet the minimum frontage requirements as required by these regulations, not be a part of a previously platted subdivision, and must apply for and file an approved affidavit of exception.
- A2.2.1 All daughter tracts are greater than 10 acres. *[LGC § 232.0015(f)]*
- A2.2.2 The land is to be used primarily for agricultural use, as defined by Article VIII, Section 1d, Texas Constitution, as amended, or for farm, ranch, wildlife management, or timber production use within the meaning of Art. VIII, Sec. 1-d-1, Texas Constitution, as amended. *[LGC § 232.0015(c)]* If a tract of land ceases to be used primarily for these uses, the Owner shall be required to comply with these Regulations on the same basis as any newly divided tract. *[LGC § 232.0015(d)]*
- A2.2.3 A person makes a conveyance of four or fewer tracts, each of which is sold, conveyed, given, or otherwise transferred, to persons who are related to the Owner within the third degree of consanguinity (parent, child, grandparent, grandchild, sister, brother, great-grandparent, great-grandchild, aunt, uncle, niece, nephew) or affinity (the spouse of anyone listed above, or so related to the Owner's spouse) for their personal use. *[LGC § 232.0015(e)]*
- A2.2.4 All daughter tracts are to be sold to veterans through the Veteran's Land Board Program. *[LGC § 232.0015(g)]*
- A2.2.5 The Owner of the land is the State of Texas, an agency, board or commission of the State of Texas, or a permanent school fund or other dedicated fund of the State, and the Owner does not lay out any part of the tract for roads, parks, or other areas for the common use of two or more tracts or the use of the public. *[LGC § 232.0015(h)]*
- A2.2.6 The Owner is a political subdivision of the State of Texas, the land is situated in a floodplain, and all lots are sold to adjoining landowners. *[LGC § 232.0015(i)]*
- A2.2.7 The Owner divides the tract into two parts and one new part is retained by the Owner and the balance of the property is transferred to another person who will further subdivide the tract subject to the platting requirements herein. *[LGC § 232.0015(j)]*

A2.2.8 The Owner transfers all parts to persons who owned an undivided interest in the original tract and a plat is filed before any further development of any part of the tract. *[LGC § 232.0015(k)]*

- A2.3 All exemptions in this subsection must be approved in writing by the County Engineer and/or DPD prior to the division of the property. To claim any exemption, the person or entity who claims to be entitled to any exclusion to platting set out in these Guidelines must provide:
- A2.4 An affidavit claiming the exemption and setting out the detailed basis for exclusion from the platting requirement, subject to penalties of perjury.
- A2.5 A copy of the deeds or other instruments creating the daughter tracts referenced in the affidavit.
- A2.6 The division shall comply with any other applicable State or Local regulations including but not limited to on-site sewage and floodplain regulations.

A3 - Additional Exceptions

The Commissioners Court has adopted the following additional policy guidelines stating the division of an existing tract may be considered exempt from the requirement to file a plat and may instead apply for and file an affidavit of exception. In order to qualify for an exception, all daughter tracts must meet the minimum frontage requirements as required by these regulations, not be part of a previously platted subdivision, and must apply for and file an approved affidavit of exception (A3.1-A3.11). Exception under A3.3 do not require tracts to meet the minimum lot frontage requirements.

- A3.1 Any tract whose boundary has not changed since February 1, 2000, may be sold in its entirety without being platted.
- A3.2 A plat is not required when daughter tracts are created solely for purposes of platting them as individual subdivisions in their own right, providing that each daughter tract has at least 125 feet of frontage on a publicly maintained road. The Owner must submit to the Court the preliminary plat for the project as a whole before claiming this exception.
- A3.3 A plat is not required when two or more adjacent landowners, or a single landowner owning two or more adjacent tracts, adjusts or changes the property lines that separate their (the) respective tracts, so long as there is the same number of tracts in existence before and after the transaction. This exemption applies whether the transaction requires an exchange of land by both Owners, or only a transfer of land from one Owner to the other, and whether the transaction takes the form of a sale or an exchange in kind. Any land added to a tract through such a transaction shall become an integral part of that tract, and may not be separately conveyed, except in compliance with the subdivision laws. Each resulting tract shall be subject to the minimum lot size requirements of these Regulations and other applicable laws. This exception does not apply if the adjustment will change the boundary between two legally platted lots or add or subtract land from a legally platted subdivision.
- A3.4 With the exception of exceptions under Section A2 and A3.3 (Adjacent Landowner) an exemption may not be exercised within five years of exercising another exemption.
- A3.5 A plat is not required when a smaller tract is surveyed out of the parent tract solely for the purposes of obtaining financing for purchase or improvement of that part of the property, provided that

possession and primary beneficial Ownership of the entire parent tract are intended to remain unified.

- A3.6 A plat is not required when a smaller tract is created by the legitimate foreclosure of a valid lien on a part of the parent tract. This provision does not exempt sham transactions or foreclosures staged to avoid the platting requirement.
- A3.7 A plat is not required if the property has been divided by the final decree of a court of record with appropriate jurisdiction.
- A3.8 A plat is not required for non-residential commercial and retail developments divided by lease into 2 or more separate spaces, not to exceed 60 months.
- A3.9 All exemptions in this subsection must be approved in writing by the County Engineer and/or DPD prior to the division of the property. To claim any exemption, the person or entity who claims to be entitled to any exclusion to platting set out in these Guidelines must provide:
- a) An affidavit claiming the exemption and setting out the detailed basis for exclusion from the platting requirement, subject to penalties of perjury.
 - b) A copy of the deed for the parent tract(s).
 - c) A copy of a survey or surveys sealed by a Registered Professional Land Surveyor of the proposed daughter tracts, and their general location in relation to the parent tract.

The division shall comply with any other applicable State or Local regulations, including but not limited to on-site sewage and floodplain regulations.

Appendix B - Engineering Guidelines

B1 - Graphic Requirements

- B1.1. Provide legible construction drawings, to an accurate scale, and provide a north arrow where applicable. Construction drawings shall be accurate, complete, and not conflict with the plat, specifications, or within the sheets. The plans and plat shall clearly present the proposed design for the development without magnification. Incomplete plan sets will be rejected.
- B1.2. The seal, date, and signature of the Professional Engineer responsible for the plans and calculations are required on each sheet developed by the design engineer, which shall be in accordance with the Texas Board of Professional Engineers and Licensed Surveyors Laws and Rules. Reports shall also include the seal, date, and signature of the responsible Professional Engineer.
- B1.3. Provide a cover sheet for projects involving three or more design plans, excluding detail sheets. Plan sheet numbers and titles must be listed on the cover sheet. Include a vicinity map to identify the project location. Show pertinent City Limits and ETJs on the vicinity map. If revisions occur after plan approval, list the revision(s) and associated sheet number(s) on the cover sheet of the plans and resubmit the plans for review and approval. Include the following notes on the cover sheet, when applicable:
- a. The design of this project will not negatively impact this property or adjacent properties/roadways.
 - b. Detention basins shall be constructed prior to placement of impervious cover.
 - c. Utilities and drainage within 2 horizontal feet of roadways shall be fully encased in a minimum of 6 inches of 2-sack cement stabilized sand.
 - d. The geotechnical investigation for this project was conducted per the latest edition of the Walker County Subdivision Regulations. Soils report was prepared by *[Geotechnical Engineering Firm]* Report No. *[No. of Report]*, dated *[Date of Report]*. All construction and materials testing, including but not limited to testing of right-of-way compaction, subgrade, base, asphalt, and concrete, shall be performed by an A2LA Certified Independent Testing Laboratory.
 - e. A mandatory Walker County Pre-Construction Conference shall be held at least 4872 hours prior to construction. Contact Walker County Planning & Development to schedule the Walker County Pre-Construction Conference.
 - f. The Contractor/Engineer shall request a pre-pave inspection from Walker County Planning & Development: 72 hours prior to paving, after the Engineer deems the project is ready for paving. The pre-pave request shall include a certification from the Engineer. Asphalt/concrete paving-Pavement placed without a "no objection" obtained from the County may jeopardize County certification and/or acceptance.
- B1.4. Each set of engineering plans shall contain paving and drainage key drawings, indexing specific plan and profile sheets.
- B1.5. Draw key overall layouts and drainage area maps to a minimum scale of 1" = 200'.
- B1.6. Provide plan and profile sheets with complete, clear stationing. Generally, stationing runs down the centerline of streets and is used for all improvements in and adjacent to the right-of-way. Plan stationing
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must run from left to right, except for short streets or lines originating from a major intersection, where the full length can be shown on one sheet. Plan and profile sheets are not required for projects subject to the Walker County Manufactured Home Rental Community Regulations.

B1.7. Standard scales permitted for plans and profiles drawings are as follows:

- 1" = 20' Horizontal, 1" = 2' Vertical
- 1" = 40' Horizontal, 1" = 4' Vertical, or
- 1" = 50' Horizontal, 1" = 5' Vertical

The above scales are minimum; larger scales may be used to show details of construction.

B1.8. Make a statement on the cover sheet referencing assumed control coordinates.

B1.9. Each sheet of the plan and profile shall have a benchmark elevation and description defined. Projects in flood-prone areas shall be tied to the NAVD 1988 datum or the datum used for current FEMA maps. If the property lies below the base flood level, the floodplain must be delineated graphically on all plan sheets.

B1.10. If a roadway exists where plans are being prepared to improve or construct new pavement or a utility, label the existing roadway width, surfacing type, and thickness.

B1.11. Show all street and road alignments on plans.

B1.12. Show and label proposed pavement and ditches, typical cross-sections, details, lines, and grades, existing topography within the street right-of-way, and any existing or proposed easement. At the intersection, the cross-street details shall be shown at a sufficient distance (20-foot minimum distance outside the primary roadway right-of-way) in each direction along the cross-street for designing adequate street crossings.

B1.13. Match lines between plan and profile sheets shall not be placed or shown within cross-street intersections including cross-street right-of-way.

B1.14. A drainage area map shall be submitted and shall include drainage computations with drainage area and storm water flow labeled.

B1.15. Basic plan and profile sheets shall contain the following information:

- a. The profile vertical scale shall be 1/10th the horizontal scale.
- b. The plan view and profile view shall be on the same sheet whenever practical.
- c. All existing and proposed utilities and pavement shall be on the same plan and profile sheet for a given section.
- d. Identify lot lines, property lines, easements, rights-of-way, and outfalls.
- e. Label each plan sheet as to street/easement widths, pavement widths, pavement thickness where applicable, type of roadway materials, curbs, intersection radii, curve data, stationing, existing utilities (type and location), and any other pertinent feature affecting design. The minimum text size shall be 0.08 inches.
- f. Show water, sewer, paving, and drainage design in and adjacent to right-of-way on the same plan and profile sheets. Graphically show and label flow line elevations, slopes, and direction of flow for ditches.

- g. Show and label all ditches, swales, culverts, headwalls, erosion control, detention ponds, and any other drainage structures or facilities.
- h. Show and label floodplains.
- i. Label proposed top of curb grades except at railroad crossings. Centerline grades are acceptable only for paving without curb and gutters.
- j. Show in profile curb return elevations for turnouts.
- k. Show existing and proposed station median noses or the centerline of median openings, including median width.
- l. The design of both roadways is required on paving sections with a median.
- m. In plan view, show station PCs, PTs, and radius returns. Show in profile station radius returns and grade change PIs with their respective elevations.
- n. Show all water and sewer service leads in plan view.
- o. Specify the rim and all flow line elevations at all inlets and junction boxes. Locate inlets within 5 feet of lot lines.
- p. In profile view, show all storm sewer and label length, grade, material, and size.
- q. In profile view, show and label existing ground profiles at both right-of-way lines.
- r. The location of all existing and proposed water bodies on or immediately adjacent to the subject property.

B1.16. All plan revisions made after final plan approval, including as-built revisions, shall be signed and sealed by a registered engineer, including a date that reflects the plan revision date. The revisions issued after the plan approval shall be clouded.

B2 - Lot, Utility Easement, and Setback Requirements

B2.1. Lots shall have minimum frontages as follows:

A minimum frontage of 125 feet is required for all open ditch roads unless the lot complies with the applicable standard for flag, knuckle, or cul-de-sac lots.

The minimum frontage for all other lots is 80 feet unless the lot complies with the applicable standard for flag or cul-de-sac lots. Lots shall have a minimum depth of no less than 160 ft.

B2.2. Lots shall have a maximum depth no greater than three times the frontage of the lot, with the exception of cul-de-sacs, knuckles, and flag lots.

B2.3. Flag lots shall have a minimum staff width of 50 feet, and no portion of the lot shall have a width of less than 50 feet. The depth of the flag shall not exceed three times the average width of the flag. The average width shall be calculated as the average of the frontage and the back lot line widths. No more than two consecutive flag lots can adjoin.

B2.4. Lots with frontage along a cul-de-sac or knuckle shall have a minimum frontage of 50 feet. The depth of the lot shall not exceed three times the average width of the cul-de-sac or knuckle lot. The minimum average width shall be the same as the required frontage. For lots along cul-de-sacs and knuckles, the average width shall be calculated as the average of the frontage and the back lot line widths.

B2.5. For determining the area required for an on-site sewage facility, the minimum lot size shall be in accordance with the current regulations of Walker County, the Texas Commission on Environmental Quality, or the Authorized Agent having jurisdiction-, whichever regulation is most stringent.

B2.6. The minimum building setback line on arterial roadways shall be 50 feet from the edge of the right-of-way.

B2.7. The minimum building setback line on all collector and local roads shall be 25 feet from the edge of the right-of-way.

The right-of-way shall be used for the purpose of paving and maintaining streets and installing, containing, and maintaining storm sewers. Any additional utilities will require a separate utility easement outside the street rights-of-way, with the exception of fire hydrants and water valves that are located either 5 feet from the edge of the road or on the high bank of the ditch's backslope, whichever is furthest from the edge of the road. Fire hydrants and water valves shall not be located in such a way as to obstruct the maintenance of public improvements or designed/constructed drainage capacity or flows.

B2.8. Where a subdivision is made on an existing publicly maintained road and there are existing utilities in place, see section B4.13(2).

- B2.9. All roads, public and private, shall have a minimum 20-foot utility easement adjacent and parallel to the road right of way. Public roads shall have a public utility easement. Private roads have the option of using private utility easements. Where a utility easement overlaps a public drainage easement, the utility easement shall extend a minimum of 10 feet outside the drainage easement (excluding "box easements"). The utility provider may require additional width, and utilities shall not be located within the public drainage easement except for perpendicular crossings.
- B2.10. With the exception of "Private Subdivisions," the plat shall provide a public drainage easement, sufficient to contain the designed and constructed roadside ditches parallel and adjacent to the public right of way. Additionally, the plat shall provide for a minimum 30-foot-by 30-foot "box" drainage easement adjacent to the right-of-way, upstream and downstream of each culvert where it crosses a street. All public drainage easements shall be noted on the plat as "D.E.," and the notation shall be included in the legend.
- B2.11. Easements shall be provided, where necessary, for all drainage courses in and across the property to be platted. The location and width shall be shown on the plat and marked "Private Drainage Easement" or "Private Drainage and Underground Utilities Easement". In general, a "Private Drainage Easement" shall be a minimum of 20 feet in width when it is not parallel to a public right of way. All drainage easements shall be located in such a manner as to be locatable on the ground. Owner is responsible for the maintenance of private easements. See B12.12.c for storm sewer easement requirements. All Private Drainage Easements shall be noted on the plat as "P.D.E." and the notation shall be included in the legend. P.D.E.s are also required for lot-to-lot drainage within Urban Subdivisions.
- B2.12. The following roads are designated as arterial roadways. The Commissioners Court may specify additional roadways upon recommendation by the County Engineer:
- All roads maintained under the State or Federal system of Roads including but not limited to roads designated as Farm to Market Roads, State Highways, Interstate Highways, and United States Highways.*
- B2.13. If the building setback lines, as stated above, conflict with the setback requirements adopted by a municipality, the municipal requirements shall prevail if they are in the ETJ of the municipality.

B3 - Road Alignments

- B3.1. New roadways that do not connect to an existing publicly maintained road will not be approved without a specific variance.
- B3.2. An internal road system that minimizes driveways and cross-streets to existing County or other public roadways is required. Lots bordering on an existing arterial road shall have access to an internal, platted road, and the final plat shall contain a restriction requiring driveways to connect only to an internal, platted road.
- B3.3. Road Intersections
- B3.3.1. Roads shall be designed and constructed to intersect with each other at 90 degrees, plus or minus 10 degrees. The acute angle of the intersection shall have a 30-foot minimum radius for both the right-of-way and paving.
- B3.3.2. At a "T" intersection, where a street has not been improved to its ultimate width, the pavement shall be stopped at either the right-of-way line or the end of curve return.
- B3.3.3. The minimum offset between road intersections shall be 200' (centerline to centerline).
- B3.4. Points of Access
- B3.4.1. Developments that exceed 40 dwelling units shall be provided with two separate and approved access roads. Exception: Where there are 41 to 149 lots or dwelling units, a single access point will be permitted if that access provides a 40-foot wide travel way. A dwelling unit is defined as a single unit of residence for a family of one or more persons.
- B3.4.2. Where two access roads are required, they shall be placed a distance apart equal to, but not less than, one-half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between access points.

B4 - Minimum Road Design Requirements

- B4.1. Unless otherwise stated in these Regulations, all roads shall be designed and constructed in accordance with ~~2014~~2024 TxDOT ~~Standards~~Standard Specifications.
- B4.2. Subdivisions of thirty (30) lots and less, being out of the parent tract, that utilize frontage or access along existing publicly maintained roads, are not required to improve existing roadways but shall dedicate right-of-way out of the parent tract based on an acceptable alignment. If more than 30 lots in the proposed subdivision have frontage on an existing public right of way, the existing public street shall be improved along the frontage to meet the requirements of these Regulations. Any lot with frontage on an open ditch roadway shall be 1 acre in size and have a minimum frontage of 125 feet, or in the case of cul-de-sac, knuckle, and flag lots, meet the applicable frontage standard detailed in these regulations. See Section 5 for frontage exceptions related to replats and amending plats.
- B4.3. Lots intended to access future roads will not be approved.
- B4.4. For purposes of this Appendix, ADT shall be defined as the anticipated average daily traffic at the time of complete build-out of the subdivision, including any future development that may be served by a given road. For planning purposes, it shall be assumed that single-family residential lots will generate a minimum 9.44 ADT. If an area of future development consists of ½ acre or more, it shall be assumed that such development will produce an ADT of 57 per acre, unless there is a note prohibiting future subdivision and limiting the lot to single-family residential construction.
- B4.5. Areas of future development with residential, commercial, or unspecified land use (including reserves or residuals) must have separate and independent access from that of the streets within the proposed development and may not be connected to street within the development, unless road design and construction within the proposed development meet the applicable standard for the average daily trips for ultimate buildout of the residential, commercial, or unspecified land use.
- B4.6. Roadways shall be classified as Arterial, Collector, or Local Streets and conform to Table B4.1.

Table B4.1 Roadway Design Standards

Street Classification ⁽¹⁾		Projected Volume per Day ⁽²⁾	Min. Number of Travel Lanes (Min. 12' Wide)	Min. Center Lane Width (ft)	Min. Paved Shoulder Width (ft)	Is Curb & Gutter ⁽³⁾ Required	Min. Pavement Width ⁽⁴⁾ (ft)	Min. Right-of-Way Width (ft)	Min. Design Speed (MPH)	Min. Design Storm ⁽⁵⁾ (Yr)
Arterial	Rural	12,000+	2	14	6	No	50	100	45	10
	Urban	12,000+	4	20		Yes	69	100	45	10
Collector	Rural	6,000-11,999	TO BE DETERMINED BY COMMISSIONERS COURT ⁽⁶⁾						3540	10
		2,000-5,999	2		2	No	28	80	3540	10
	Urban	6,000-11,999	2	14	8 ⁽⁷⁾	Yes	55	80	4035	10
		2,000-5,999	2		8 ⁽⁷⁾	Yes	41	60	4035	10
Local	Rural	< 2,000	N/A			No	26	70	3035	10
	Urban	< 2,000	N/A			Yes	32	50	3035	5
Low	Rural	< 190 ⁽⁸⁾	N/A			No	22	60	3035	10

Notes:

- (1) Refer to Section 2 for Rural and Urban definitions.
- (2) Roads with a projected volume over 6,000 trips per day shall have striping.
- (3) If curb and gutter is not required, the developer can choose to install curb and gutter in lieu of shoulders. Standard 6" concrete curbs and 4"x12" rollover curbs are permitted. -Within urban single-family residential subdivisions where residential lots have frontage, 4"x12" rollover curbs are required. **Asphalt** will not be permitted on curb and gutter roadways. -Refer to Appendix G for details.
- (4) For curb and gutter pavement sections, this measurement is from back of curb to back of curb.
- (5) Culverts under streets shall be designed **and installed** per Appendix B.12.
- (6) The developer shall provide an engineer's recommendation, land plan, TIA, and typical cross-section based on traffic volume. The 80-foot minimum right-of-way width must be justified based on site conditions and roadway width.
- (7) The paved shoulder on Urban Collectors is a parking lane.
- (8) Must be in a rural development consisting of only one street that is less than 1,000 linear feet in total length.

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B4.7. Refer to Appendix F for typical roadway cross-sections **and**, Appendix G for curb and gutter details, **and Appendix H for concrete pavement details**.

B4.8. Residential lots shall not have direct access to arterial roads.

B4.9. If the Collector road is included in a roadway or transportation plan, the right-of-way and pavement cross-section shall be as required in the plan.

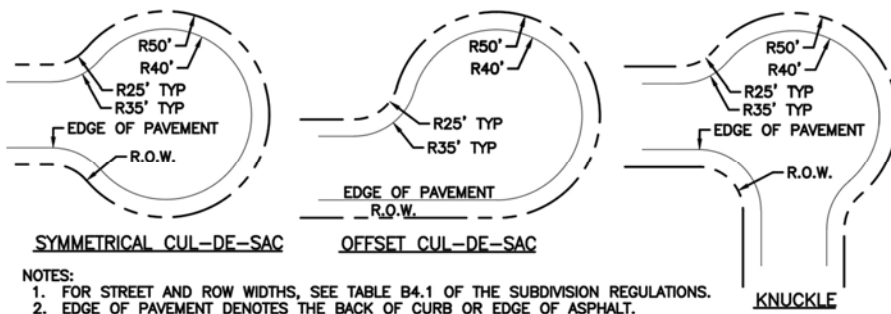
B4.10. Local roads shall be designed as follows:

- a. Developer can choose to install curb and gutter in lieu of shoulders on local roads. Standard 6" concrete curbs are permitted. Rollover curbs (4"x12") are permitted in single-family residential subdivisions where residential lots have frontage.
- b. Block length shall not exceed 1,250 feet (centerline to centerline) for urban lots and 2,500 feet for rural lots; the minimum distance shall be 200 feet. Exception: developments with a minimum of 5-acre lots may have up to 5,000-foot block lengths.

