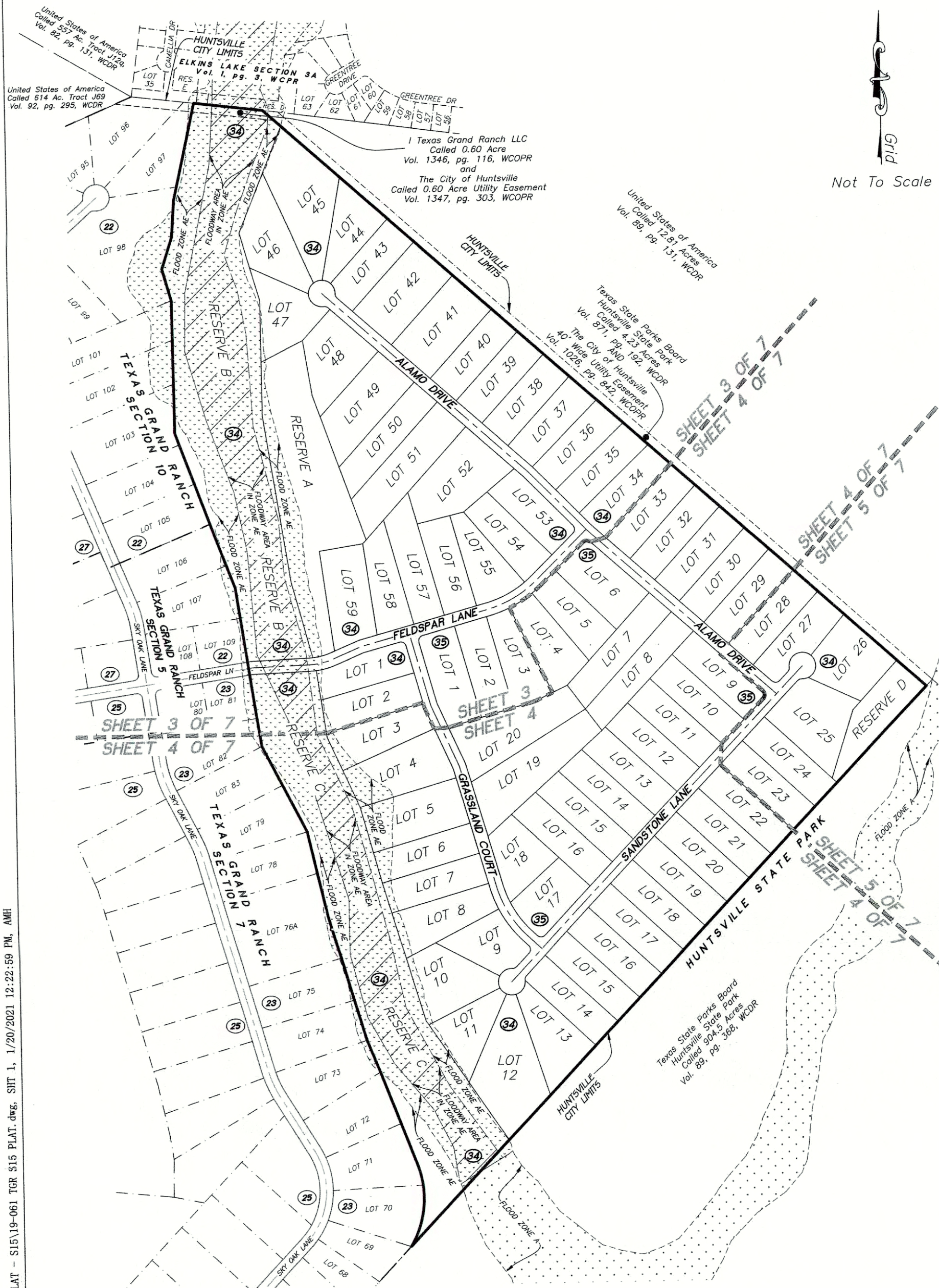


VICINITY MAP
Not To Scale

TEXAS GRAND RANCH SECTION 15 SHEET INDEX



Not To Scale

GENERAL NOTES

- The purpose of this plat is to create TEXAS GRAND RANCH SECTION 15 out of the residue of the called 3314.028 acre tract described in Vol. 1271, pg. 484, Walker County Official Public Records and out of the called 0.60 acre tract described in Vol. 1346, pg. 116, Walker County Official Public Records, and to dedicate the sixty (60) foot road rights-of-way, with the adjacent twenty (20) foot Public Utility Easements (PUE), the adjacent twenty (20) foot Drainage Easements (DE), the twenty (20) foot Nature Trail Easement, and the Variable Width Private Drainage Easements and Drainage Easements not adjacent to the road rights-of-way as shown hereon, to the public.
- Bearings, Distances, Coordinates and Acres hereon are Grid and referenced to the Texas State Plane Coordinate System, Central Zone, NAD 83 and based upon City of Huntsville Mapping Control Network Point Number 7262, having published coordinates of N=10,231,650.757 feet, E=3,802,783.195 feet and Elev.=312,999 feet and GPS Observations. Distances are U.S. Survey Feet and may be converted to geodetic horizontal (surface) by dividing by a Combined Scale factor of 0.99988. Please review the record instruments cited hereon to compare the survey bearings and distances with the record calls.
- Based on the graphic location of the available GIS data from the Federal Emergency Management Agency (FEMA) Flood Map Service Center (<https://msc.fema.gov/portal/search>) superimposed upon the subject tract, and based on the FEMA Flood Insurance Rate Map, revised 16 August 2011, Walker County #481042, Map No. 48471C0370D, Panel 0370D, this property is located within:
 - Flood Hazard Zone "X" OTHER AREAS (areas determined to be outside the 0.2% annual chance floodplain),
 - and Flood Hazard Zone "A" (areas determined to be subject to inundation by the 1% annual chance flood, with no base flood elevations determined),
 - and Flood Hazard Zone "AE" (areas determined to be subject to the inundation by the 1% annual chance flood, WITH base flood elevations determined),
 - and Flood Hazard Floodway Zone "AE" (areas determined to be the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment).The Base Flood Elevations (BFE's) shown hereon are based on a scaled approximation of the geo-referenced FEMA Flood Insurance Rate Map No. 48471C0370D.
- This statement does not imply that any portion of the subject tract is free of potential flood hazard; localized flooding can occur due to natural and/or man-made influences. This flood statement shall create no liability on the part of Namken, Inc. or the undersigned.
- All acreage quantities shown on this survey are based upon the mathematical closure of the boundary courses and distances. Said quantities do not indicate the positional accuracy of the boundary monumentation.