B4.11. The following standards apply to all roads:

- a. Pavement striping shall comply with the Texas Manual on Uniform Traffic Control Devices.
- b. Provide steel casing or C900 DR 18 PVC casing on all water and sanitary sewer crossings under proposed arterial and collector streets. Casing shall extend a minimum of 5 feet beyond outside the edge of the pavement. Steel casing shall have a minimum wall thickness of 0.375 inches, rolled steel type. Spiral steel will not be allowed. Exemption: service leads are not required to be cased.

- c. All utility installations shall comply with Texas Administrative Code, Title 43, Part 1, Chapter 21, Subchapter C.
- d. All pipeline installations shall be reviewed and approved by Walker County. Where utilities cross pipelines, signage shall be installed where the utility crosses the pipeline's easement line, one foot outside of the easement. The sign shall note the type of utility crossing the pipeline (i.e., water, sewer, storm, gas, etc.).
- e. Roads shall be dedicated to the public except as indicated in Section 8. The Owner may dedicate the right of way or an easement for road, drainage, and utility purposes, at the Owner's option.
- f. Accepted roads must have driveways that meet Walker County standards. The most restrictive criteria shall apply.
- g. Driveways shall comply with the Regulations for Walker County Driveway Permits, Design, and Materials.
- h. Where concrete curb and gutter are constructed, they shall be constructed per [2014/2024](#) TxDOT Specification Item 529.
- i. Loops, being a single street connecting to the same street on each end, shall not exceed 2,500 feet for urban streets and 5,000 feet for rural streets. Exception: developments with a minimum of 5-acre lots may have up to 10,000 linear-foot loops.
- j. Dead-end streets shall not exceed 1,250 feet for urban streets and 2,500 feet for rural streets unless a future extension is planned. Exception: developments with a minimum of 5-acre lots may have up to 5,000 linear-foot dead-end streets.
- k. Manholes shall not be located in or under the street pavement.
- l. The minimum grade for all roads shall be 0.5% and the maximum grade shall be 7%.
- m. Curb and gutter roads shall have a minimum 1% fall around intersection turnouts for a maximum radius of 35 feet. Grades for larger radii shall be determined on an individual basis.
- n. The minimum street intersection radii shall be 25 feet. [The minimum cul-de-sac and knuckle radii requirements are as follows:](#)



- o. All roads shall maintain a height clearance of at least 14 feet.

- p. Provide a vertical curve anywhere the algebraic difference between grades exceeds one percent. Specify the PI station and elevation, and specify the K Value. Design curves in accordance with the TxDOT Roadway Design Manual.
- q. Local Roads may have a minimum centerline radius of 300 feet or more as long as minimum sight distance requirements are met. Local Roads that do not have a minimum centerline radius of 300 feet, Collector Roads, and Artillery Roads shall be designed in accordance with the 2024 TxDOT Roadway Design Manual. The minimum tangent on reverse curves between points of curvature shall be 50 feet.
- r. Provide a cut back a minimum of 15 feet from the point where the street right-of-way lines would intersect to provide a visibility triangle. -A 25-foot radius at intersecting right-of-way lines is also acceptable.
- s. A permit, encroachment agreement, or letter of no objection from the pipeline company, is required when paving is placed over transmission pipelines. Whenever possible, roadway crossings of pipelines shall be avoided or minimized by design, and perpendicular crossings are required. All existing utilities crossing proposed streets shall meet the minimum TxDOT utility crossing criteria, of the TxDOT including but not limited to the requirements of TAC Chapter 21.
- t. In new subdivisions, the Owner shall install cluster mailboxes at the location(s) approved by the US Postal Service. The placement of individual or cluster mailboxes along arterial and collector roads shall not be permitted in new subdivisions unless specifically approved by the Commissioners Court. Mailboxes shall not encroach on/over sidewalks or other public walks or ways in the County right-of-way. Mailboxes shall be installed in accordance with applicable postal regulations. Individual and cluster mailboxes shall not be installed in such a way as to negatively impact road or drainage capacity, design, or function.
- u. All pavements are to be designed by a Registered Professional Engineer. The design shall be based on a minimum 20-year design life and in conjunction with recommendations based upon a soils report of samples taken along the proposed roadways. Test borings shall be placed at a maximum spacing of 500 feet or other sampling frequency approved by the County Engineer based on recommendations provided by the geotechnical engineer. The soils report and pavement design shall be submitted to the County Engineer for review. The pavement design must be approved by the County Engineer prior to or concurrently with the review and approval of the construction plans. In addition to the basis of the pavement design, the soils report shall contain the results of sampled and tested subgrade for plasticity index, pH, sulfate content, and maximum density.
- v. Provide a Traffic Control Plan in accordance with the Texas Manual on Uniform Traffic Control Devices.

B4.12. The following requirements apply to dead-end roads and cul-de-sacs:

- a. Dead end roads having a throat length longer than 150 feet shall have a cul-de-sac with a minimum right-of-way radius of 50 feet (40 feet minimum pavement radius to face of curb/edge or edge of asphalt pavement). A cul-de-sac is not required on dead-end streets that have a throat length of 150 feet or less.
- b. "No Outlet" signs must be placed at the entrance to the dead-end road, even if the road is planned to be extended in the future.

- c. Dead end roads that end at undeveloped property must be extended to the property line. At the terminus, a temporary cul-de-sac shall be provided for all such streets having a throat length more than 150 feet, constructed in accordance with the requirements of this Appendix. Hammerhead design will not be allowed; however, alternate designs, such as landscape center islands, may be considered by the County Engineer to ensure a sufficient turnaround area is provided.
- d. For all temporary cul-de-sacs, provide a minimum easement radius of 50 feet (40 feet pavement radius to face of curb/edge or edge of asphalt pavement). Temporary easements shall be established for the portions of the cul-de-sac that lie outside of the road right-of-way. Such easements that lie within the plat boundary shall be shown on the final plat. Easements that lie outside the boundary of the plat may be in the form of a separate document but must be recorded prior to the construction of any roadway improvements or final plat approval. The plat or easement document shall include a note stating the easement shall automatically terminate upon the date a plat or other appropriate instrument has been recorded that publicly dedicates a road extension.
- e. Standard TxDOT barricades shall be placed at the end of all dead-end roads not terminating in a cul-de-sac.

B4.13. Additional Right of Way for Existing Roads

When a subdivision is adjacent to an existing road, the DPD or County Engineer shall determine the right-of-way width that will be necessary for the maintenance and improvement of the existing road. If the existing road is an Arterial roadway, as defined herein, the Owner shall dedicate to the public up to 100 feet in the overall width of the right-of-way, as determined by Commissioners Court. The Owner shall dedicate an easement for the road, drainage, and utility purposes. No utilities, debris, landscaping, irrigation, sidewalks, illumination, water quality features, or other improvements not related to roads and drainage shall be located within the public rights-of-way, unless the Commissioners Court has granted a specific variance, with the following exception:

- 1) fire hydrants that are located either 5 feet from the edge of the road or on the high bank of the ditch's backslope, whichever is furthest from the edge of the road. Fire hydrants shall not be located in such a way as to obstruct the designed/constructed drainage capacity or flows.
- 2) Where a subdivision is made on an existing publicly maintained road, there is no new construction of road and drainage infrastructure required, and there are existing utilities in place, they do not have to be relocated at the time of the plat. This does not preclude the County or other public agency from requesting the utility to be relocated at a future date where a right exists, nor exclude future action by the County or public agencies related to the relocation or construction of the utilities. No landscaping, irrigation, sidewalks, illumination, water quality features, or other improvements not related to roads and drainage shall be located within the public rights-of-way unless the Commissioners Court has granted a specific variance.
- 3) perpendicular utility crossings.

B4.14. A traffic impact analysis is required if any of the criteria below is met:

- a. Volume per day is 6,000 or greater
- b. All developments located within 500 feet of the intersection of two or more arterial and/or collector streets with an overall footprint in excess of 5 acres
- c. New school construction

- d. Shopping centers with gross square footage in excess of 100,000 square feet
- e. TxDOT requires analysis
- f. There are more than 150 peak hour trips

B5 - Construction – General

- B5.1. A preconstruction meeting must be scheduled and held prior to the start of construction, and a construction schedule shall be included in the request for a preconstruction meeting. The applicant's Engineer, Applicant, Contractor, Subcontractors, DPD, and County Engineer shall attend this meeting.
- B5.2. All roads are to be constructed in accordance with the construction documents associated with the approved plans and in accordance with the specifications found in the Walker County Subdivision Regulations and the ~~2014~~2024 version of the "Texas Department of Transportation Standard Specifications for Construction of Highways, Streets, and Bridges."
- B5.3. It is the responsibility of the applicant's certifying licensed engineer to ensure that work is performed in accordance with the approved plans. Monitoring by the certifying engineer shall be performed throughout the construction project for all operations.
- B5.4. All materials (including but not limited to right-of-way compaction, subgrade, **base, asphalt**, and concrete) must be sampled and tested by an A2LA Certified Independent Testing Laboratory to show compliance with Subdivision Regulation specifications and in accordance with the construction documents approved by Commissioners Court. The Owner shall pay for all testing services and shall furnish the County Engineer with certified copies of all test results related to paving and drainage, including failures. The County Engineer must offer a "no objection" to the test results prior to constructing the next course of the roadway structure. If the owner has testing performed in accordance with these standards and has approval of the certified lab and the owner's engineer, the owner may submit testing results for subgrade following the placement of **base** material. Any material that does not meet the minimum required test specifications shall be removed, re-compacted or replaced, and retested unless alternative remedial action is approved in writing by the Commissioners Court.
- B5.5. All utilities installed in the public ~~right-of-way~~ shall comply with State and Federal regulations.
- B5.6. Construction oversight shall comply with the current, approved Construction Examination Guidelines.

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B6 - Subgrade

- B6.1. The preparation of the subgrade shall follow standard engineering practices as directed by the County Engineer in conjunction with recommendations outlined in the geotechnical report. When the Plasticity Index (PI) is greater than 15, a sufficient amount of lime shall be added as described in Item 260 of the ~~2014~~2024 edition of the TxDOT Standard Specifications for Construction until the PI is less than 15. Carbide lime treatment is not permitted. If the addition of lime as described in Item 260 is not feasible, an alternate stabilizing design shall be proposed and submitted to the County Engineer for consideration. The subgrade shall be prepared and compacted to achieve a dry density per TxDOT Items 132 and 260.
- B6.2. Proof-rolling is required to be performed prior to chemical treatment per TxDOT Item 216.
- B6.3. The subgrade shall be inspected and approved by the developer's engineer and an A2LA Certified Independent Testing Laboratory, and a certified copy of all inspection reports shall be furnished to the County Engineer. All density test reports shall include a copy of the worksheet showing the percentage of the maximum dry (Proctor) density.
- B6.4. The testing laboratory's representative shall determine the Moisture-Density Relationship in accordance with ASTM D698, on material secured from the roadway or borrow source, for each type of material encountered or used.
- B6.5. The applicant's certifying engineer shall provide the County Engineer the recommended number and location of all subgrade tests and obtain a "no objection" from the County Engineer

B7 - Base Material

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- B7.1. Base material shall conform to Item 247 of the ~~2014~~2024 edition of the TxDOT *Standard Specifications for Construction and Maintenance of Highways, Streets, and Bridges*, "Flexible Base". The base material shall be Type A, Grade 1 or 2, or as approved by the Commissioners Court.
- B7.2. Each layer of base course shall be tested for in-place dry density and measured for compacted thickness. The applicant's certifying engineer shall provide the County Engineer the recommended number and location of all base test samples and obtain a "no objection" from the County Engineer.
- B7.3. The base shall be prepared and compacted to achieve a minimum of 95% of the maximum (Proctor) dry density or as approved by the County Engineer upon recommendation by the testing laboratory. The maximum lift shall not exceed eight inches.
- B7.4. The base must be inspected and approved by an Independent Testing Laboratory and a certified copy of the test results furnished to the County Engineer for approval. Prior to the placement of the first lift of base, the stockpile shall be tested for the specifications found in Item 247 Table 1 and the result furnished to the County Engineer for approval. Determine roadway density and moisture content of completed sections in accordance with Tex-115-E.

B8 - Bituminous Pavement

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B8.1. Roads require ~~aan~~ absolute minimum 2-inch wearing surface of HMAC Type D in conformance with 2024 TxDOT Specification Item 341 and all other applicable items.

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B8.2. The mix shall be from a TxDOT-certified plant. The mix design shall be submitted to the County Engineer for approval prior to placement of the material.

B8.3. Contractor's Quality Control (CQC) test reports shall be submitted to the County Engineer daily. As a minimum, daily CQC testing on the produced mix shall include Sieve Analysis TEX-200-F, Asphalt Content TEX-210-F, Hveem Stability TEX-208-F, Laboratory Compacted Density TEX-207-F, and Maximum Specific Gravity TEX-227-F. Each HMAC course shall be tested for in-place density, bituminous content, and aggregate gradation, and shall be measured for compacted thickness.

B8.4. Unless otherwise directed or approved by the County Engineer, testing shall be conducted on a minimum of three locations per each paving pass, one located within 50 feet of the start of each pass, one located within 50 feet of the end of each pass, and at least one per 300-feet of paving ~~between~~. Test locations shall be at least two feet clear of joints and pavement edges. Core samples shall be at least four inches in diameter for Type D HMAC.

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B9 - Concrete Pavement

- B9.1. Portland cement concrete pavement is required for curb and gutter roadways and may be used on streets with roadside ditches. Concrete pavement shall be in conformance with ~~2014~~2024 TxDOT Specification Item 360 and all other applicable Items. The mix shall be from a TxDOT certified plant. The mix design shall be submitted to the County Engineer for approval prior to placement of the material.
- B9.2. The following are the allowed minimum requirements, minimum thickness and reinforcement requirements for concrete pavement. Refer to Appendix H for concrete pavement details. Pavement thickness and reinforcement shall be designed by the Professional Engineer responsible for the project and be based on a current soils analysis and recommendations by a qualified geotechnical engineer. Pavement design, based on soils analysis, use, loading, and life span, may require greater thickness and more reinforcement than the minimum required.
- a. For pavement widths less than, or equal to, 32 feet B/B of curb, minimum concrete slab thickness shall be 6 inches for $f_c' = 3,500-4,000$ psi and minimum reinforcement shall be Grade 60, $f_y = 60,000$ psi, #4 deformed reinforcing bars spaced at maximum 36 inches center to center transversely and maximum 18 inches center to center longitudinally, and minimum lap length of 22 inches. Expansion joints shall be placed at the end of each curb return, and at a maximum spacing of 60 feet. The minimum stabilized subgrade thickness shall be 6 inches.
 - b. For pavement widths greater than 32 feet B/B of curb, the minimum concrete slab thickness shall be 8 inches for $f_c' = 3,500-4,000$ psi, and minimum reinforcement shall be grade 60, $f_y = 60,000$ psi, #45 deformed reinforcing bars, maximum 30-36 inches center to center transversely and maximum 18-24 inches center to center longitudinally, and minimum lap length of 22-27 inches. Expansion joints shall be placed at the end of each curb return at a maximum spacing of 60 feet. The minimum stabilized subgrade thickness shall be 8 inches.
- B9.3. Concrete headers shall be placed at the end of all concrete pavements.
- B9.4. All concrete pavement to be removed/repared shall be removed to either the existing joint or a sawed joint.

B10 - Concrete – General

- B10.1. Unless otherwise specified, concrete shall be in accordance with Item 421 of the current edition of the TxDOT Standard Specifications for Construction and be placed in accordance with the applicable item.
- B10.2. All concrete shall be tested for compressive strength. One set of three concrete test cylinders shall be molded for every 50 cubic yards of concrete placed for each class of concrete per day, or at any other interval as determined by the County Engineer. A slump test shall be required with each set of test cylinders. One cylinder shall be tested for compressive strength at an age of seven days, and the remaining two cylinders shall be tested at 28 days of age.

B11 - Road Names, Signs, and Markers

- B11.1. All roads shall be named, with prior approval for said name from the Walker County 911 Addressing Coordinator. Roads must be named in a manner to avoid confusion in identification. Roads that are extensions of existing roads must carry the names of those in existence. The Owner shall provide the Coordinator with two digital files of the plat. One file shall be in an Adobe .pdf format, and the other file shall be in an AutoCAD .dwg format georeferenced to NAD 1983 State Plane Grid Coordinate System, Texas Central Zone (4203), with the drawing in US feet. The road names shall be displayed on standard intersection road marker signs erected by the Owner in compliance with the TxMUTCD "Street Name Signs" and at the locations, as indicated on the construction plans.
- B11.2. Traffic control signs (such as stop, yield, and speed limit signs) shall be installed by the Owner of said subdivision in compliance with the TxMUTCD and at the locations as indicated on the approved construction plans. Other traffic control signs, as shown on the construction plans, shall be installed to indicate any unusual traffic or road hazard or conditions that may exist. All traffic control devices shall be placed in compliance with the TxMUTCD and the construction cost shall be borne by the Owner.
- B11.3. A speed limit of ~~30-35~~ mph for local roads, ~~35-40~~ mph for collector roads, and 45 mph for arterial roads within all platted subdivisions are hereby adopted. This limit may be changed only by Commissioners Court upon the basis of an engineering and traffic investigation showing that the prima facie maximum reasonable and prudent speed for a particular road (or part of a road) should be different. The placement of a stop sign or a yield sign on the minor road at intersections shall be evaluated on a case-by-case basis in accordance with the TxMUTCD.
- B11.4. For any road that is proposed to be extended in the future, a minimum of five metal channel posts, equally spaced, shall be placed at the end of the road. Each post shall have an 18"x18" red diamond object marker sign (type OM-4 per TxMUTCD) placed four feet above the existing ground.
- B11.5. A future road extension sign shall be placed at the end of all roads and temporary cul-de-sacs that are proposed to be extended in the future. The sign shall state the following: Future Extension of <name of road>.
- B11.6. Signage that differs from the standard signage that is maintained by the County shall be maintained by the Owner. The signage shall be maintained in such a fashion to comply with the TxMUTCD requirements.
- B11.7. Public road name signs shall be green with white lettering. Private road name signs shall be brown with white lettering.

B12 - Drainage

- B12.1 Drainage infrastructure design and supporting calculations shall be completed by a Registered Professional Engineer, shall be in accordance with the most conservative methods described in the City of Huntsville Engineering Design Criteria Manual and TxDOT's Hydraulic Design Manual unless otherwise specified in this section, and shall conform to standard engineering practices and procedures. In general, roads shall not be used as drainage courses, except for extreme event sheet flow or where drainage is conveyed directly to inlets, without crossing streets or intersections. All data and supporting calculations must be presented to the County Engineer as part of the construction plans.
- B12.2 If the County accepts maintenance responsibility, the County's maintenance responsibility will be limited to only public drainage improvements that are located within the road right-of-way or parallel and adjacent to the right-of-way. Maintenance responsibility for all other stormwater management controls will remain with the Owner(s) or a designated Property Owner's Association. Drainage improvements associated with private drainage features, such as detention basin outfalls, are considered private and will also be the responsibility of the Owner(s) or a designated Property Owner's Association.
- B12.3 Easements shall be provided for all drainage courses in and across the property to be platted. The location and width shall be shown on the plat and marked Private Drainage Easement ("P.D.E.") or "Private Drainage and -Utilities Easement". In general, a P.D.E. shall be designed to convey the 100-year flow and be a minimum of 20 feet in width when the easement is not parallel to a public right of way. Lot-to-lot drainage within Urban Subdivisions shall be located within a designed P.D.E., and it may be exempt from the minimum 20-foot width requirement. All drainage easements, private and public, shall be located in such a manner as to be locatable on the ground. Owner is responsible for the maintenance of private easements. See B12.12.c for storm sewer easement requirements.
- B12.4 Provide a minimum 30-foot-by 30-foot drainage easement adjacent to the right-of-way, upstream and downstream of each culvert where it crosses a street.
- B12.5 Drainage infrastructure design shall be supported with a legible drainage area map that includes labeled contours, flow arrows, delineated onsite and offsite drainage areas, drainage area acreage, computed peak flow rates, and all existing and proposed drainage infrastructure clearly labeled.
- B12.6 Provide a culvert schedule noting the size, minimum slope, and quantity of all driveway culverts on a sheet with an overall layout of the development.
- B12.7 Both a plan and profile views shall be shown in the construction plans for all proposed drainage infrastructure. Each plan and profile shall show the design flow, velocity, invert elevations, and the hydraulic grade line for the design storm.
- B12.8 Detention Facilities
- a. Detention ponds shall be designed, constructed, and maintained by the Owner(s) or a designated Property Owner's Association to mitigate the increased rate of runoff discharged from the platted area in order to meet or reduce the rate of discharge of the watershed, at the release point of the development, to its pre-developed state. Mitigation without detention based on an engineering timing analysis cannot be used to meet this requirement. A variance may be allowed when the Owner can demonstrate that downstream properties will not be adversely affected.

- b. The detention design for all onsite and offsite detention ponds shall be submitted with each engineering plan submittal and shall not be located within a right-of-way or utility easement.
- c. Offsite detention ponds shall be located in a dedicated easement, and the associated private drainage easement shall be shown on the recorded plat. Variances are required for offsite detention basins, when located on the parent tract, outside of the platted boundary.
- d. When a development is planned to be separated into several sections, a master drainage and detention plan will need to be provided that indicates that the pond is designed considering ultimate developed conditions.
- e. The detention pond and detention outlet structures are to be designed to mitigate increased runoff peak flow rates for the 5-year, 25-year, and 100-year storm events.
- f. For watersheds less than 50 acres, a detention storage estimating method such as the simplified method, or the NRCS unit hydrograph method along with the Modified Puls level pool routing method, may be used for detention design. Otherwise, the pond shall be designed per Section B12.8.g.
- g. For watersheds greater than or equal to 50 acres, the NRCS unit hydrograph method along with the Modified Puls level pool routing method shall be used for detention design.
- h. For both curbed and uncurbed streets, runoff from the 100-year storm event shall be conveyed in a controlled manner, either overland or underground, to the detention facility or otherwise mitigated, as necessary. ~~Adequately sized storm sewer is required on curb and gutter streets, and concentrated flow shall not discharge over the back of curb.~~
- i. Detention ponds shall have a minimum side slope of 4 to 1, a minimum 10-foot maintenance access berm, a minimum of 1-foot of freeboard above the designed 100-year water surface elevation, and a minimum 0.75% bottom slope. Concrete pilot channels shall have a minimum depth of 2 inches and a minimum slope of 0.2%. Grass-lined pilot channels shall have a minimum depth of 1 foot and a minimum slope of 0.5%. The bottom slopes of the detention basin should be graded toward the pilot channel.
- j. Inlet pipes or channels shall be set a minimum of 6 inches above the bottom of the pond and shall include adequate erosion protection.
- k. Pond outlet orifices shall not be less than 6 inches in diameter, and the minimum outlet pipe shall be 18 inches.
- l. Outlet pipes shall be set a minimum of 6 inches above the flow line of the receiving watercourse and shall include adequate erosion protection. The outlet pipe shall enter the receiving watercourse at a 60-degree angle, plus or minus 10 degrees.
- m. Outlet exit velocities exceeding 5 feet per second shall have riprap erosion protection and exit velocities exceeding 10 feet per second shall have concrete energy-dissipating devices.
- n. Detention ponds shall have an emergency overflow weir at the pond outlet to mitigate the 100-year storm and provide a discharge location for greater storm events. This weir shall be designed to convey the 100-year storm event, assuming the main outlet is clogged. The emergency weir shall be constructed with concrete slope paving that has a 5-inch minimum thickness and includes sufficient reinforcement, and the weir shall not have a negative impact on the roadway.

B12.9 Roadway Bridges and Culverts

- a. Drainage crossings under all roads shall be designed to convey runoff from the 100-year storm event with the maximum water surface level not exceeding the lowest edge of pavement elevation of the road and without causing an increase in the pre-developed water surface for areas located outside of the platted area.
- b. The rational method shall be used to calculate peak flow rates for watersheds less than 200 acres. The NRCS unit hydrograph method or regression curves shall be used for watersheds greater than or equal to 200 acres.
- c. For culverts, hydraulic calculations shall consider entrance, exit, and friction losses as well as downstream hydraulic conditions (i.e., tailwater).
- d. For culverts, exit velocities exceeding 3 feet per second shall have erosion protection (i.e., riprap, concrete block mats, etc.). Exit velocities exceeding 5 feet per second shall have a concrete lining, and exit velocities exceeding 10 feet per second shall have concrete energy-dissipating devices.
- e. All riprap shall be clean and free of trash, metal, and debris. In addition, riprap shall not impede flow or create ponding.
- f. For span bridges, the bottom chord shall be set to 1.5 feet above the 1% annual chance base flood elevation and shall completely span the FEMA-designated floodway (Note: a floodplain permit will be required for any development within a FEMA special flood hazard area).
- g. Bridges, culverts, and all other drainage structures shall be designed and constructed per ~~2014~~2024 TxDOT Specification Section Items 400 - 499.
- h. Provide safety end treatments and headwalls in accordance with TxDOT Bridge Standards details. Slopes tying to natural ground (i.e., wing walls, safety end treatments, etc.) shall not exceed a 6 horizontal to 1 vertical.
- i. Design culvert crossings in accordance with the TxDOT Roadway Design Manual. If the ditch is greater than 4 feet deep, headwalls must be a minimum of 10 feet from the edge of the pavement or 6 feet from the back of the curb, unless a guardrail is provided. Guardrails are only permitted by variance.
- j. Bridges over 20 feet in span require an NBI number assigned by TxDOT. The applicant shall request the NBI from Walker County Planning and Development and shall provide all required TxDOT documentation and design, including scour analysis. The applicant shall request a TxDOT inspection through Walker County prior to the bridge being opened to traffic. Failure to meet this requirement could impact annual inspections and acceptance.

B12.10 Roadside Ditches

- a. Roadside ditches shall convey runoff from the 10-year storm event with 6 inches of freeboard. During a 100-year storm event, the water elevation shall not exceed the elevation at the adjacent right-of-way line or the elevation at the right-of-way adjacent drainage easement. The Engineer shall demonstrate proper cascading of flow through the streets or adequate conveyance capacity to ensure that runoff from the 100-year event is contained within the street right of way and drainage easement(s) as it is conveyed to the outlet point. Supporting calculations shall be provided demonstrating property conveyance of runoff from the 1% annual chance storm.
- b. The rational method shall be used to determine peak flows for all roadside ditch designs.

- c. Roadside ditches shall have a minimum depth of 18 inches ~~or equal. The, and roadside ditches are not required at grade breaks and high points. When a ditch is required, the~~ minimum depth is to be measured from the edge of the road or the elevation at the ~~ROW~~right-of-way/edge of the drainage easement, whichever is lower. Exception: A roadside ditch may be a minimum of 12 inches deep for distances not to exceed 100 feet where there is no driveway access permitted on the roadway. There is no minimum ditch depth requirement where the proposed infrastructure ties to existing infrastructure, but the transition to 18 inches deep shall occur as soon as feasible, as related to existing grades.
- d. Velocities in grass-lined roadside ditches shall not exceed 5 feet per second for the design storm. Ditch velocities between 3 and 5 feet per second required block sod or rigid lining (i.e., rip rap, geosynthetic or concrete matting, flexible growth medium, etc.). Concrete slope paving with minimum 18" deep toe walls, having a 5-inch minimum thickness with sufficiently designed reinforcement, shall be installed where velocities exceed 5 feet per second for the design storm.
- e. Grass-lined roadside ditch front slopes shall have a maximum grade of 6 horizontal to 1 vertical and the back slopes shall have a maximum grade of 4 horizontal to 1 vertical.
- f. Ditch longitudinal slopes shall not be less than 0.5%.
- g. Refer to Appendix F for a typical roadside ditch cross-section.
- h. No utilities shall be placed within the roadside ditches that obstruct the designed/constructed drainage flows.
- i. Manning Coefficient: The "n" coefficient for the ditch calculations shall be a minimum of 0.040. Natural channels shall have a minimum "n" coefficient of 0.060. All coefficient values must be justified.
- j. Provide safety end treatments and headwalls in accordance with TxDOT Bridge Standard details and 2024 TxDOT Standard Specification Item 467. The plans shall include the applicable details.

B12.11 Driveway Culverts

- a. Driveway culverts shall comply with the Regulations for Walker County Driveway Permits, Design, and Materials.
- b. Driveway culverts shall convey runoff from the 10-year storm event, assuming full-flow hydraulic conditions.
- c. The rational method shall be used to determine peak flows for driveway culvert design.
- d. A driveway culvert schedule shall be provided in the construction drawings and plat. The table shall include section number, block number, lot number, and culvert size.
- e. Exit velocities exceeding 5 feet per second shall have erosion protection (i.e., riprap, concrete block mat, concrete lining, etc.) and exit velocities exceeding 10 feet per second shall have concrete energy dissipating devices.
- f. Sheet flow from driveways shall be shed to the roadside ditch prior to the sheet flow reaching the driveway culvert crossing.
- g. ~~Provide safety end treatments and headwalls in accordance with TxDOT Bridge Standards details-~~ and 2024 TxDOT Standard Specification Item 467. The plans shall include the applicable details.

B12.12 Storm Sewer

- a. All closed conduit storm sewers shall have a minimum Manning's Coefficient of 0.013 and shall be one of the following:
 - i. Reinforced concrete pipe (RCP) in accordance with ~~2014~~2024 TxDOT Specification Item 464,
 - ii. Reinforced concrete box culvert (RCBC) in accordance with ~~2014~~2024 TxDOT Specification Item ~~468-462~~ (minimum Manning's Coefficient of 0.015),
 - iii. Dual wall, corrugated, smooth interior, water-tight high-density polyethylene (HDPE) in accordance with ASTM F2306, AASHTO ~~M252 (or M294)~~, ~~2024~~ TxDOT ~~Special~~ Specification ~~4216~~Item 468, and TxDOT Specification DMS-4710 (pipes over 48 inches are not permitted, ~~a~~ 30-day mandrel test is required), or
 - iv. Dual wall, corrugated, smooth interior, water-tight polypropylene (PP) pipe in accordance with ASTM F2881, AASHTO M330, ~~2024~~ TxDOT ~~Special~~ Specification ~~4216~~Item 468, and TxDOT Specification DMS-4710 (pipes over 48 inches are not permitted, 30-day mandrel test is required).
- b. Refer to Appendix I for pipe bedding and backfill details.
- c. When storm sewers are permitted outside of the public right of way, the minimum easement width shall be the following:

Pipe Depth D:			4'	5'	6'	7'	8'	9'	10'	11'	12'	13'	14'
Pipe Dia.	d ₀	X Value	15' Esm't	20' Esm't		25' Esm't (Trench Box Required)							
8"	1	0.5	12.0	16.0	20.0	24.0	28.0	32.0	36.0	40.0	44.0	48.0	52.0
12"	1.3		11.1	15.1	19.1	23.1	27.1	31.1	35.1	39.1	43.1	47.1	51.1
15"	1.7		9.9	13.9	17.9	21.9	25.9	29.9	33.9	37.9	41.9	45.9	49.9
18"	2		9.0	13.0	17.0	21.0	25.0	29.0	33.0	37.0	41.0	45.0	49.0
24"	2.5	0.75	8.0	12.0	16.0	20.0	24.0	28.0	32.0	36.0	40.0	44.0	48.0
30"	3			10.5	14.5	18.5	22.5	26.5	30.5	34.5	38.5	42.5	46.5
36"	3.5			9.0	13.0	17.0	21.0	25.0	29.0	33.0	37.0	41.0	45.0
42"	4	1			12.0	16.0	20.0	24.0	28.0	32.0	36.0	40.0	44.0
48"	4.5				10.5	14.5	18.5	22.5	26.5	30.5	34.5	38.5	42.5
54"	5.1	1.25			9.2	13.2	17.2	21.2	25.2	29.2	33.2	37.2	41.2
60"	5.6						15.7	19.8	23.7	27.7	31.7	35.7	39.7
66"	6.2	1.5	Depth is not Applicable				18.4	22.4	26.4	30.4	34.4	38.4	
72"	6.7						16.9	20.9	24.9	28.9	32.9	36.9	

Trench Width Formula for Predominately Type C Soils: $W = d_0 + 2X + 4 [D - (d_0 + 0.5)]$

- d. The design storm for storm sewer design shall be in accordance with Table B4.1. Adequately sized storm sewers are required on curb and gutter streets, and concentrated flow shall not discharge over the back of curb. The design storm HGL shall not exceed 12 inches below the gutter flow line.
- e. For the 100-year storm event, the starting HGL shall be equal to the top of pipe or the 25-year storm event water surface elevation of the receiving watercourse, whichever is greater.
- f. Storm sewer conduits shall have a minimum velocity of 3 feet per second and a maximum velocity of 10 feet per second when flowing full.
- g. Storm manholes shall have a maximum spacing of 600 feet measured along the conduit run. Manholes for storm sewer conduits shall be placed at size changes, cross-section changes, grade changes, inlet lead and conduit intersections, and direction changes.
- h. At the change in pipe size, match the soffits of the two pipes.
- i. A straight line should be used for the design of precast inlet leads and storm sewers 30 inches in diameter or less. Precast storm sewers 36 inches in diameter and larger may be deflected at joints not to exceed the manufacturer's recommendation.
- j. Soil borings with logs shall be made along the alignment of all storm sewers having a cross-section equal to or greater than 42 inches in diameter or equivalent cross-section area. Borings should be taken at intervals not exceeding 500 linear feet and to a depth not less than 3 feet below the flow line of the sewer.
- k. Any storm sewer 42 inches or smaller located underneath or within 1 foot of a paving section shall be bedded and backfilled 2 sack cement stabilized sand.
- l. Curb inlets shall be designed to prevent water from ponding ~~above the curb~~ in the street during the 5-year storm event.
- m. The gutter run to an inlet shall not exceed 700 feet.
- n. In profile view, provide both top-of-curb ground elevations at the left and right ROW. Curbs should be below both right-of-way profiles to facilitate drainage. The right-of-way must drain to the street for curbed roads at a minimum slope of ¼ inch per foot, and a maximum slope of 1 foot per 7 feet. Show and label proposed profiles where cut or fill is necessary.
- o. House finished floor elevations shall be set a minimum of 1 foot above natural ground or per the current floodplain regulations in relation to the base flood elevation, whichever is greater. This minimum requirement shall be noted on the plat.
- p. During a 100-year storm event, the water elevation shall not exceed the elevation at the adjacent right-of-way line or the elevation at the right-of-way adjacent drainage/utility easement. The Engineer shall demonstrate proper cascading of flow through the streets or adequate conveyance capacity in the storm sewer pipes and inlets to ensure that runoff from the 100-year event is contained within the street right of way as it is conveyed to the outlet point. Supporting calculations shall be provided demonstrating property conveyance of runoff from the 1% annual chance storm.
- q. Within 14 days of ceasing construction, seed all disturbed areas within a uniform (i.e., evenly distributed, without bare areas) perennial vegetative cover. The density shall be at least 70% and consist of suitable background vegetative cover for the area. Equivalent permanent stabilization measures are also acceptable. The method of stabilization to be utilized shall be specified in the plans.

B13 - Testing and Reporting

The following list is the minimum requirements that will be provided at the pre-construction conference and the material testing shall be to the satisfaction of the County. The Commissioners Court reserves the right to require any additional inspection, testing, or reporting, at the expense of the Owner, as deemed necessary to ensure compliance with these regulations and/or standard construction/engineering practices.

- B13.1 Prior to construction, the applicant shall request and attend a pre-construction meeting with the County. The developer, the applicant's engineer, and the contractor are also required to attend. The applicant's engineer shall periodically inspect the construction. It is the responsibility of the applicant's engineer to ensure and certify that the project is constructed in accordance with the plans and specifications.
- B13.2 The owner/developer or contractor needs to secure an A2LA Certified Independent Testing Laboratory for material testing.
- B13.3 The County will require soil test reports, lab recommendations of stabilization, proof roll reports, density test reports, and PH Test Reports (when applicable).
- B13.4 Prior to **base** inspection/pre-paving, the County will require **base** depth reports, **base** source/tickets, and compaction/density tests.
- B13.5 Notify the County prior to placing drainage structures and bridges. County may inspect drainage structures prior to and during installation. This includes steel placement, dimensions, precast structures, etc.
- B13.6 Prior to paving, provide **emulsion** submittals and **concrete/asphalt/pavement** submittals for County Review, and the County must inspect the **base**/rebar at a scheduled inspection, requested by the certifying engineer. Obtain a "no objection" from the County prior to paving.
- B13.7 After paving, provide core/cylinder test results and tickets for County for review. Where cores are made, the developer is required to repair the hole with like material.
- B13.8 If visual concerns are noted at any time, additional testing may be required at the County's discretion.
- B13.9 After construction is deemed complete, the applicant's engineer shall submit a signed and sealed Engineer's Certification of Completion, a signed Developer's Certification of Completion, a completed Development Permit with the final Development **Certification** **Certifications Form** (for approval), a complete package of lab reports, and request construction **acceptance** **certification**. In addition, the applicant's engineer shall submit certified record drawings, with all revisions clouded. The Engineer's Certification of Completion is included in Appendix E. If the construction included a bridge, additional items may be required. After receipt of a complete certification package, a **final** **certification** walkthrough will be scheduled and a punch list shall be generated. Prior to certification of completion, all punch list items shall be completed, and an acceptable Maintenance Bond shall be provided.

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C1 - Owner's Dedication

C2 - Roadway Construction

In approving this plat by the Commissioners Court of Walker County, Texas, it is understood that the building of all roads, and other public thoroughfares, and any bridges or culverts necessary to be constructed or placed is the responsibility of the Owner(s) of the tract of land covered by this plat in accordance with the plans and specifications prescribed by the Commissioners Court of Walker County, Texas. Said Commissioners Court assumes no obligation to build or maintain any of the roads, or other public thoroughfares shown on this plat, or of constructing or maintaining any of the bridges or drainage improvements in connection therewith. The County will assume no responsibility for drainage ways, stormwater management controls, or easements in the subdivision, other than those within the dedicated right of way or public easements at such time, if any, the roads are accepted for public maintenance. Until such time, if any, said infrastructure is adopted into public maintenance, <Assigned Party> shall be responsible for the ongoing maintenance of the roads, rights-of-way, signage, drainage, and other improvements within the subdivision.

C3 - Owner's Responsibilities

It is the responsibility of the Owner, not the County, to assure compliance with the provisions of all applicable state, federal, and local laws and regulations relating to the platting and development of this property.

The County assumes no responsibility for the accuracy of representations by other parties in this plat. Floodplain data, in particular, may change. It is further understood that the Owner(s) of the tract of land covered by this plat, its successors and/or assigns, or a designated property owner's association must install and maintain at their own expense all roads, stormwater management controls, traffic control devices, and signage that may be required until such time, if any, said infrastructure in the subdivision have been accepted for public maintenance.

C4 - Commissioners Court Approval

STATE OF TEXAS §
 §
COUNTY OF WALKER § KNOW ALL MEN BY THESE PRESENTS;

The Commissioners Court of Walker County, Texas, does hereby certify that this map or plat, as described ~~herein~~herein, for a subdivision having been fully presented to the Commissioners Court of Walker County, Texas, and by the said Court duly considered, was on this day approved and that this plat is authorized to be registered and recorded in the proper records of the County Clerk of Walker County, Texas. This certification is based upon the representations of the developer/developer's agent, engineer, sanitarian, and/or surveyor whose seal(s) and/or signatures are affixed hereto. This certification is made solely upon such representations and should not be relied upon for verifications of the facts alleged. Walker County disclaims any responsibility to any member of the public for independent verification of the representations, factual or otherwise, contained in this plat and the documents associated with it.

Insert Current Commissioners Court Signature Block

C5 - County Clerk's Certification

STATE OF TEXAS

§
§
§

KNOW ALL MEN BY THESE PRESENTS;

COUNTY OF WALKER

I, <name of current clerk>, County Clerk of ~~the County Court of said Walker~~ County, do hereby certify that the ~~foregoing~~within instrument ~~in writing~~, with its certificate of authentication, was filed for record in my office on the _____ day of _____, 20__ A.D., at _____ o'clock, __.M., ~~and duly recorded this the day in Volume _____, Page _____ of _____, 20__ A.D., at _____ o'clock, __.M., in the Plat Records of said Walker County in cabinet _____, page _____, Texas. For tax purposes, this plat complies with Section 12.002 of the Property Code.~~

TO CERTIFY WHICH, WITNESS my hand and seal at the County Court of said County, at my office in Huntsville, Texas, the date last shown above written. _

<name of current clerk>, Clerk County Court
of Walker County, Texas

By: _____, Deputy

C6 - On-site Sewage Facility Review

Based upon a review of the plat and plans as represented by the said engineer or surveyor, I, the below signed design/review professional, being qualified to make said determination under Texas law, find that this plat complies with the requirements of the Walker County On-Site Sewage Facility Regulations, and Title 30 of the Texas Administrative Code, Chapter 285, including but not limited to the suitability of the proposed lots to accommodate on-site sewage facilities within the proposed development considering all of the requirements of Title 30, 285 TAC and any applicable local orders. I also agree that Walker County, its agents, and assigns bear no responsibility to any member of the public for independent verification of the representations, factual or otherwise, contained in this plat and the documents associated with it.

<name of P.E. or R.S.>

Date

C7 - Mailboxes

Cluster and individual mailboxes, if allowed, shall be set three feet from the edge of the pavement or behind curbs, when used. All mailboxes within County arterial right-of-way shall meet the current TxDOT standards. Any mailbox that interferes with or negatively affects the maintenance or use of the roads or drainage system may be removed by Walker County.

C8 - Floodplain Regulations Certification

(To be Provided on ETJ Plats and Major Plats)

Based upon a review of the plat and associated plans, I, the below signed Professional Engineer, find that this plat complies with the requirements of the current Walker County Floodplain Regulations. I further understand and agree that this finding is made by and through my independent review, and Walker County
Walker County, Texas - Subdivision Regulations

Page | 67

has no responsibility to any member of the public for independent verification of the representations, factual or otherwise, contained in this plat and the documents associated with it.

<Seal and Signature of P.E.>

<Print Name of P.E.>

Date

C9 - Development Notes

No structure or land within this plat shall hereafter be developed without first obtaining a Development Permit from the Walker County Floodplain Administrator unless the proposed development is exempt or excepted from the Walker County Floodplain Development Regulations.

The minimum, lowest finished floor elevation shall be in compliance with the local floodplain regulations and the finished floor elevation noted on the plat, whichever elevation is higher.

C10 - Plat Notes Addressing Area Drainage

Note for Minor Subdivision Plat

All owners of lots within the subdivision shall have the responsibility of complying with the Walker County Subdivision Regulations' policies on drainage runoff due to the development of impervious areas created through the development of the lot for residential, commercial, or recreational use. It is the responsibility of lot owners to comply with any regulations or limitations noted, and permits issued by Walker County for development do not act as a waiver or variance of the lot owner's responsibility to provide for excess runoff and drainage created by the permitted development. If detention of water is necessary in order to comply with the local, state, or federal regulations including but not limited to the Walker County Subdivision Regulations then the owner may be able to accomplish compliance with said policies through creating detention on a single lot, multiple lots, or the entire subdivision depending on the circumstances involved and depending on the owner's ability to obtain the cooperation of other owners in the subdivision. A copy of an agreement between owners to create detention shall be submitted to Walker County and filed in the public records becoming a restriction on future owners, heirs, and assigns.

Engineer's Note for Subdivision Plats (certified by engineer)

The design of this project will not negatively impact this property or adjacent properties. Based on calculations made from available data, if the impervious cover (structures, driveways, sidewalks, etc.) on each lot does not exceed _____ square feet, then the existing detention on the property will be sufficient. However, if the impervious cover of the property exceeds or surpasses _____ square feet then further study will be necessary and possible drainage/detention improvements may be required in accordance with current Local, State, and Federal regulations including the Walker County Subdivision Regulations. Local approval or allowance must be given by Walker County in writing prior to the alteration of the drainage infrastructure. It is the responsibility of lot owners to comply with any regulations or limitations noted, and permits issued by Walker

County for development do not act as a waiver or variance of the lot owner's responsibility to provide for excess runoff and drainage created by the permitted development.