- All exterior boundary lines of this subdivision which are common with the original survey boundary are monumented on the ground with iron rods or other stable material.
- The Owner(s) hereby certify that where physically possible all lot corners, angle points and points of curvature of the lots located within the subdivision will be monumented on the ground with 5/8" iron rods with 1-3/4" diameter blue plastic caps marked "MICHAEL A. NAMKEN RPLS 6533", UNLESS otherwise noted and with the exception that they are NOT set in the centerline of roadway nor at roadway intersections and points of curvature, as the symbols hereon may represent. Monuments shown hereon as found are controlling monuments, unless noted as reference only.
- All driveways in the subdivision shall be constructed of concrete or asphalt at owner's expense and shall be completed within twelve (12) months from the setting of forms for the foundation of said dwelling or structure. Further, the driveway or entrance to each lot from the pavement of the street shall be paved with concrete or asphalt. Application for approval to Walker County is required prior to installation of the driveway for determination of the location, culvert sizing, installation depth, etc.
- All Lot setbacks shall be in accordance with the recorded covenants, conditions, and restrictions for Texas Grand Ranch:
 - 75' Front Building Line on the following: Block 34, Lots 1-3, 6-9, 11, 13-24, 27-40, 43, 44, 47, 50, 53-58; and Block 35, Lots 1 through 18;
 - 100' Front Building Line on the following: Block 34, Lots 4, 5, 10, 12, 25, 26, 41, 42, 45, 46, 48, 49, 51, 52, 59, Reserves A, B and C, and Block 35, Lots 19 and 20;
 - 20' Building Line along Side lot lines;
 - 25' Rear Building Line on all lots, EXCEPT Block 34, Lots 12 through 24 which have a 45' Rear Building Line.
- There is a twenty-five foot (25') Vegetative Buffer at the rear of Block 34, Lots 12 through 24 and Reserves C and D, as recorded in Vol. 1346, pg. 116, WCOPR, adjoining Huntsville State Park. Within the twenty-five (25) foot Vegetative Buffer along the Texas State Parks Board, Huntsville State Park (recorded in Vol. 89, pg. 368, Walker County Deed Records), no improvements shall be made, and cutting of all natural vegetation is prohibited. See the Covenants, Conditions and Restrictions for TEXAS GRAND RANCH SECTION 15, which will be recorded of Public Record after the acceptance and recording of this plat for more details on the Vegetative Buffer.
- All lots shown hereon will be subject to Covenants, Conditions and Restrictions for TEXAS GRAND RANCH SECTION 15, which will be recorded of Public Record after the acceptance and recording of the Final Plat of TEXAS GRAND RANCH SECTION 15.
- Before development of a Reserve Tract, a plat of the tract shall be submitted to the City for review and approval according to the Development Code of the City of Huntsville.
- The No Build Easement across Block 34, Lots 50, 51 and Reserve A is there to prevent the building of any structure in this location as it was previously used as a borrow pit.