<Seal and Signature of P.E.>

<Print Name of P.E.>

Date

The first section of this note can be altered to reflect the weighted development of larger lots considering the effect of increase in runoff on a per lot basis by allowing larger amounts of impervious cover on larger acreage lots or could reflect a unified sizing of impervious cover for all lots in the subdivision considering the effects of increased runoff from the subdivision as a whole.

Example: ... if impervious cover on Lots 1,2,&3 does not exceed 6,000 sq. ft. and impervious cover on lots 4 & 5 does not exceed 8,000 sq. ft. then...

Drainage Acceptance Note on all Plats (certified by owner/developer)

All lots within the subdivision and the owners thereof must continue to accept all existing drainage flows and drainage structures in place at the time of development that are a part of or necessary to the existing or designed roads infrastructure or the existing or designed system of drainage, in addition to all natural flows of water entering onto or crossing the property. All drainage easements shown hereon shall be kept clear of fences, buildings, plantings, and other obstructions to the operation and maintenance of the drainage facilities.

C11 - Plat Notes Addressing Utilities

Utilities shall be installed within a dedicated utility easement. Utilities are not permitted within drainage easements, unless specifically excepted by the subdivision regulations.

C12 – Water Supply Note:

Individual Water Well Note:

Each lot will be served by a private, on-site water well. The recommended minimum depth for each well is not less than _____ feet for each lot.

-OR-

Water Supply Note:

<Name of Water Supplier>, an approved public water supply system, has an adequate quantity to supply the subdivision, and provisions have been made to provide service to each lot within this subdivision.

C13 – Certification of Surveyor

I, _____, the below signed Texas Registered Professional Land Surveyor, certify that this plat represents a survey made on the ground under my supervision and that all corners and monuments are shown hereon. This plat was prepared with the benefit of a current title report, and all existing easements and encumbrances within the limits of this subdivision are shown. Further, I certify this plat has been prepared in accordance with the Subdivision Regulations of Walker County.

<Seal and Signature of RPLS>
<Print Name of RPLS >

Date

Appendix D - Plat Application Checklists

WALKER COUNTY SUBDIVISION APPLICATION CHECKLISTS

The applicant is responsible for the submittal of all documents on the checklist with each separate application submittal. The submittal of a document or file under a previous application does not supplant the requirement for submittal with a future application. Application submittals shall be submitted in whole on the date of application; applications will not be allowed to be submitted at separate times or on separate dates.

All submittals shall be submitted with 3 properly sized paper copies and a digital .pdf file unless otherwise required below or by the Walker County Subdivision Regulations. Any digital media delivered with or containing part of an application, including but not limited to flash drives, DVDs, hard drives, etc., are considered to be part of the application and will not normally be returned to applicant.

SUBMITTAL REQUIREMENTS BY APPLICATION TYPE

Variance Request Application Submittal Checklist

1	Completed Variance Request Application Form
2	Copy of the Deed for the Parent Tract and an acceptable Title Commitment or Title Policy/Report
3	Authorized Signatory Documentation
4	7 paper copies and 1 digital copy (.pdf) of all plans, drawings, exhibits, engineering studies, or other back-up submitted in support of the variance request.

Plat Application Submittal Checklist

1*	Approved 911 Addressing Road and Feature Name Review. (If applicable)
2*	Completed Application Form
3*	Required Fee(s)
4*	Authorized Signatory Documentation
5*	Copy of the Deed for the Parent Tract and an acceptable Title Commitment or Title Policy/Report
6*	Copies of any approved variance requests that relate to the application (if applicable)
7*	Copy of an approved <i>OSSF Subdivision Planning Materials Submittal for Subdivision</i> (If applicable)
8*	Approved Development Permit under the Regulations for Floodplain Management for all proposed infrastructure. (If applicable)
9	Copies of required Plans, Reports, Calculations, and Studies sealed by a Professional Engineer. (3 properly sized paper copies and 2 digital files (.pdf,.dwg) (if applicable)
10*	Copies of the proposed Final Plat including all seals and signatures. (3 paper copies, 2 mylar copies, and three digital files (.pdf, .dwg, and shapefile formats)
11	Sealed Engineer's itemized list of improvements with quantities (excluding costs) necessary to complete the road and drainage improvements and is sufficient for Commissioners Court to set the surety amount
12	Improvement Maintenance Plan (if applicable)
13	An original copy of the completed financial surety documents/or documentation of acceptance of completed construction and post-construction bonding.
14	Letters of Serviceability from the Wastewater, Water, and Electric provider
15	Groundwater Certification (if applicable)
16*	Tax Certificate Showing Taxes Paid to Date
17*	Necessary Approvals from Other Governmental Entities (If applicable)(TXDOT, TCEQ, etc.)

**Plat Applications and Amending or Re-plat Applications classified as Minor Subdivisions with no improvements related to development required need only submit the items marked with an asterisk.*

(If applicable) - Some application submittals may not be applicable to all subdivision applications, especially in cases where no infrastructure is required or proposed. Check regulations for applicability.

Amending or Re-plat Applications additional items

1	A copy of the current deed restrictions for the subdivision, if any.
---	--

Exception Application Submittal Checklist		
1		Completed Variance Request Application Form
2		Required Fee(s) per the current schedule of fees
3		Copy of the Current Deed for the Parent
4		Copy of an approved On-Site Sewage Facility Subdivision/Development Plan
5		Written copies of any applicable Federal, State, and Local approvals required. (TXDOT, TCEQ, etc)
6		Copy of plat and metes and bounds description for proposed
7		Acceptable Authorized Signatory Documentation for any plat for any agent not listed on the deed, or for any agent of a corporation or other entity having ownership of the land.
8		Copy of the tax certificate showing taxes paid to date. (County Clerk's Requirement for filing)

Appendix E - Construction Documents

[ENGINEERING FIRM'S LETTERHEAD WITH FIRM NUMBER]

ENGINEER'S CERTIFICATION OF COMPLETION

[SUBDIVISION NAME AND SECTION NUMBER, IF APPLICABLE]

In accordance with the Walker County Subdivision Regulations, I _____, P.E., a registered Engineer duly licensed to practice in the State of Texas, on behalf of _____, the Applicant, do hereby certify that the subject subdivision has been constructed as designed, according to the approved plans and specifications, in accordance with standard engineering practice for public infrastructure, and to the standards of the Walker County Subdivision Regulations. I am providing this certification based on a visual inspection of the construction and the review of applicable and sufficient laboratory testing. I further certify that the required improvements are complete and functioning.

I have provided the following required items and respectfully request Initial Certification of the subject subdivision.

1. Digital copy of the engineer's certified record drawings
2. Hard copy of the engineer's certified record drawings
3. Applicant's Certification of Completion
4. Test Reports
5. Maintenance Bond
6. Completed County "Development Certifications Form"
- 6-7. (add any additional items)

[Engineer's seal with signature and date]

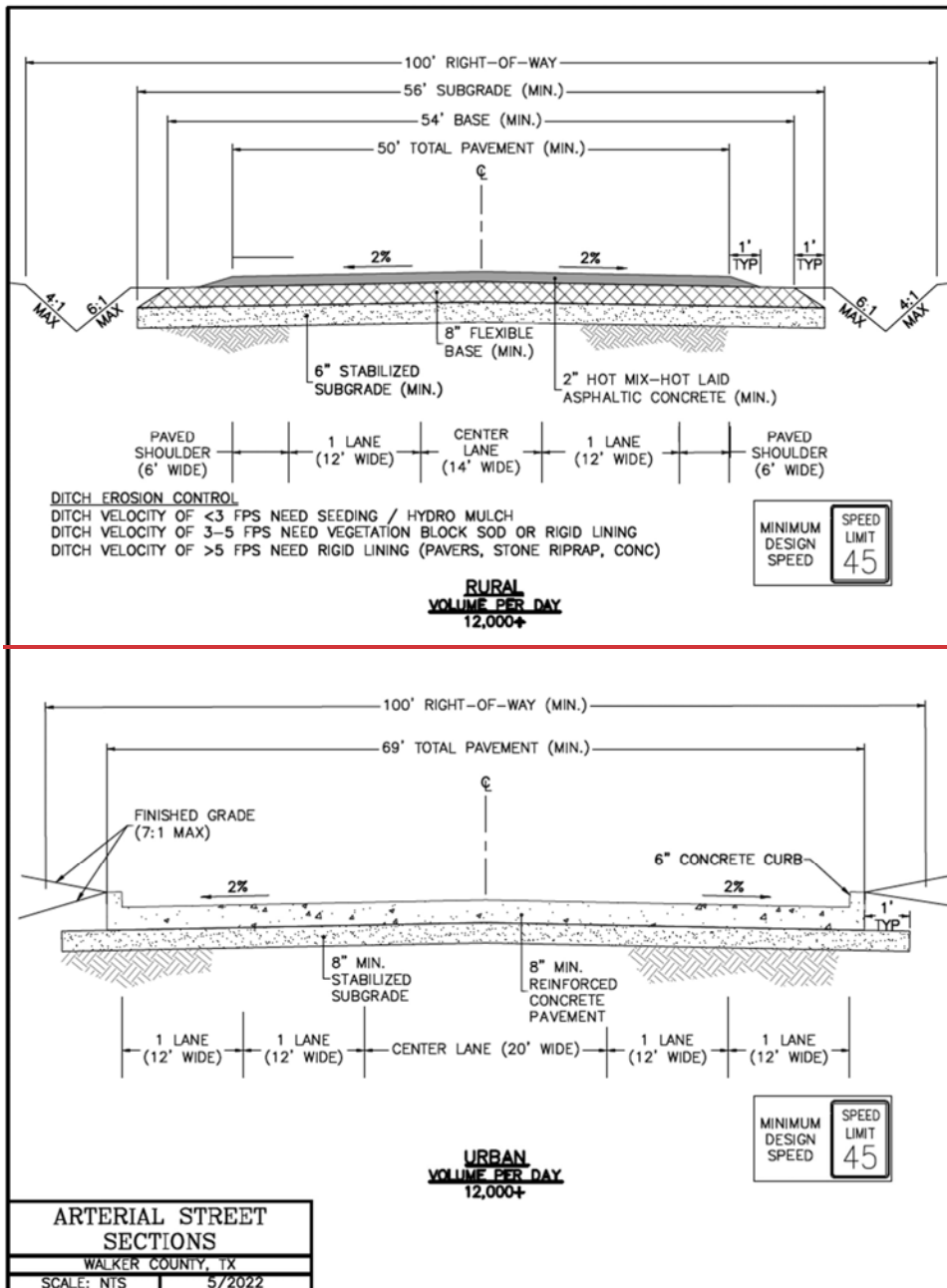
APPLICANT'S CERTIFICATION OF COMPLETION

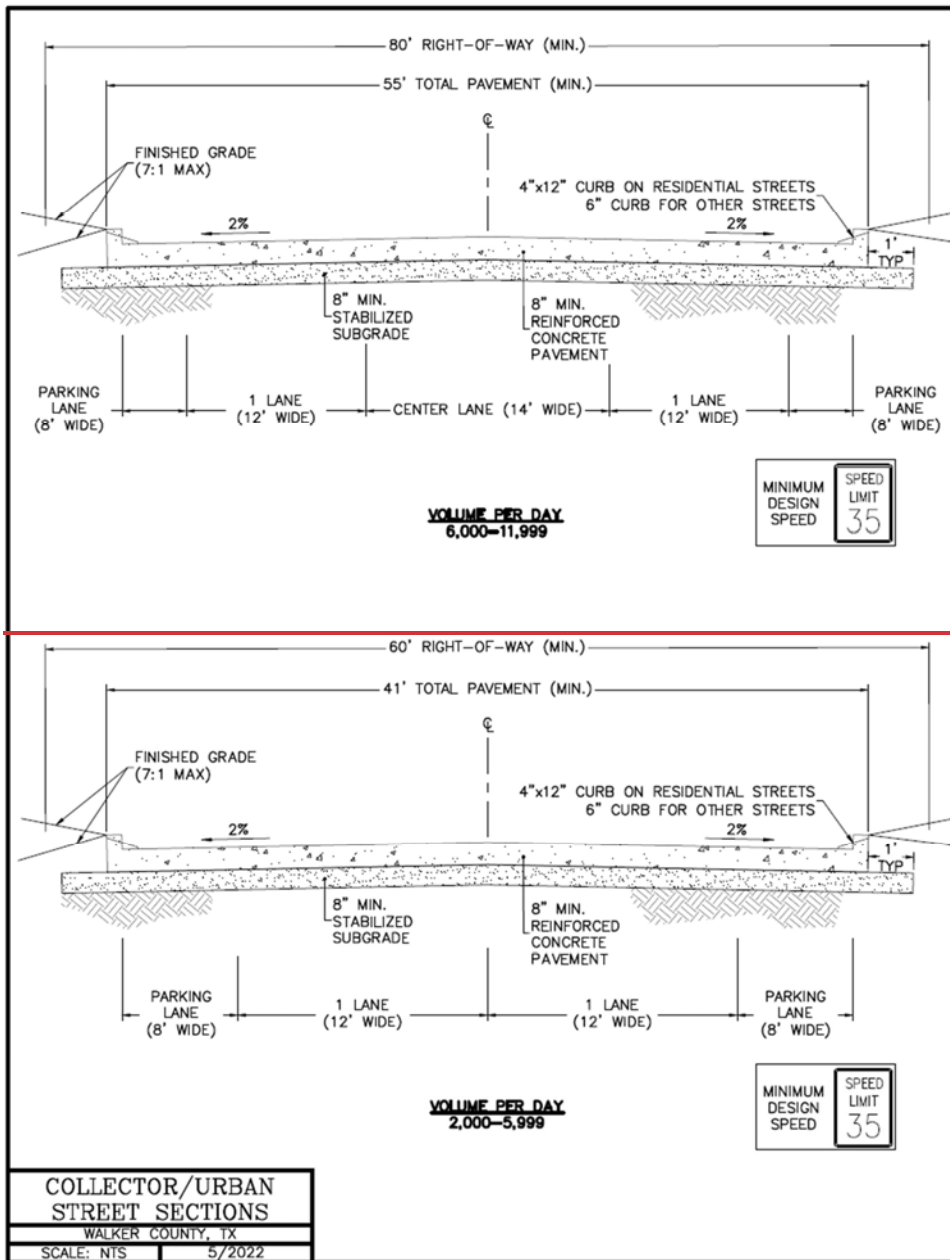
[SUBDIVISION NAME AND SECTION NUMBER, IF APPLICABLE]

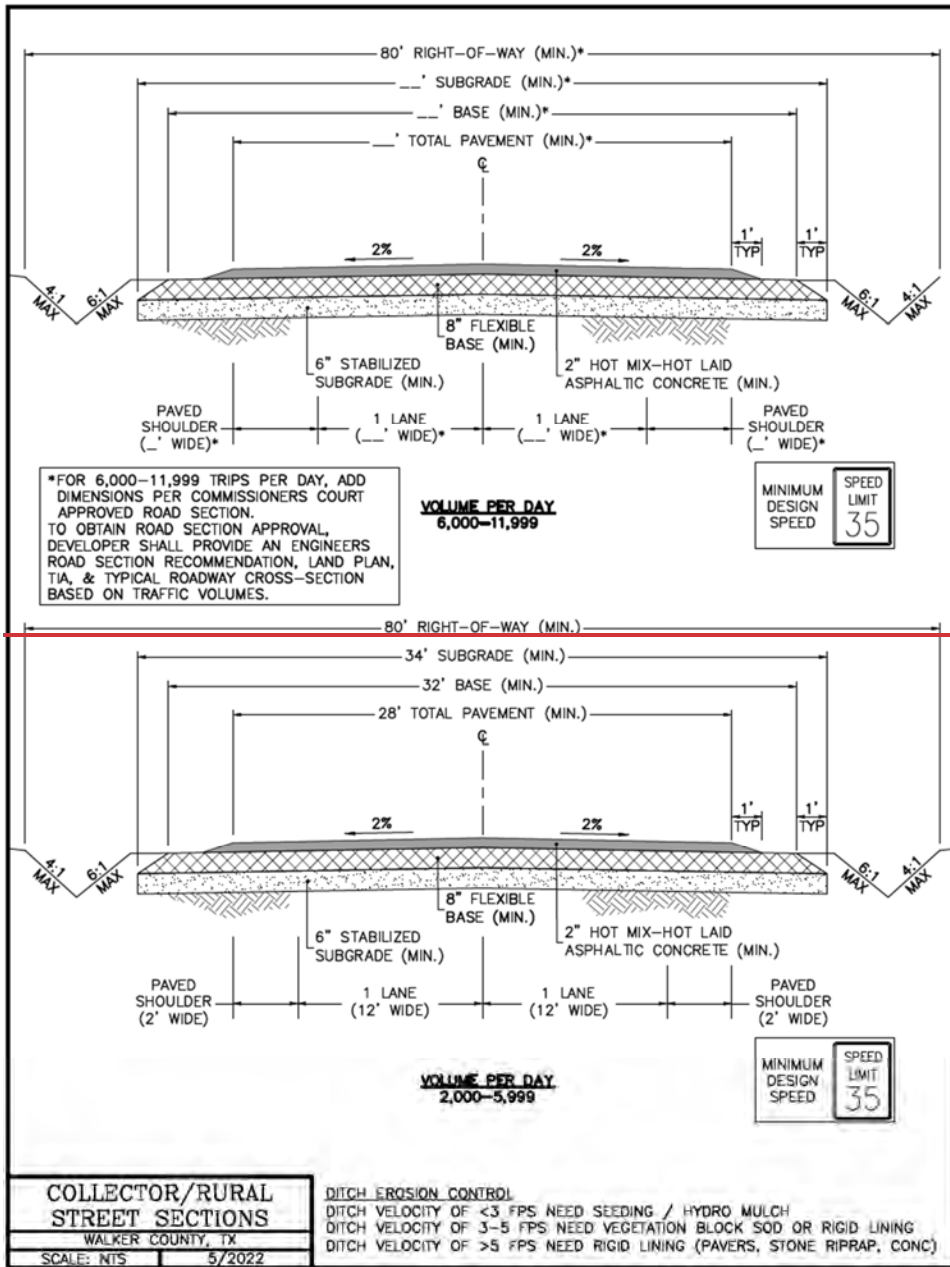
In accordance with the Walker County Subdivision Regulations, I, _____,
of _____, the Applicant, do hereby certify that the subject subdivision
has been constructed as designed, according to the approved plans and specifications to the
standards of the Walker County Subdivision Regulations. Further, I certify that any federal, state, or
local permits required for the construction were obtained.

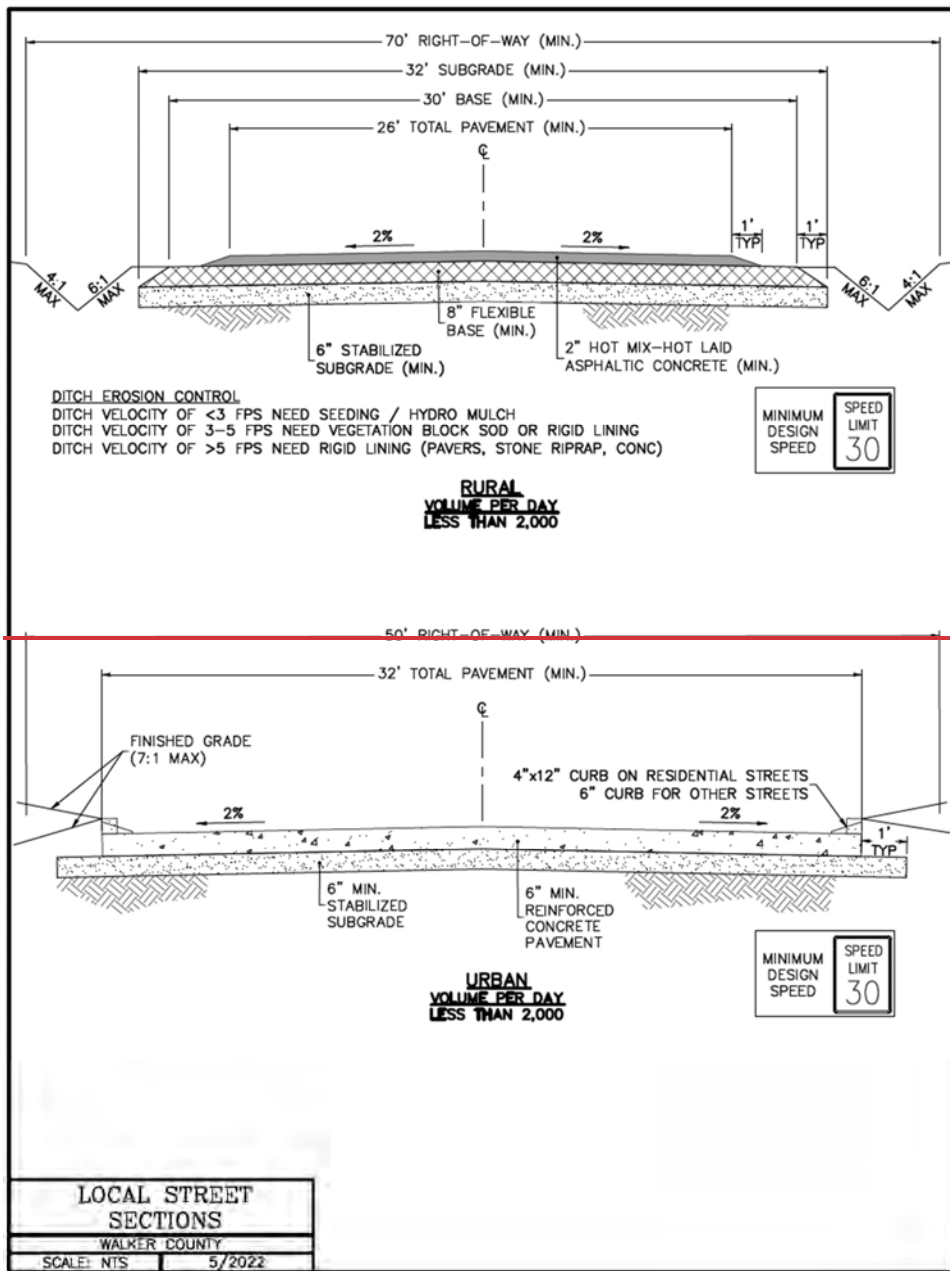
[Applicant's signature and date]

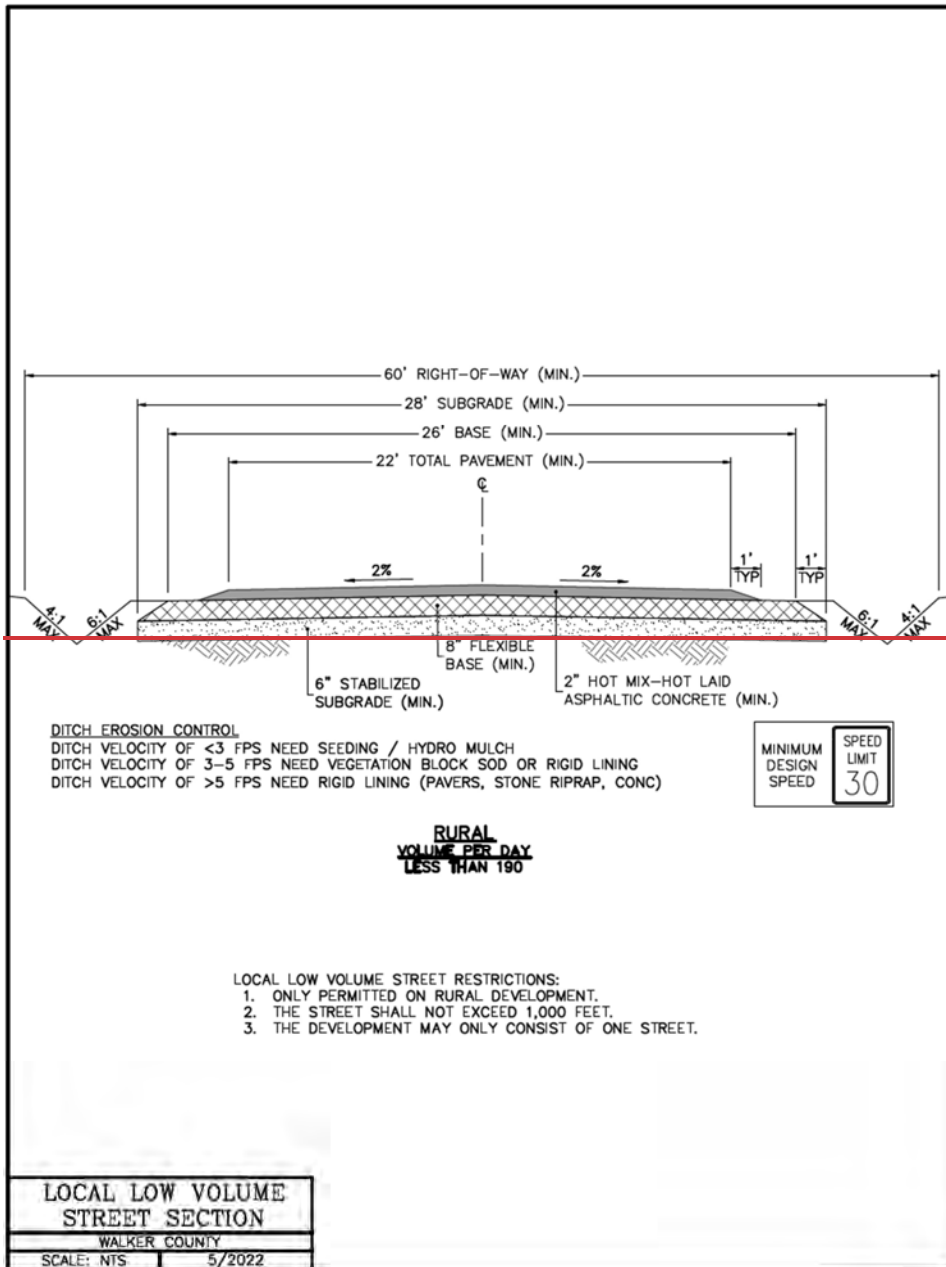
Appendix F - Roadway Cross-Sections & Details





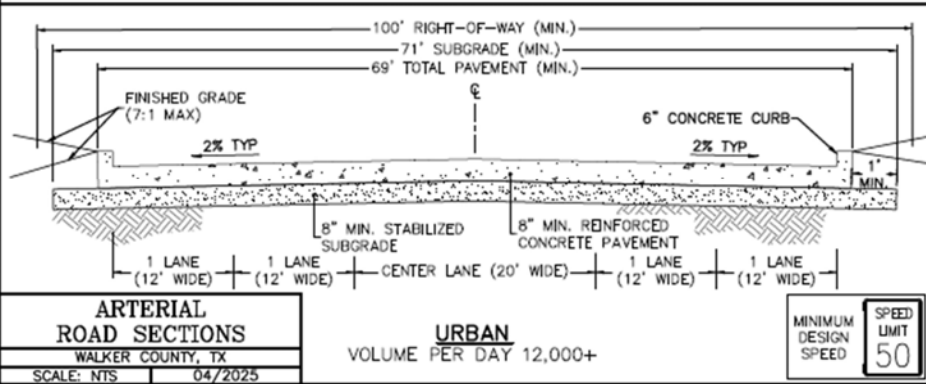
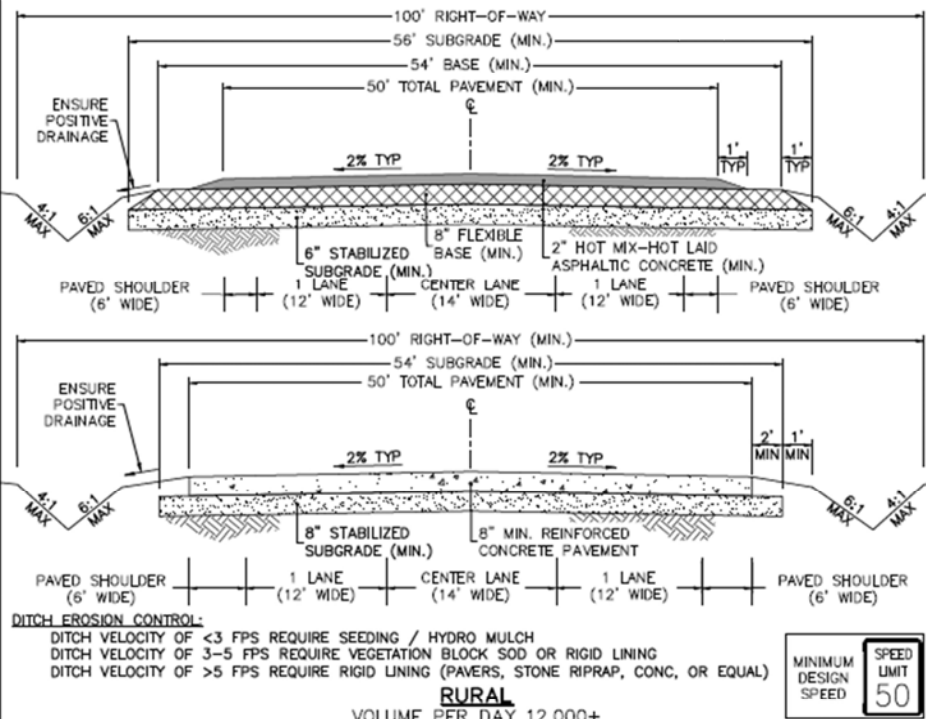






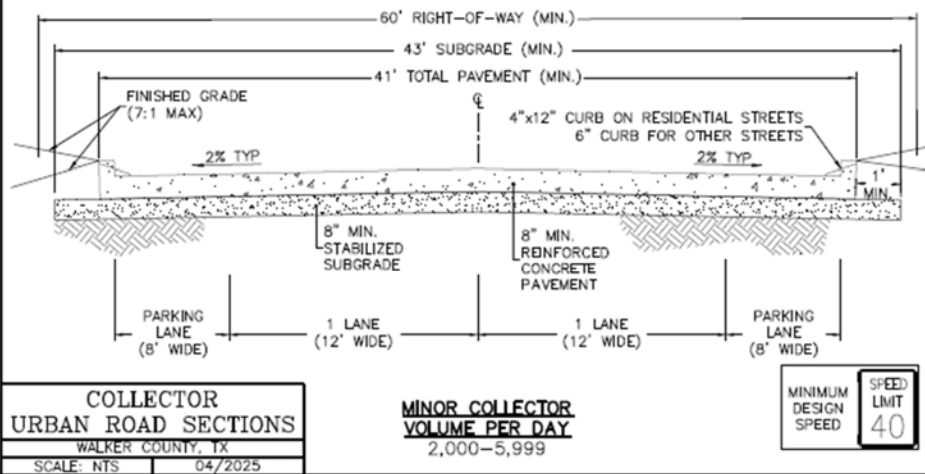
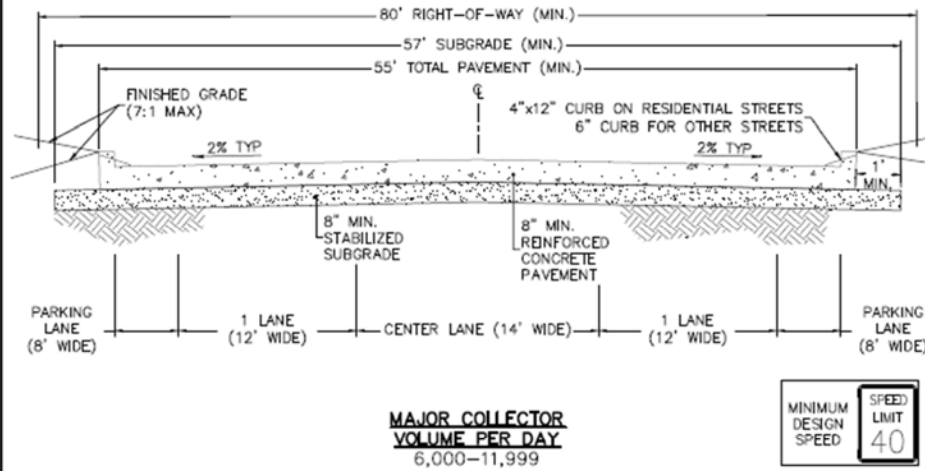
NOTES:

1. THIS DETAIL PROVIDES THE MINIMUM REQUIREMENTS, AND GEOTECHNICAL INVESTIGATION IS REQUIRED TO DETERMINE IF THE MINIMUM STANDARDS ARE SUFFICIENT.
2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
3. EXCEPT WHERE TYING TO EXISTING INFRASTRUCTURE, ROAD CROSS SLOPES SHALL NOT EXCEED 3% OR BE LESS THAN 1%.



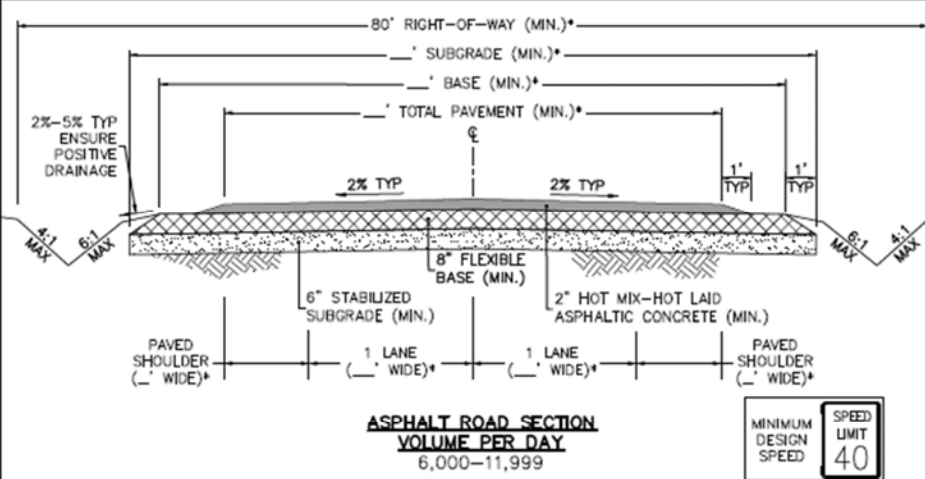
NOTES:

1. THIS DETAIL PROVIDES THE MINIMUM REQUIREMENTS, AND GEOTECHNICAL INVESTIGATION IS REQUIRED TO DETERMINE IF THE MINIMUM STANDARDS ARE SUFFICIENT.
2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
3. EXCEPT WHERE TYING TO EXISTING INFRASTRUCTURE, ROAD CROSS SLOPES SHALL NOT EXCEED 3% OR BE LESS THAN 1%.

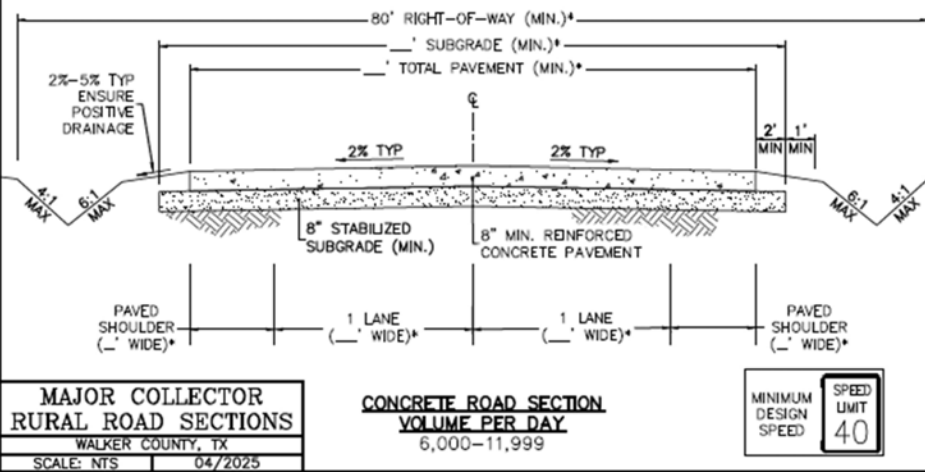


NOTES:

1. THIS DETAIL PROVIDES THE MINIMUM REQUIREMENTS, AND GEOTECHNICAL INVESTIGATION IS REQUIRED TO DETERMINE IF THE MINIMUM STANDARDS ARE SUFFICIENT.
2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
3. EXCEPT WHERE TYING TO EXISTING INFRASTRUCTURE, ROAD CROSS SLOPES SHALL NOT EXCEED 3% OR BE LESS THAN 1%.
4. **DITCH EROSION CONTROL:**
 DITCH VELOCITY OF <3 FPS REQUIRE SEEDING / HYDRO MULCH
 DITCH VELOCITY OF 3-5 FPS REQUIRE VEGETATION BLOCK SOD OR RIGID LINING
 DITCH VELOCITY OF >5 FPS REQUIRE RIGID LINING (PAVERS, STONE RIPRAP, CONC, OR EQUAL)



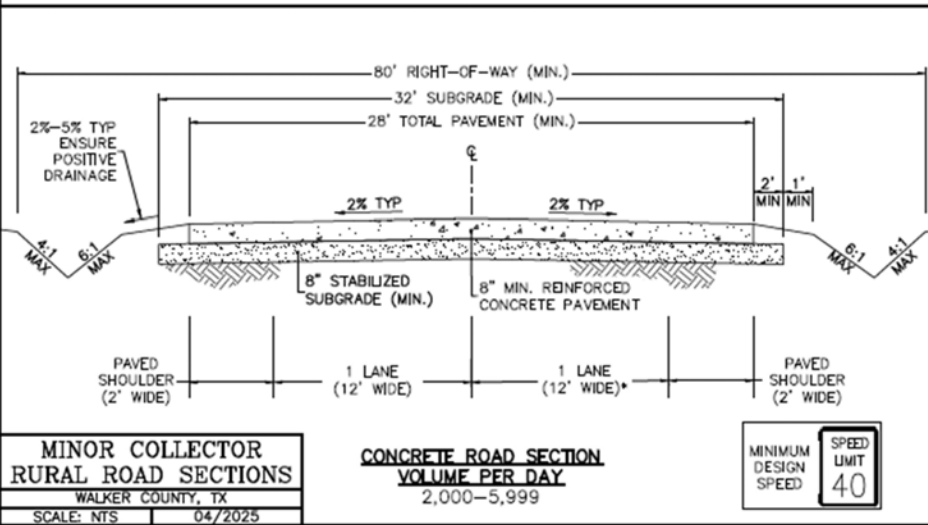
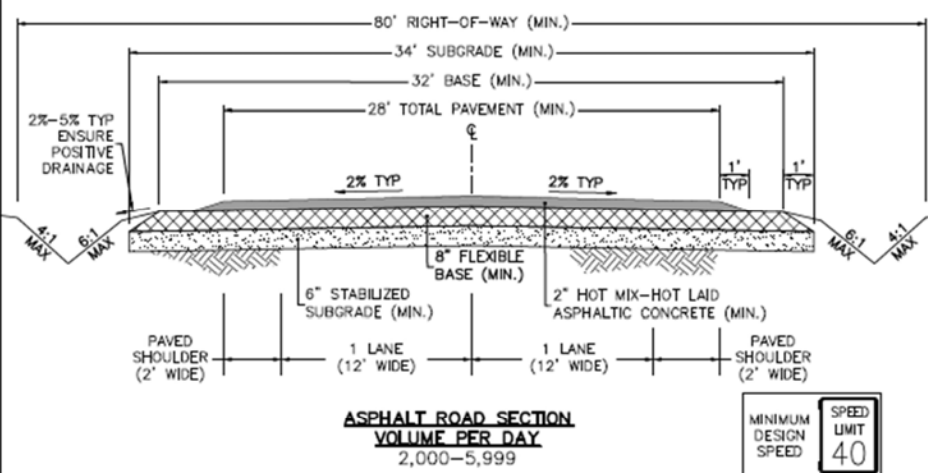
*FOR 6,000-11,999 TRIPS PER DAY, ADD DIMENSIONS PER COMMISSIONERS COURT APPROVED ROAD SECTION. TO OBTAIN ROAD SECTION APPROVAL, DEVELOPER SHALL PROVIDE AN ENGINEERS ROAD SECTION RECOMMENDATION, LAND PLAN, TIA, & TYPICAL ROADWAY CROSS-SECTION BASED ON TRAFFIC VOLUMES.



**MAJOR COLLECTOR
 RURAL ROAD SECTIONS**
 WALKER COUNTY, TX
 SCALE: NTS 04/2025

NOTES:

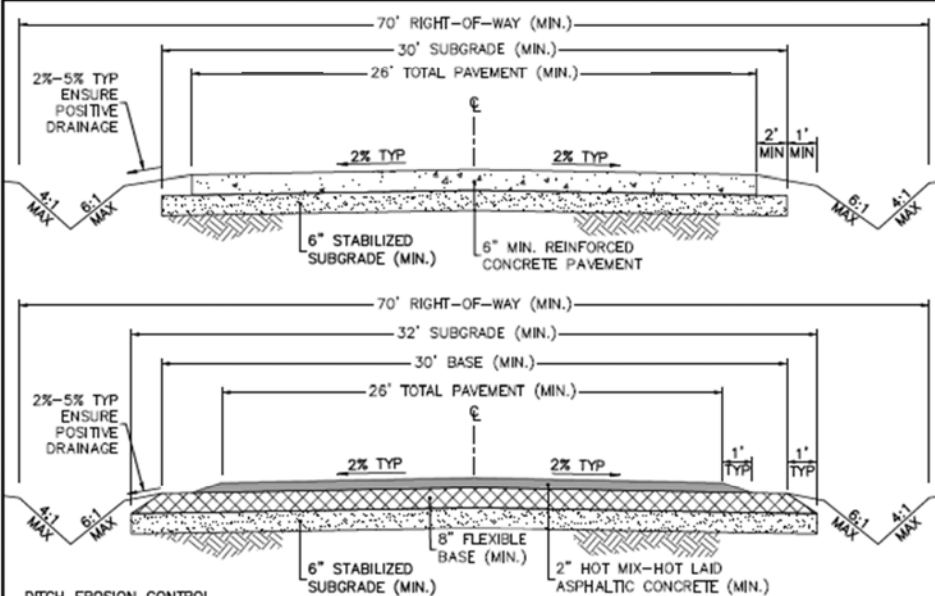
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2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
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4. **DITCH EROSION CONTROL:**
 DITCH VELOCITY OF <3 FPS REQUIRE SEEDING / HYDRO MULCH
 DITCH VELOCITY OF 3-5 FPS REQUIRE VEGETATION BLOCK SOD OR RIGID LINING
 DITCH VELOCITY OF >5 FPS REQUIRE RIGID LINING (PAVERS, STONE RIPRAP, CONC, OR EQUAL)



**MINOR COLLECTOR
 RURAL ROAD SECTIONS**
 WALKER COUNTY, TX
 SCALE: NTS 04/2025

NOTES:

1. THIS DETAIL PROVIDES THE MINIMUM REQUIREMENTS, AND GEOTECHNICAL INVESTIGATION IS REQUIRED TO DETERMINE IF THE MINIMUM STANDARDS ARE SUFFICIENT.
2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
3. EXCEPT WHERE TYING TO EXISTING INFRASTRUCTURE, ROAD CROSS SLOPES SHALL NOT EXCEED 3% OR BE LESS THAN 1%.



DITCH EROSION CONTROL

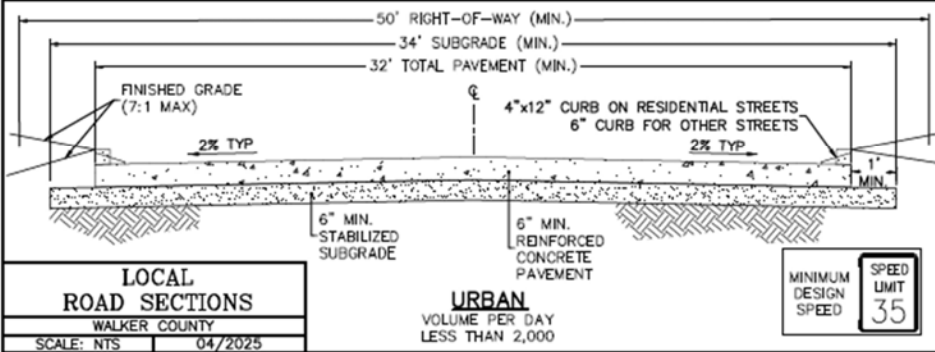
DITCH VELOCITY OF <3 FPS REQUIRE SEEDING / HYDRO MULCH
 DITCH VELOCITY OF 3-5 FPS REQUIRE VEGETATION BLOCK SOD OR RIGID LINING
 DITCH VELOCITY OF >5 FPS REQUIRE RIGID LINING (PAVERS, STONE RIPRAP, CONC. OR EQUAL)
 PROVIDE SAFETY END TREATMENTS AND HEADWALLS IN ACCORDANCE WITH TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.

MINIMUM DESIGN SPEED

SPEED LIMIT 35

RURAL

VOLUME PER DAY
 LESS THAN 2,000



LOCAL ROAD SECTIONS

WALKER COUNTY

SCALE: NTS 04/2025

URBAN

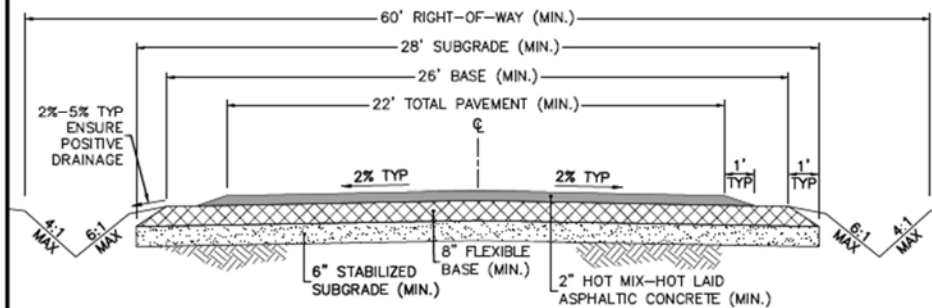
VOLUME PER DAY
 LESS THAN 2,000

MINIMUM DESIGN SPEED

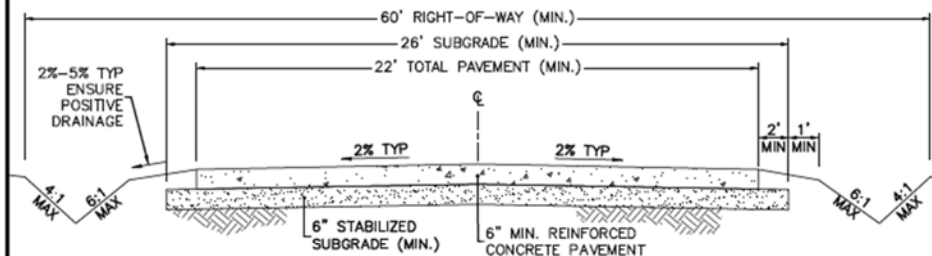
SPEED LIMIT 35

NOTES:

1. THIS DETAIL PROVIDES THE MINIMUM REQUIREMENTS, AND GEOTECHNICAL INVESTIGATION IS REQUIRED TO DETERMINE IF THE MINIMUM STANDARDS ARE SUFFICIENT.
2. PROVIDE SAFETY END TREATMENTS AND HEADWALLS PER TXDOT BRIDGE STANDARDS DETAILS AND 2024 TXDOT STANDARD SPECIFICATION ITEM 467.
3. EXCEPT WHERE TYING TO EXISTING INFRASTRUCTURE, ROAD CROSS SLOPES SHALL NOT EXCEED 3% OR BE LESS THAN 1%.
4. **DITCH EROSION CONTROL:**
 DITCH VELOCITY OF <3 FPS REQUIRE SEEDING / HYDRO MULCH
 DITCH VELOCITY OF 3-5 FPS REQUIRE VEGETATION BLOCK SOD OR RIGID LINING
 DITCH VELOCITY OF >5 FPS REQUIRE RIGID LINING (PAVERS, STONE RIPRAP, CONC, OR EQUAL)



RURAL ASPHALT



RURAL CONCRETE

**LOCAL LOW VOLUME
ROAD SECTIONS**

WALKER COUNTY

SCALE: NTS 04/2025

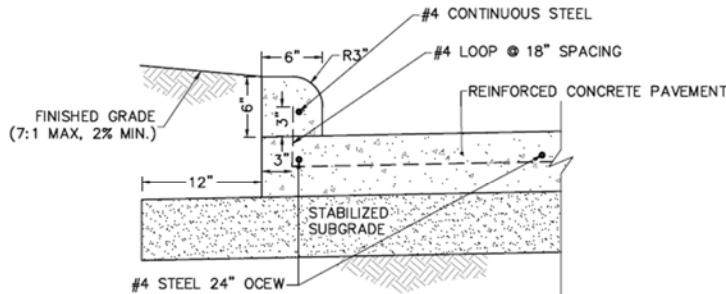
LOCAL LOW VOLUME STREET RESTRICTIONS:

1. ONLY PERMITTED ON RURAL DEVELOPMENT.
2. THE STREET SHALL NOT EXCEED 1,000 FEET IN LENGTH.
3. THE DEVELOPMENT MAY ONLY CONSIST OF ONE STREET.
4. THE VOLUME PER DAY IS LESS THAN 190.

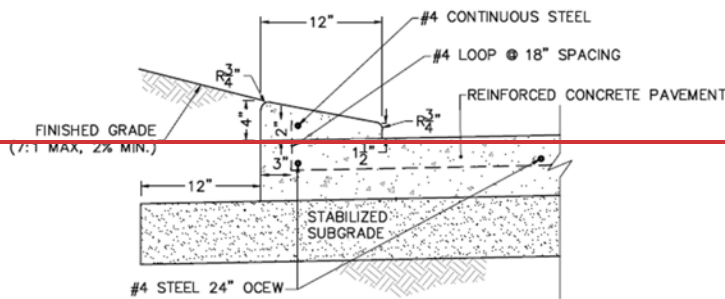
MINIMUM
DESIGN
SPEED

SPEED
LIMIT
35

Appendix G - Curb Details



**6" CURB
(ALL STREETS)**



**4"x12" ROLLOVER CURB
(RESIDENTIAL LOTS ONLY)**

NOTES:

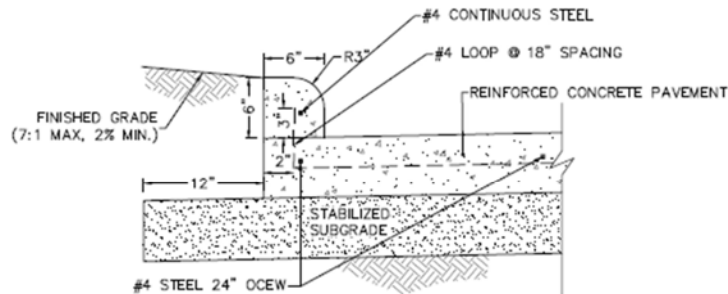
1. CONCRETE SHALL BE CLASS A (3000 PSI).
2. ALL REINFORCING BARS SHALL BE #4 GRADE 60 STEEL (100% TIED), UNLESS OTHERWISE SPECIFIED.
3. ROUND ALL EXPOSED SHARP EDGES WITH A ROUNING TOOL TO A MINIMUM RADIUS OF 1/4 INCH.
4. PROVIDE EPOXIED DOWELS WHERE CONCRETE CURBS ARE PLACED ON EXISTING CONCRETE PAVEMENT.
5. EXPANSION AND CONTRACTION JOINTS SHALL BE CONSTRUCTED TO MATCH, INCLUDING PAVEMENT JOINTS IN THE CURB AND GUTTER LINES ADJACENT TO JOINTED CONCRETE PAVEMENT. WHERE PLACEMENT OF CURB OR CURB AND GUTTER IS NOT ADJACENT TO CONCRETE PAVEMENT, EXPANSION JOINTS SHALL BE PROVIDED AT STRUCTURES, CURB RETURNS, AND AT THE LOCATIONS DIRECTED BY THE ENGINEER.
6. ONE-HALF INCH EXPANSION JOINT MATERIAL SHALL BE PROVIDED WHERE CURB OR CURB AND GUTTER IS ADJACENT TO SIDEWALK OR RIPRAP.
7. ALL JOINTS SHALL BE EPOXY SEALED. (GRAY COLOR TO MATCH).
8. ALL CURB SHALL BE SPRAYED WITH WHITE PIGMENTED CURING COMPOUND.
9. PLACE BACKFILL BEHIND THE CURB WITHIN 7-DAYS OF NEW CURB INSTALLATION.

**CONCRETE CURB
DETAILS**

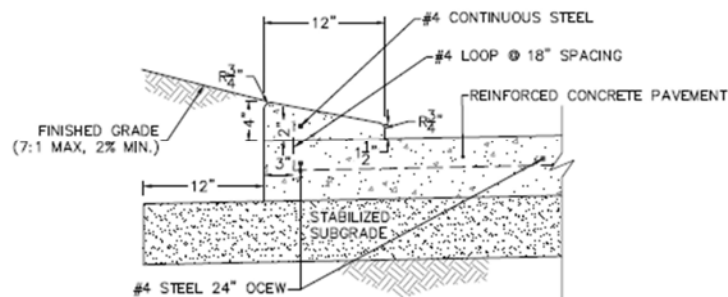
WALKER COUNTY

SCALE: NTS

5/2022



6" CURB
(ALL STREETS)



4"x12" ROLLOVER CURB
(RESIDENTIAL LOTS ONLY)

NOTES:

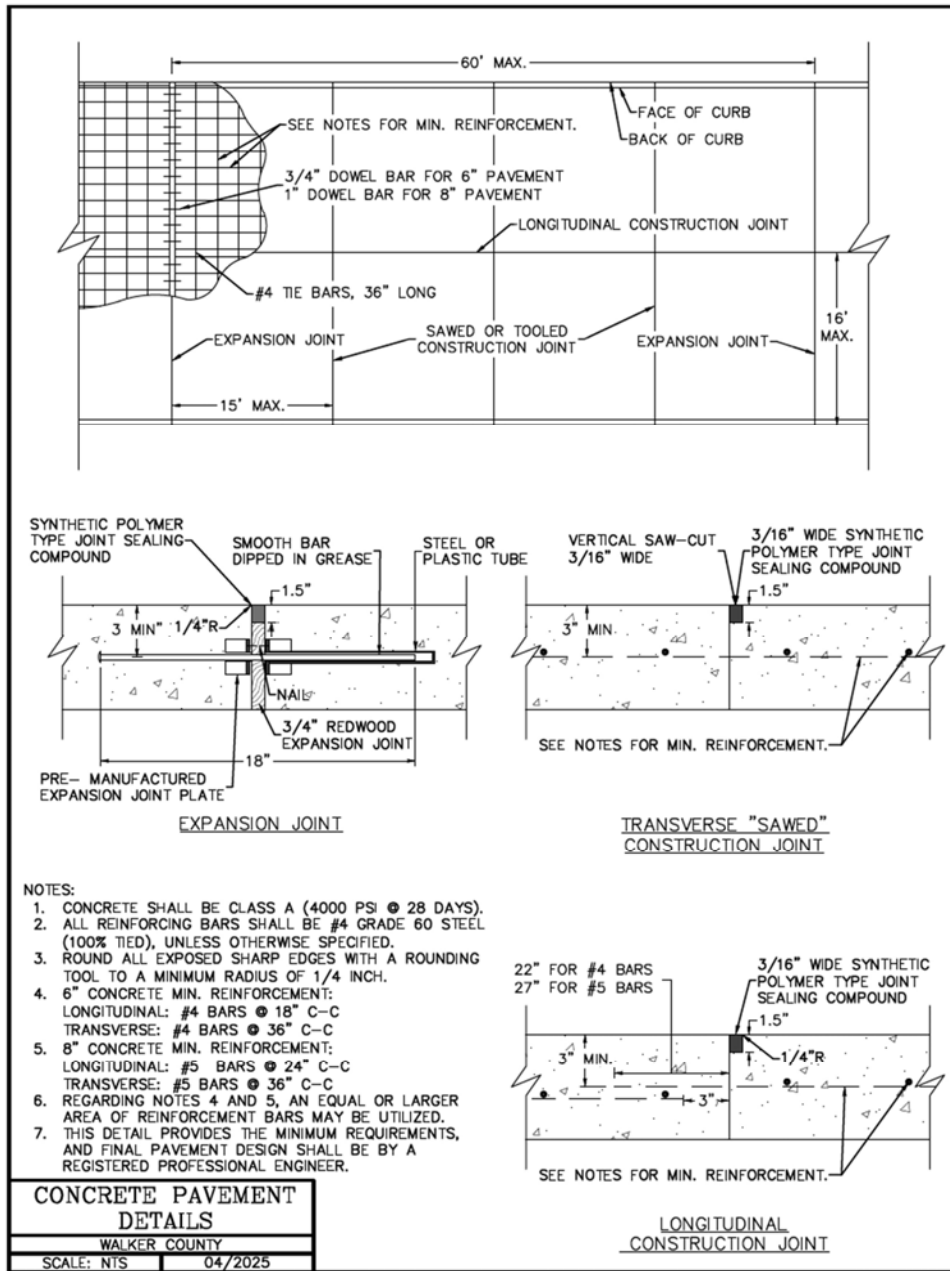
1. CONCRETE SHALL BE CLASS A (4000 PSI).
2. ALL REINFORCING BARS SHALL BE #4 GRADE 60 STEEL (100% TIED), UNLESS OTHERWISE SPECIFIED.
3. ROUND ALL EXPOSED SHARP EDGES WITH A ROUNDING TOOL TO A MINIMUM RADIUS OF 1/4 INCH.
4. PROVIDE EPOXIED DOWELS WHERE CONCRETE CURBS ARE PLACED ON EXISTING CONCRETE PAVEMENT.
5. EXPANSION AND CONTRACTION JOINTS SHALL BE CONSTRUCTED TO MATCH, INCLUDING PAVEMENT JOINTS IN THE CURB AND GUTTER LINES ADJACENT TO JOINTED CONCRETE PAVEMENT. WHERE PLACEMENT OF CURB OR CURB AND GUTTER IS NOT ADJACENT TO CONCRETE PAVEMENT, EXPANSION JOINTS SHALL BE PROVIDED AT STRUCTURES, CURB RETURNS, AND AT THE LOCATIONS DIRECTED BY THE ENGINEER.
6. ONE-HALF INCH EXPANSION JOINT MATERIAL SHALL BE PROVIDED WHERE CURB OR CURB AND GUTTER IS ADJACENT TO SIDEWALK OR RIPRAP.
7. ALL JOINTS SHALL BE EPOXY SEALED, (GRAY COLOR TO MATCH).
8. ALL CURB SHALL BE SPRAYED WITH WHITE PIGMENTED CURING COMPOUND.
9. PLACE BACKFILL BEHIND THE CURB WITHIN 7-DAYS OF NEW CURB INSTALLATION.

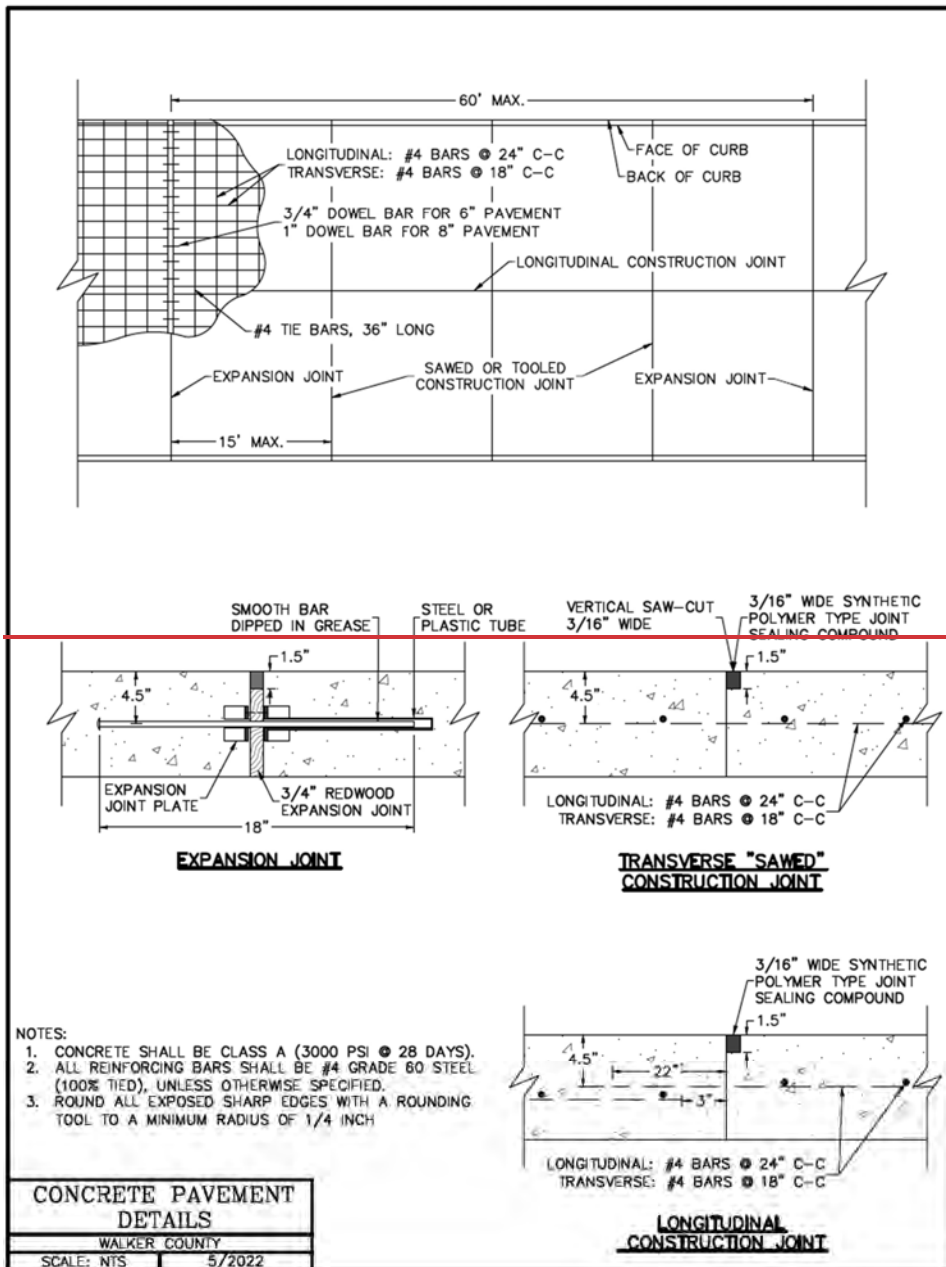
CONCRETE CURB
DETAILS

WALKER COUNTY

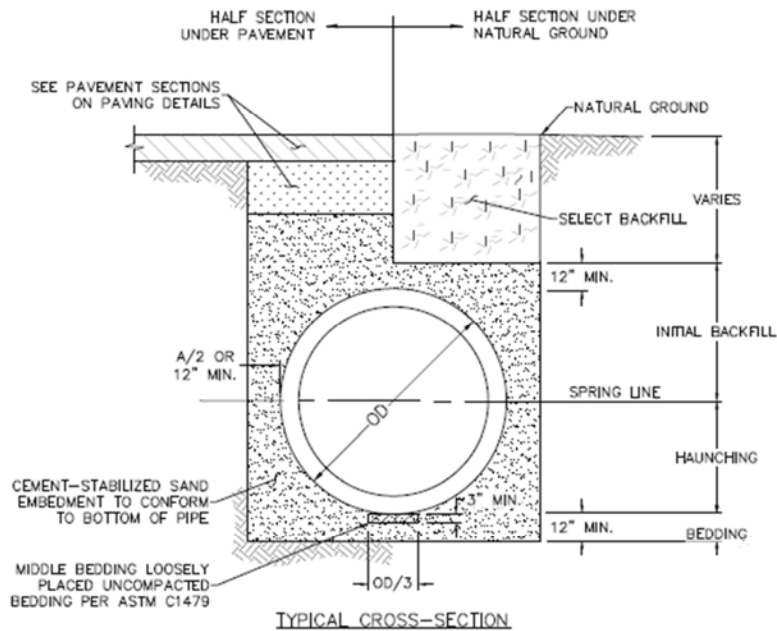
SCALE: NTS 04/2025

Appendix H - Concrete Pavement Details





Appendix I - Storm Bedding and Backfill Details



NOTES:

1. THIS DETAIL MAY BE USED ONLY FOR DRY STABLE TRENCH CONDITIONS.
2. MINIMUM TRENCH WIDTH SHALL BE PIPE OD PLUS AN ALLOWANCE "A" FOR THE NOMINAL PIPE SIZE:

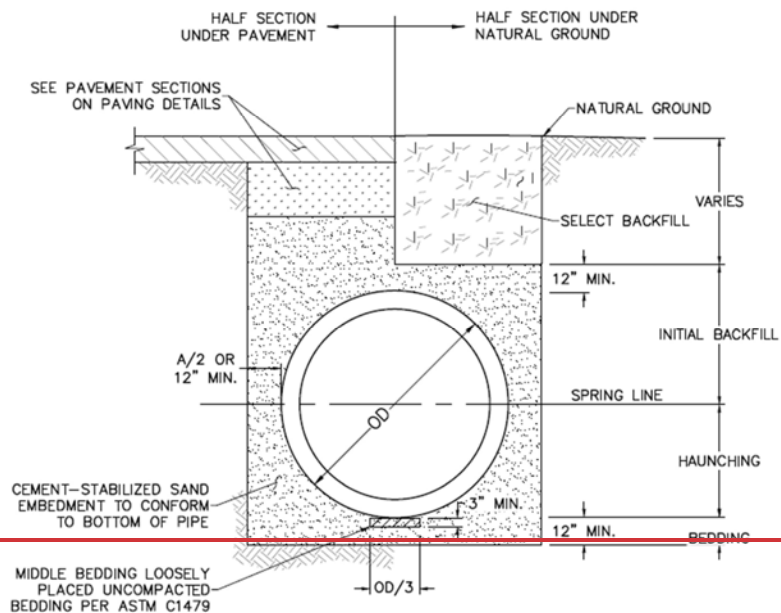
NOMINAL PIPE SIZE	"A"
18" TO 30"	24"
OVER 30"	36"

3. MAXIMUM TRENCH WIDTH SHALL BE NOT GREATER THAN MINIMUM TRENCH WIDTH PLUS 24 INCHES, UNLESS OTHERWISE NOTED.
4. CEMENT STABILIZED SAND TO BE BACKFILLED UP TO BOTTOM OF SUBGRADE WHERE PIPES CROSS ANY ROAD.
5. ANY STORM SEWER 48 INCHES OR SMALLER LOCATED UNDERNEATH OR WITHIN 1 FOOT OF A PAVING SECTION SHALL BE BEDDED AND BACKFILLED WITH 2 SACK CEMENT STABILIZED SAND.

**RCP STORM BEDDING
AND BACKFILL DETAIL**

WALKER COUNTY

SCALE: NTS 04/2025



TYPICAL CROSS-SECTION

NOTES:

1. THIS DETAIL MAY BE USED ONLY FOR DRY STABLE TRENCH CONDITIONS.
2. MINIMUM TRENCH WIDTH SHALL BE PIPE OD PLUS AN ALLOWANCE "A" FOR THE NOMINAL PIPE SIZE:

NOMINAL PIPE SIZE	"A"
18" TO 30"	24"
OVER 30"	36"

3. MAXIMUM TRENCH WIDTH SHALL BE NOT GREATER THAN MINIMUM TRENCH WIDTH PLUS 24 INCHES, UNLESS OTHERWISE NOTED.
4. CEMENT STABILIZED SAND TO BE BACKFILLED UP TO BOTTOM OF SUBGRADE WHERE PIPES CROSS ANY ROAD.
5. ANY STORM SEWER 48 INCHES OR SMALLER LOCATED UNDERNEATH OR WITHIN 1 FOOT OF A PAVING SECTION SHALL BE BEDDED AND BACKFILLED WITH 2 SACK CEMENT STABILIZED SAND.

**RCP STORM BEDDING
AND BACKFILL DETAIL**

WALKER COUNTY

SCALE: NTS 5/2022

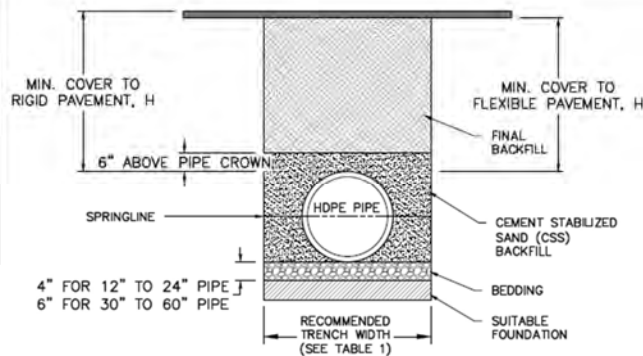


TABLE 1
RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
12" (300mm)	30" (762mm)
15" (375mm)	34" (864mm)
18" (450mm)	39" (991mm)
24" (600mm)	48" (1219mm)
30" (750mm)	56" (1422mm)
36" (900mm)	64" (1626mm)
42" (1050mm)	72" (1829mm)
48" (1200mm)	80" (2032mm)
60" (1500mm)	96" (2438mm)

NOTES:

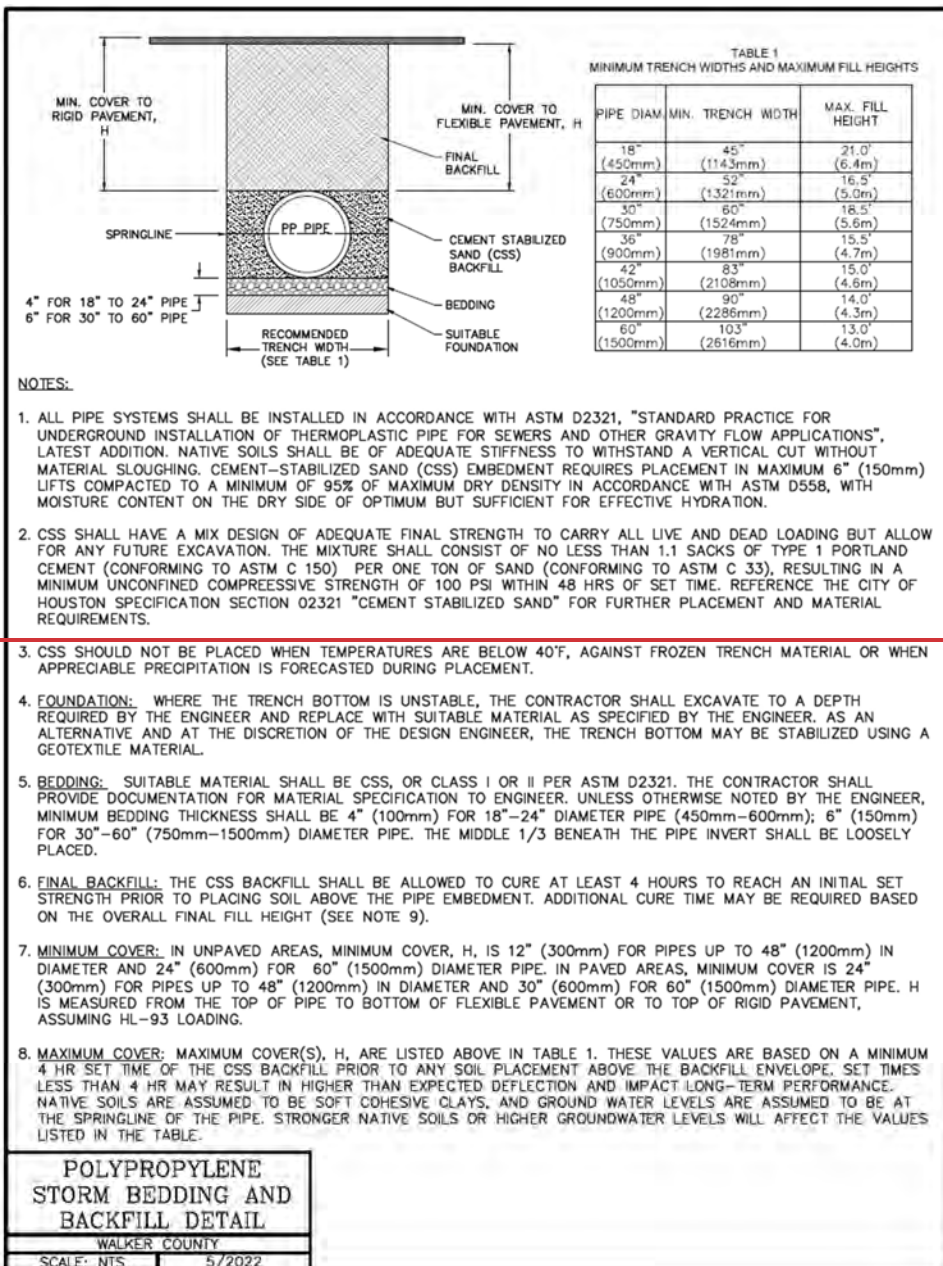
1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION. NATIVE SOILS SHALL BE OF ADEQUATE STIFFNESS TO WITHSTAND A VERTICAL CUT WITHOUT MATERIAL SLOUGHING. DUE TO THE FINAL SET STRENGTH, CEMENT STABILIZED SAND (CSS) SHALL BE COMPACTED TO 85% SPD OR GREATER. SEE NOTES 7 AND 9 REGARDING SET STRENGTH.
2. RECOMMENDED TRENCH WIDTHS ARE LISTED IN TABLE 1 PER ASTM D2321. THESE VALUES ARE BASED ON PROVIDING SUFFICIENT SPACE BETWEEN THE PIPE O.D. AND THE TRENCH WALL, SUCH THAT WORKING ROOM FOR COMPACTION EQUIPMENT IS PROVIDED WITHOUT DAMAGING THE PIPE OR TRENCH WALL INTEGRITY. NARROWER TRENCHES MAY BE POSSIBLE BASED ON THE COMPACTION EQUIPMENT.
3. ~~CSS SHALL HAVE A MIX DESIGN OF ADEQUATE FINAL STRENGTH TO CARRY ALL LIVE AND DEAD LOADING BUT ALLOW FOR ANY FUTURE EXCAVATION. TYPICAL 7-DAY COMPRESSIVE STRENGTHS RANGE BETWEEN 50 AND 100 PSI. MIX DESIGNS CAN VARY BASED ON THE CEMENT, ASH, SOIL, ADMIXTURES, AND WATER RATIO AND SHALL BE DESIGNED AND DEFINED BY THE ENGINEER OF RECORD. THE AMERICAN CONCRETE INSTITUTE (ACI) REPORT ACI 230.1R-09 IS ONE RESOURCE THAT PROVIDES MIX DESIGNS BASED ON DIFFERENT CLASSIFICATIONS OF SOIL.~~
4. CSS SHOULD NOT BE PLACED WHEN TEMPERATURES ARE BELOW 40°F, AGAINST FROZEN TRENCH MATERIAL OR WHEN APPRECIABLE PRECIPITATION IS FORECASTED DURING PLACEMENT.
5. **FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
6. **BEDDING:** SUITABLE MATERIAL SHALL BE CSS, OR CLASS I OR II PER ASTM D2321. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 12"-24" DIAMETER PIPE (300mm-600mm); 6" (150mm) FOR 30"-60" (750mm-1500mm) DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED.
7. **FINAL BACKFILL:** THE CSS BACKFILL SHALL BE ALLOWED TO CURE AT LEAST 4 HOURS TO REACH AN INITIAL SET STRENGTH PRIOR TO PLACING SOIL ABOVE THE PIPE EMBEDMENT. ADDITIONAL CURE TIME MAY BE REQUIRED BASED ON THE OVERALL FINAL FILL HEIGHT (SEE NOTE 9).
8. **MINIMUM COVER:** MINIMUM COVER, H, IS 12" (300mm) THROUGH 48" (1200mm) DIAMETER PIPE AND 24" (600mm) OF COVER FOR 60" (1500mm) DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
9. **MAXIMUM COVER:** MAXIMUM COVER, H, IS BASED ON A MINIMUM 4HR SET TIME OF THE CSS BACKFILL PRIOR TO ANY SOIL PLACEMENT ABOVE THE BACKFILL ENVELOPE. FILL HEIGHTS UP TO 15FT ARE SUITABLE FOR ALL DIAMETERS. LONGER SET TIME MAY ALLOW FOR GREATER FILL HEIGHTS, CONTACT AN ADS REPRESENTATIVE FOR GUIDANCE; SET TIME LESS THAN 4HR MAY RESULT IN HIGHER THAN EXPECTED DEFLECTION AND IMPACT LONG-TERM PERFORMANCE.

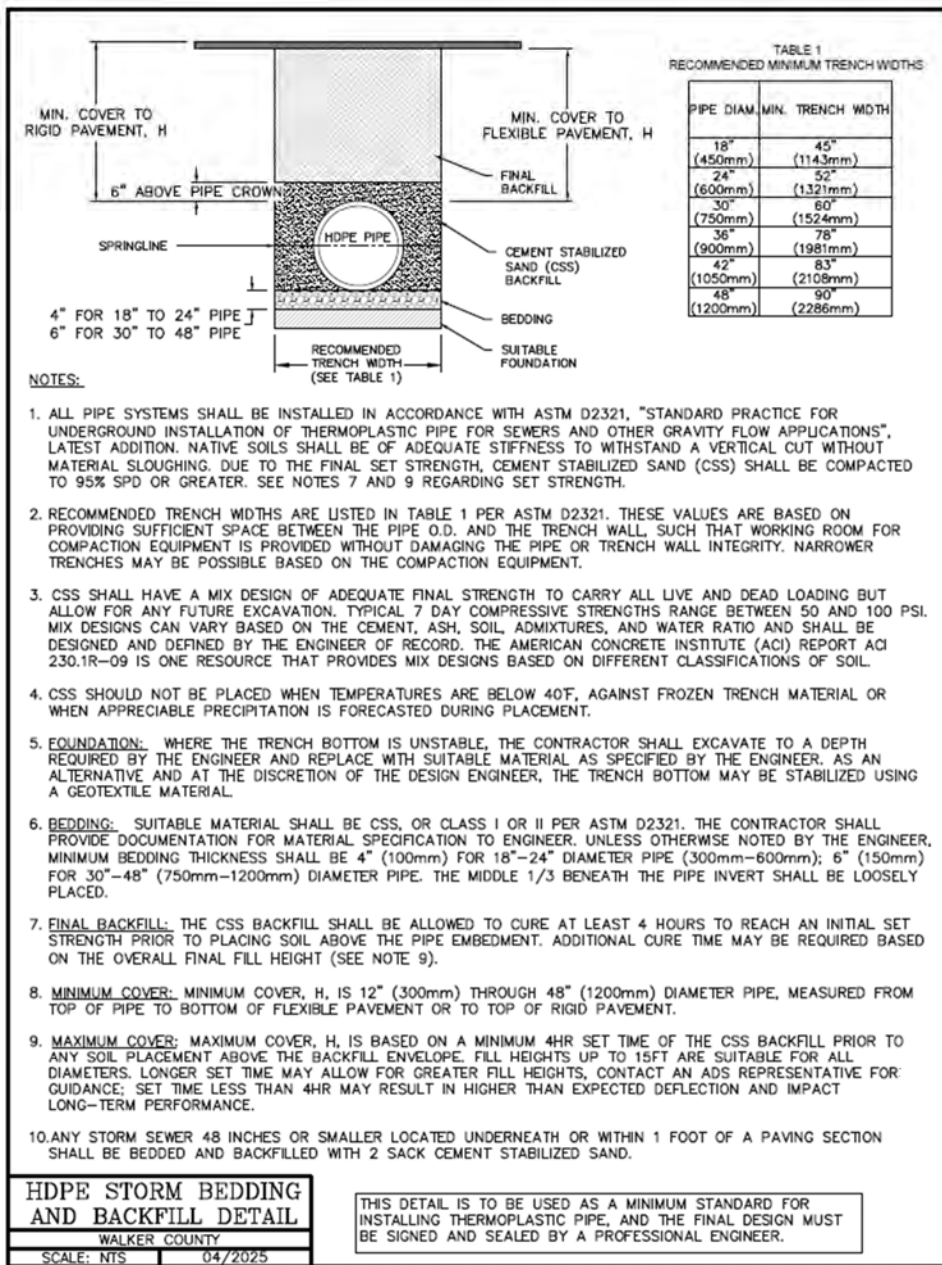
**HDPE STORM BEDDING
AND BACKFILL DETAIL**

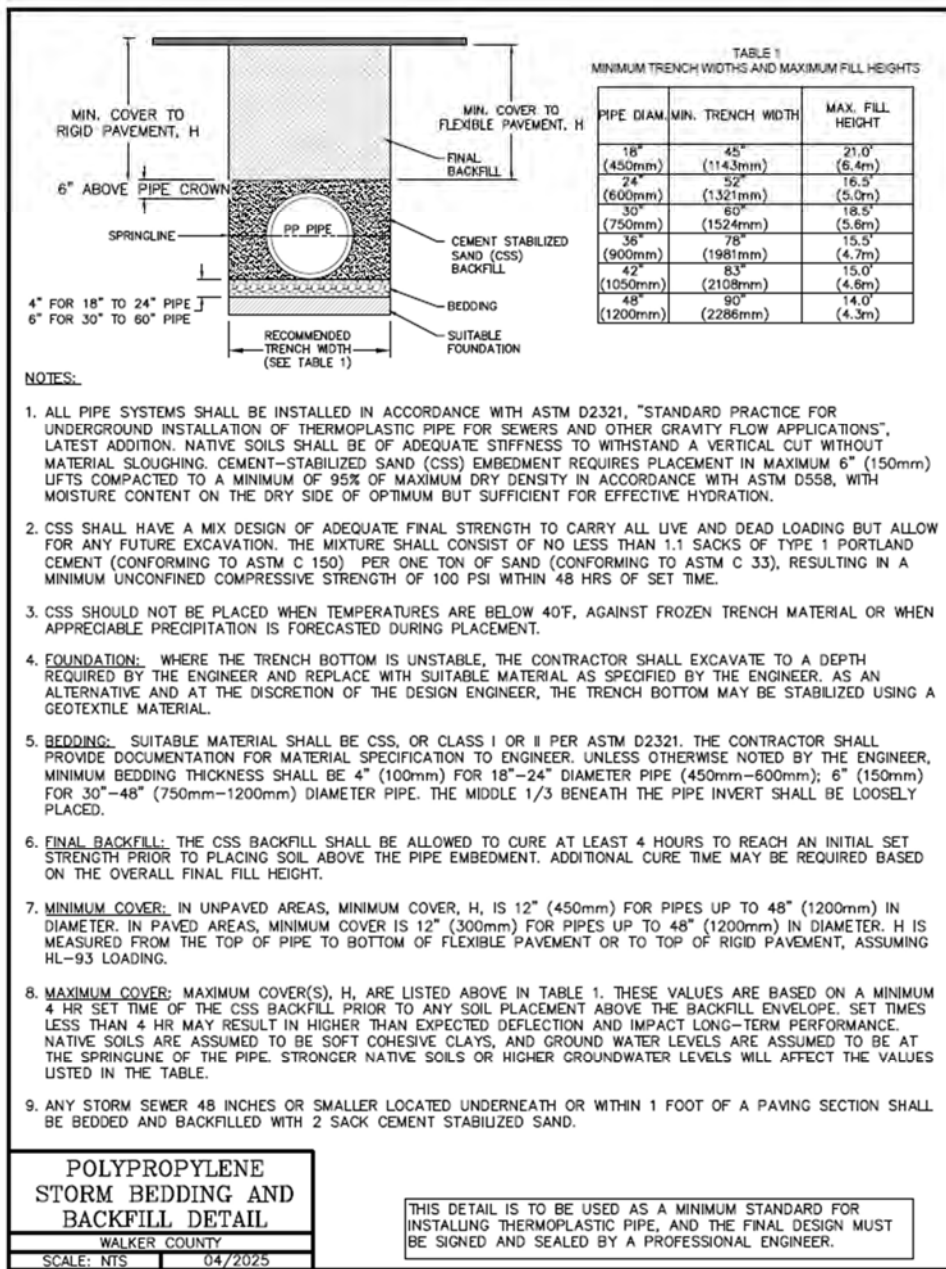
WALKER COUNTY

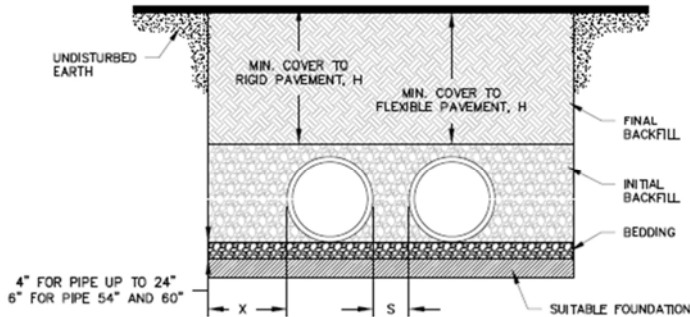
SCALE: NTS

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MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) +
18" - 48" (450mm - 1200mm)	12" (305mm)	48" (1219mm)

+ VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

PIPE DIAM.	MIN. "X"	MIN. "S"
18" (450mm)	14" (356mm)	12" (305mm)
24" (600mm)	14" (356mm)	12" (305mm)
30" (750mm)	18" (457mm)	15" (381mm)
36" (900mm)	21" (533mm)	18" (457mm)
42" (1050mm)	21" (533mm)	21" (533mm)
48" (1200mm)	21" (533mm)	24" (610mm)

MINIMUM SPACING ("S") MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER

NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL WHEN REQUIRED.
3. **FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. **BEDDING:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-48" (750mm-1200mm).
5. **INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING TO THE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. **MINIMUM COVER:** MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
7. ANY STORM SEWER 48 INCHES OR SMALLER LOCATED UNDERNEATH OR WITHIN 1 FOOT OF A PAVING SECTION SHALL BE BEDDED AND BACKFILLED WITH 2 SACK CEMENT STABILIZED SAND.

PARALLEL HDPE/PP PIPE STORM BEDDING AND BACKFILL DETAIL

WALKER COUNTY

SCALE: NTS 04/2025

THIS DETAIL IS TO BE USED AS A MINIMUM STANDARD FOR INSTALLING THERMOPLASTIC PIPE, AND THE FINAL DESIGN MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER.

Resolution & Order # 2025-54

THE STATE OF TEXAS

§

§

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF WALKER

§

THAT ON THIS, the **7th day of April, 2025**, the Commissioners Court of Walker County, Texas, met in duly called and convened lawful Session at the County Courthouse in Huntsville, Texas, with the following members present:

Colt Christian
Danny Kuykendall
Ronnie White
Bill Daugette
Brandon Decker

County Judge
Commissioner, Precinct One
Commissioner, Precinct Two
Commissioner, Precinct Three
Commissioner, Precinct Four

And at said meeting, among other business, came up for consideration and adoption the following Resolution and Order:

WHEREAS, the Commissioners Court of Walker County, Texas, has, after proper notice, held a public hearing concerning a proposed revision of the Walker County Subdivision Regulation; and

WHEREAS, after soliciting the public's comments, the Commissioners Court finds that the adoption of revised Regulations will be in the public interest;

NOW THEREFORE BE IT RESOLVED, that the Walker County Commissioners Court hereby adopts the attached document as the revised Walker County Subdivision Regulations and *orders* that they be in full force and effect on **April 7, 2025** ; and

FURTHER RESOLVED, that County Judge Colt Christian be, and is hereby authorized to sign this Resolution and Order as the act and deed of the Walker County Commissioner's Court.

The foregoing Resolution and order was lawfully moved by Commissioner _____, duly seconded by Commissioner _____, and duly adopted by the Commissioners Court on a vote of _____ () members for the motion and _____ () member(s) opposed with no commissioner(s) being absent from the dais.

Colt Christian
County Judge, Walker County, Texas

DATE: _____

Danny Kuykendall
Commissioner, Precinct One, Walker County, Texas

Ronnie White
Commissioner, Precinct Two, Walker County, Texas

Bill Daugette
Commissioner, Precinct Three, Walker County, Texas

Brandon Decker
Commissioner, Precinct Four, Walker County, Texas

Construction Examination Guidelines

All review and examination by Walker County and its representatives of construction is to provide mitigation of project risk for Walker County; the failure of Walker County or its representatives to locate discrepancies within the plans or construction should not be construed as a variance to the standard regulations. It is the sole responsibility of the developer and their agents to construct improvements meeting the Federal, State, and local requirements. No communication by the County representative should be perceived as a variance from regulatory requirements or the approved plans.

Required Developer Submittals before Milestone	Typical Items Audited during Milestone	Required Developer Reps ¹	Requires Scheduled County Site Visit	Approx. No. of County Site Visits	County Reps ² Invited to Site Visit
1. Pre-Construction Meeting					
Request for meeting; construction schedule; Lab contact information; Filed NOI	Outline site visits; Contact information; Overview of the process; Expectations	Developer Engineer Testing Lab Contractor	N/A	N/A	Engineering Rep. DPD
2. Drainage Structures & Subgrade³					
Pipe submittals; Structure submittals	Pipe/structure size & location; Rebar size/placement; Bedding/backfill compaction; Drainage flow direction; Temporary erosion control; Soft/weak areas (proof-roll); Subgrade prep./stabilization; Material width/depth/location;	Engineer Testing Lab	Pre-Pour for Structures; Large Pre-Cast Structures	Project Specific, Determined at Pre-Con Meeting	Engineering Rep. Commissioner
3. Base/Rebar					
Base stockpile report; Steel material report; Proof-roll certification; Concrete structure testing; Subgrade testing reports; Bedding/Backfill testing reports	Subgrade width & depth; Drainage flow direction; Ditch location/cross-section; Impact of stormwater runoff; Pipe/structure size & location; Pipe installation; Inlet	Engineer Testing Lab	None; Periodic Site Visits Only	Project Specific	Engineering Rep. Commissioner
4. Pre-Pave (Asphalt/Concrete)⁴					
Engineer's certification; Asphalt/concrete design; Base quantity via tickets with summary calculation; Base testing reports	All items above, plus: Base width, depth, & location; Shoulder width; Rebar size & placement; Grades & slopes	Engineer Testing Lab	Base before Asphalt; Form/Rebar before Concrete	1	Engineering Rep. 2 Commissioners DPD
5. Paving^{4,5}					
Engineer's pre-pave punch list certification	Temperature, thickness, materials, methods, & testing	Engineer Testing Lab	Placement of Pavement	Project Specific	Engineering Rep.
6. Preliminary Walkthrough⁴					
All testing/material reports; Record drawings; Developer's certification of completion; Engineer's certification of completion; Completed Development Permit	Items constructed per plans; Project performs as designed; Vegetation is established;	Developer Engineer Contractor	Full Scope at Completion	1	Engineering Rep. 2 Commissioners DPD
7. Final Walkthrough⁴					
Engineer's punch list certification; Maintenance bond	Construction is per the plans; Project performs as designed; Vegetation is established	Developer Engineer Contractor	Full Scope at Punch List Completion	1	Engineering Rep. 2 Commissioners DPD
8. One-Year Walkthrough⁴					
Engineer's certification; Request for acceptance for public subdivisions; Bond release request for private subdivisions	Construction is per the plans; Project performs as designed; Vegetation is established	Developer Engineer Contractor	Full Scope Before Bond Expiration	2	Engineering Rep. 2 Commissioners DPD

Construction Examination Notes:

1. The developer's engineer is responsible for ensuring the project is built in accordance with the plans and specifications. The developer's engineer shall inspect and certify the completion of construction and record drawings.
2. County representatives are on site as observers to mitigate risk. The County Engineering Representative will report observations to the Department of Planning and Development and the Commissioners Court.
3. The Testing Lab and Developer's Engineer shall certify the proof rolls, which shall be performed prior to stabilization. Submit subgrade testing reports and base material reports before placing any base material. Following delivery of materials, additional reports related to materials will be provided by the developer.
4. This milestone is a formal examination of the project with all noted parties present and is considered a critical milestone. The County will determine which County representatives will be present for the inspection. The developer's engineer shall certify that the project (or portion of the project noted by station) is ready for paving and provide associated testing reports with the request for a County site visit. The request for County site visits shall be made in writing to the DPD a minimum of 72 hours before the scheduled County site visit, and the areas to be inspected shall be mowed.
5. Bridges must be inspected by TxDOT within 90 days of being opened to traffic. The structural engineer for the bridge is required to inspect and certify the bridge construction. The applicant's failure to meet this requirement could jeopardize County acceptance.

This document is provided to assist in the communication of the requirements of the Walker County Subdivision Regulations and does not provide or list all requirements related to construction, standards, and reporting outlined in said Regulations.

If there are any questions related to these Construction Examination Guidelines, the applicant should contact Walker County Department of Planning and Development for resolution at 936-436-4939.

I have received and acknowledge the above information related to construction and Walker County's procedures related to infrastructure construction and inspection.

Signature

Printed Name

VARIANCE REQUEST TO THE FLOODPLAIN MANAGEMENT REGULATIONS OF WALKER COUNTY, TEXAS

Copy all pages of this form and all attachments for (1) community official, (2) building owner.
If any section is not applicable to the proposed development project please mark that section "NA"

SECTION A – PROPERTY INFORMATION				FOR COUNTY USE ONLY	
A1. Building/Site Owner's Name MICHAEL RAY AND DEBORAH				Permit Number: 2074-0521	
A2. Building/Site Street Address SHADY CREEK				Date of Submittal:	
City HUNTSVILLE		State TEXAS		ZIP Code 77320	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) GREEN RICH SHORES, SEC 2, LOT 318					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
(For projects involving multiple map panels an additional sheet may be listed below or included in an additional attachment)					
B1. NFIP Community Name & Community Number UNINCORPORATED AREA 481042			B2. County Name WALKER		B3. State TEXAS
B4. Map/Panel Number 484710300	B5. Suffix D	B6. FIRM Index Date 08/16/2011	B7. FIRM Panel Effective/ Revised Date 08/16/2011		B8. Flood Zone(s) A
<p>THE ABOVE NAMED PERMIT APPLICANT DOES HEREBY MAKES AN APPEAL TO THE COMMISSIONER'S COURT OF WALKER COUNTY FOR A VARIANCE TO THE CONDITIONS OF PERMIT APPROVAL AND/OR CONSTRUCTIONS STANDARDS REQUIRED BY THE WALKER COUNTY FLOOD PLAIN MANAGEMENT REGULATIONS FOR PROPOSED DEVELOPMENT WITHIN AN IDENTIFIED FLOOD HAZARD AREA RELATED TO THE ABOVE REFERENCED DEVELOPMENT PERMIT APPLICATION.</p>					
SECTION C – BASE FLOOD ELEVATION UTILIZED IN DESIGN					
<p>(If a determination of the base flood elevation has been made, then a copy of a <i>Determination of Base Flood Elevation Form</i> must be submitted and the elevation shown in C1 below should correspond with the elevation that appears in subsection E3 on that form. For large projects subject to varying or multiple flood heights please place an "X" in the box adjacent to D2)</p>					
<p>* <input checked="" type="checkbox"/> SEE VARIANCE REQUEST</p> <p>C1) <input type="checkbox"/> The Base Flood Elevation for the proposed location/project is: _____ ft mean sea level.</p> <p>C2) <input type="checkbox"/> This project is subject to multiple Base Flood Elevations, the BFE is provided in attached plans/submittals as project overlay, detailed method of determination, drainage plans, and BFE impact summary.</p> <p>C3) <input type="checkbox"/> No Base Flood Elevation has been determined for this property</p>					
SECTION D – VARIANCE(S) RELATED TO ELEVATION REQUIREMENTS AND DRY FLOODPROOFING					
<p>Applicant requests a variance to the elevation requirements of Sections 5:02(a), 5:02(b), or 5:02(c) (requiring that new or substantially improved structures be elevated a minimum of twelve (12) inches above the base flood elevation authorization is requested to construct the lowest floor of the listed structure(s) at the elevations listed below. (Elevation must be listed in the same datum used for the base flood elevation listed in Section "C" or if no BFE is provided then listed as a distance to the tenth of a foot above lowest natural grade.</p>					
Description of Structure(s)		Proposed Elevation of lowest floor including basement		Proposed Elevation of Flood Proofing (Non-Residential Structures Only)	
D.1 MANUFACTURED HOME		143.00		NA	
D.2					
D.3					
D.4					

SECTION E – OTHER VARIANCE

(All Variance requests need to include the specific variance along with the Section(s) of the Regulation to which they apply)

E.1 A Variance is requested to Section(s) *5:026 of the Walker County Flood Plain Regulations as follows:

APPLICANT IS REQUESTING TO UTILIZE A FINISHED FLOOD REQUIREMENT
LESS BELOW THE BASE LEVEL ENGINEERING FLOOR FOR THE
PROPERTY AND EXISTING BFE DETERMINATION. BLE WAS PREVIOUSLY
ADOPTED BY COMMISSIONERS COURT AS "BEST AVAILABLE DATA"

SECTION F – APPLICANT'S JUSTIFICATION AND PRESENTATION FACTORS EFFECTING VARIANCE

(All variance requests to the Walker County Floodplain Regulations need to be included along with the Section(s) of the Regulation to which they apply)

F.1 Is the variance for new construction or substantial improvement of a structure to be erected on a lot of one-half acre or less in sized contiguous to and surrounded by lots with existing structures constructed below the base flood elevation?

Yes X No _____

F.2 Please explain the cause or reason the variance is being requested (attach additional pages as "Exhibit F.2"):

APPLICANT BELIEVES THAT LOWER ELEVATION IS ADEQUATE
BASED ON INFORMATION PROVIDED TO COMMISSIONERS COURT
BY PREVIOUS APPLICANTS IN THE GENERAL AREA. THE
INCREASED ELEVATION WILL MAKE IT MORE DIFFICULT
TO ACCESS, CONSTRUCT, AND MAINTAIN THE RESIDENCE.

F.3 Will the failure to grant the variance result in any exceptional hardship to the applicant?

Yes X No _____

If yes please explain below:

THE FAILURE TO GRANT THE VARIANCE WOULD CREATE
HARDSHIPS IN COST OF CONSTRUCTION, ACCESS, AND
MAINTENANCE.

F.4 Is the variance requested within a regulatory floodway?

Yes _____ No X SEE DEV CERT FORM

* F.5 Will the variance result in increased flood heights, additional threats to public safety, extraordinary public expense, create a nuisance, cause fraud, victimization of the public, or conflict with existing local laws or court orders?

Yes _____ No _____ Please provide analysis or explanation below or reference attachments:

SECTION H –VARIANCE(S) GRANTED

(All design elevations shall be given in the same elevation datum used for the elevation in section D1)

H.1 A VARIANCE TO THE WALKER COUNTY FLOOD PLAIN REGULATIONS IS GRANTED AS FOLLOWS:

H.2 THE FOLLOWING CONDITIONS ARE ATTACHED TO THE VARIANCE IN ADDITION TO THE REQUIREMENTS OF THE DEVELOPMENT PERMIT AND ANY REQUIREMENTS OF THE FLOOD PLAIN MANAGEMENT REGULATIONS:

SECTION J - NOTICE, ACKNOWLEDGEMENT, AND CERTIFICATIONS**NOTICE**

ALL DEVELOPMENT MUST BE IN STRICT COMPLIANCE WITH THE VARIANCES STATED HERE AND OTHER CONDITIONS STATED ON THE DEVELOPMENT PERMIT. ANY VARIATION WILL RESULT IN IMMEDIATE SUSPENSION OF THIS VARIANCE AND THE DEVELOPMENT PERMIT. FLAGRANT VIOLATION OF THE CONDITIONS OF THIS VARIANCE MAY RESULT IN THE COMMISSIONER'S COURT SEEKING INJUNCTIVE RELIEF, CIVIL, OR CRIMINAL PENALTIES.

WARNING

THE GRANTING OF A VARIANCE IS LIMITED TO THE PERMITTING STANDARDS AND LOCAL REGULATORY STANDARD ONLY. IT IS NOT A VARIANCE FROM THE REQUIREMENT TO PURCHASE FLOOD INSURANCE. **PREMIUMS FOR FLOOD INSURANCE COVERAGE FOR THE STRUCTURE WILL INCREASE** AS A RESULT OF CONSTRUCTING THE FIRST FLOOR BELOW THE LEVEL OF THE BASE FLOOD, AND MAY INCREASE AS A RESULT OF OTHER VARIANCES GRANTED. **LOWERING THE FIRST FLOOR BELOW THE BASE FLOOD ELEVATION MAY INCREASE THE POTENTIAL FOR FLOOD DAMAGE AND LOSS OF LIFE.** THE APPLICANT ACKNOWLEDGES THAT HE/SHE IS RESPONSIBLE TO ENSURE THAT ANY VARIANCE DOES NOT DAMAGE OR THREATEN ADJASCENT PROPERTIES AND COMPLIES WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

DISCLAIMER

THE COMMISSIONER'S COURT OF WALKER COUNTY AND ANY OFFICER OR EMPLOYEE OF WALKER COUNTY ARE NOT LIABLE FOR DAMAGES OR LOSS OF LIFE RESULTING FROM FLOODING OF THE PROPERTY FOR WHICH A PERMIT OR VARIANCE IS GRANTED.

I, Michael R. NeTek, do hereby acknowledge that I have reviewed the provisions, warnings, notices, and disclaimers stated above and that I understand them agree with them and intend to comply fully with them. I also acknowledge that my flood insurance costs will increase and flood damage potential to any structure or property subject to this variance will increase. I am fully aware that Walker County is not liable for damages to my property or structure, and that I accept full responsibility for the risks associated with this variance. I also certify that in the event I sell this property or structure in the future, that I will give notice of the variance to the purchaser prior to sale.

Signature of Owner/Applicant

Date

Michael R. NeTek

4-1-25

SECTION I – ACTION ON VARIANCE BY COMMISSIONER'S COURT

After careful consideration of the reasons for the request of variance, the Commissioner's Court of Walker County, Texas has determined that it is within the scope of the variance procedures as outlined in the Walker County Flood Plain Management Regulations to _____ this request for variance.

Commissioner's Court Signature

Printed Name

Date

Annette Olivier

From: Jung, Annie [REDACTED]
Sent: Friday, February 28, 2025 2:48 PM
To: Annette Olivier; Andrew Isbell
Cc: Delehey, Tucker
Subject: RE: Questions Regarding Development Permit
Attachments: Appendix B_2024-1113_Piney Woods_Overall Site Layout.pdf; 2025.02.28_Piney Woods_Walker County Development Permit Fee Methodology.docx

CAUTION: The sender of this email is not within Walker County. Any links or attachments may be dangerous. To report this email as suspicious, forward it to Walker County IT Helpdesk.

Hi Andrew,

Please see attached for the Development Permit fee proposal and our preliminary design.

As discussed in person, we included all equipment that would have direct ground impact, such as roads, cabling, pads, and pilings (poles that hold the solar panels). We omitted the panels since calculating ground coverage isn't straightforward due to the fact that the modules' angle of placement changes depending on time of day to track the sun's location, and including them would result in a fee north of \$400,000 which the project could not accommodate.

Please let us know your thoughts on this calculation and any questions you may have.
I'd be happy to set up a call to discuss, as well.

Also, we'd appreciate any insight into the proposal approval process by the commissioners highlighted in yellow below.

Thank you,
Annie

[REDACTED]

PINEY WOODS SOLAR, LLC - METHODOLOGY FOR DEVELOPMENT PERMIT FEE

February 28, 2025

ATTN: Andrew Isbell
Walker County Department of Planning and Development
1313 University Avenue, Suite A
Huntsville, Texas 77340

Dear Mr. Isbell,

At the request of the Walker County Department of Planning and Development, the Piney Woods Solar (DESRI) team has provided a proposed methodology for the calculation of the Development Permit fee associated with the Piney Woods Solar project. DESRI understands the development permit fee for a commercial/industrial application to be the following:

Development Permit Fee = \$100.00 + 5¢/ft² of development + 1.5¢/ft² of paving/parking area

Due to the atypical nature of the Piney Woods Solar project relative to other developments, DESRI seeks to work with the Walker County Department of Planning and Development to confirm an appropriate methodology to calculate the development permit fee. The below table summarizes the components of the Piney Woods Solar project that are included in our proposed fee calculation methodology in addition to how each item would be classified:

	Development	Pavement/Parking
Width of Medium Voltage Cabling	X	
Width of Roads		X
Ground Disturbance from Pilings	X	
Substation Area	X	
Junction Boxes Area	X	
Inverter Skids and Pad Area	X	
Area of Erosion Basins	X	
Construction Parking		X
Area of Laydown Yards	X	

To supplement the methodology described above, DESRI has provided preliminary calculations for the development permit fee for the Piney Woods Solar project (Appendix A). Of note, the area of the components used in this calculation have been taken from DESRI's preliminary design (Appendix B). As the design progresses towards its Issued for Permitting/Construction (IFP/IFC) stage, DESRI expects the areas of the below components to change, resulting in a change in the fee amount. This change is not anticipated to be significant. The below calculation is intended solely for the purpose of conveying the methodology DESRI proposes for calculating the development permit fee.

Appendix A: Development Permit Fee - Preliminary Calculation

Based on the preliminary design (Appendix B), the areas of each component are noted below in square feet:

	Area (square feet)	
	Development	Pavement/Parking
Medium Voltage Cabling*	7549,787	
Roads**		905,160
Pilings	15,100	
Substations	153,845	
Junction Boxes	1,100	
Inverter Skids	5,845	
Gravel Pads	21,155	
Erosion Basins	341,826	
Construction Parking		75,000
Laydown Yards	578,400	
TOTAL	1,167,068	980,160

* Area of medium voltage calculated by multiplying the length of cable by the width of the cable (6")

** Area of Roads calculated by multiplying length of roadway by average road width (12')

The areas shown above were used to calculate the development permit fee as follows:

Base Fee		\$	100.00	
Development	+	\$	58,353.38	\$0.050
Paving/Parking	+	\$	14,702.40	\$0.015
Development Permit Fee	=	\$	73,155.78	\$/ft²

Appendix B: Preliminary Design w/ Floodplain

**AFFIDAVIT OF EXCEPTION
FROM
WALKER COUNTY LAND PLATTING REQUIREMENTS**

Grantor: ZMT Group, LLC

Hoang Dinh Doanh
Cang Van Hoang

Grantee: Public

Subject Tract: Instrument Number: 95215 WCOPR

Volume: 778 Page: 51 WCOPR

Legal Description of Subject Tract:

First Tract: Being a 9.5663 acre (416,710 square feet) tract of land and remainder of a called 68.4275 acre tract of land as recorded under Volume 359, Page 699 of the Official Public Records of Walker County, Texas (O.P.R.W.C.T.), located in the J. Smith Survey, Abstract Number 497, Walker County, Texas, being the same property conveyed from Jonathan L. Lawson and Jeanette L. Lawson to Black Eye Properties, LLC, a Texas limited partnership, in Warranty Deed recorded February 27, 2023 under Walker County Clerk's File No. 2023-87522.

Second Tract: Being a 11.015 acre tract of land situated in the James Smith Survey, Abstract No. 497, Walker County, Texas, being comprised of the following tracts: All of a called 0.69 acre tract as described in deed to Jonathan Lawson recorded in Volume 526, Page 423 of the Official Public Records of Walker County, Texas.; All of a called 0.085 and 0.02 acre tract as described in deed to Jonathan Lawson recorded in Volume 766, Page 203 of the Official Public Records of Walker County, Texas. ; All of a called 9.58 acre tract as described in deed to Jonathan Lawson recorded in Volume 359, Page 699 of the Official Public Records of Walker County, Texas.

Exception claimed under: "Exceptions to platting requirements." Section or sections 3.19 of the Walker County Subdivision Regulations and being in compliance with and including section 232.0015 of the Texas Local Government Code as amended by senate bill no 710

This Exception does not attempt to amend or remove any covenants or restrictions.

The claim for an exception to the Walker County Subdivision Policy is based upon the following criteria:

- 1) This exception is being granted in accordance with section A3.3 of the Walker County Subdivision Regulations in order to adjust the boundary line between the above called 9.5663 acre tract ("First Tract") owned by ZMT Group, LLC and the called 11.015 acre tract ("Second Tract") owned by Hoang Dinh Doanh and Cang Van Hoang as shown on the attached Exhibit "A". The 0.9686 acre portion of ("First Tract") was severed from the tract by the creek boundary resulting in the called new acreage of 9.5663 acres. The called 11.015 acre tract ("Second Tract") took in the acreage. *This exception is being done after the fact to clean up the acreages between the two land owners.*

****NOTE:** This exception is based on section A3.3 of the Walker County Subdivision Regulations which reads:
"A plat is not required when two or more adjacent landowners, or a single landowner owning two or more adjacent tracts, adjusts or changes the property lines that separate their (the) respective tracts, so long as there is the same number of tracts in existence before and after the transaction. This exemption applies whether the transaction requires an exchange of land by both Owners, or only a transfer of land from one Owner to the other, and whether the transaction takes the form of a sale or an exchange in kind. Any land added to a tract through such a transaction shall become an integral part of that tract, and may not be separately conveyed, except in compliance with the subdivision laws. Each resulting tract shall be subject to the minimum lot size requirements of these Regulations and other applicable laws. This exception does not apply if the adjustment will change the boundary between two legally platted lots, or add or subtract land from a legally platted subdivision."

CONDITIONS: The above referenced subject tract is excepted to the Walker County Subdivision Regulations only so long as it is never sold or used separately from the tracts of the adjoining landowner to whose tract it will be bound. The sale of any portion of the above referenced tract to a non-adjointing landowner will require a plat.

2. HATCHED AREA AND DASHED LINE ALONG THE EAST SIDE OF THE HATCHED AREA SHOWN ON EXHIBIT 'A' IS FOR DEMONSTRATIVE PURPOSES ONLY. THIS NOTED AREA DOES NOT HOLD HARM, MODIFICATION OR IMPACT ON IMPROVEMENTS AND DEVELOPMENTS TO THE PROPERTY CONVEYED TO HOANG DINH DOANH & CANG VAN HOANG AS RECORDED UNDER VOLUME 778 PAGE 51 OF THE OFFICIAL PUBLIC RECORDS OF WALKER COUNTY, TEXAS OWNERS OF THE CALLED 11.015 ACRES. KNOWN AS HOANG DINH DOANH & CANG VAN HOANG ARE NOT UNDER ANY RESTRICTIONS OR LIMITATIONS TO IN REGARDS TO THE HATCHED AREA