SANITARY SEWER SERVICE

- Each lot will be required to utilize onsite sanitary sewer facilities (O.S.S.F.) for sanitary sewer service in accordance with state and local codes and regulations. The Lot Owner is not prohibited from connecting to a public sanitary sewer collection system if service becomes available at some time in the future.

DRAINAGE AND IMPERVIOUS COVER

- Finished floor elevations shall be a minimum of twelve (12) inches above finished adjacent grade, with the exception of Block 34, Lots 1-8, Lots 10-12, Lots 45-51, Lots 58 and 59, which have specific individual minimum finished floor elevations as shown hereon. The minimum finished floor elevations shown on this plat are 18-inches above the adjacent base flood elevation as determined by the "Base Flood Elevation Determination for Prairie Branch and Unnamed Tributary and No-impact Drainage Analysis for Bridge Crossing" (sealed by Bijay Aryal, P.E. #109689 on 3/19/2019) and the "No-impact Drainage Analysis for Bridge Crossing, revision for dual opening, addendum for pedestrian bridge" (sealed by Bijay Aryal, P.E. #109689 on 2/19/2020) by FIF Engineering, Inc. a copy of these reports are on file at the City of Huntsville Engineering Department and Walker County Planning & Development Department.
- The landowner is prohibited from constructing any improvements within any "Variable Width Private Drainage Easement" on this plat. Landowner may clear underbrush and establish foot trails within these "Variable Width Private Drainage Easements" but no vertical improvement development is allowed, except for driveways, culverts, and/or drainage improvements necessary for access to the lots. Fencing is allowed along the property lines allocated within these "Variable Width Private Drainage Easements" but with provisions not to impede the flow of storm water within the "Variable Width Private Drainage Easements".
- "Variable Width Private Drainage Easements" shall be maintained by lot owners and/or home owners association and shall not be maintained by the City of Huntsville or Walker County.
- The natural drainage channels (whether or not they are within a dedicated "DE" or "VWDE") that are located within various lots and unrestricted reserve areas throughout this subdivision may not be altered in any way. Landowner may clear underbrush and establish foot trails within these natural drainage channels but no vertical improvements/development will be allowed within the bounds of these easements. Fencing is allowed along the property lines located within these natural drainage channels with provisions not to impede the flow of storm water within the drainage channels.
- All lots and unrestricted reserve areas within the subdivision and the owners thereof must continue to accept all existing drainage flows and drainage structures in place or proposed at the time of development which are a part of or necessary to the public roads infrastructure or public system of drainage in addition to all natural flows of water necessary to the public roads infrastructure or public system of drainage herein described. It is the responsibility of the lot owners to comply with any regulations or limitations noted, and permits issued by the City of Huntsville and/or Walker County for development do not act as a waiver or variance of the lot owner's responsibility to provide for excess runoff and drainage created by the permitted development.
- All Drainage Easements labeled as "DE" are typical right angle off of right-of-way, locations of which are better defined within Detail View A, Detail View C and Detail View D on Sheets 6 and 7.
- Before development of a Reserve Tract, a plat of the tract shall be submitted to the City for review and approval according to the Development Code of the City of Huntsville.
- Based on calculations made from available data, by the undersigned engineer, the land owner may construct impervious cover (structures, driveways, sidewalks, etc.) improvements up to a "total square footage" equal to ten (10) percent of the total lot area. If the Lot Owner desires to exceed the area of impervious cover established for each lot as herein described, further study will be necessary and "on-site" storm water detention facilities may be required to accommodate the additional impervious cover desired. The study and possible incorporation of storm water detention facilities shall be submitted to the Walker County Engineer for approval and must comply with all current local, state and federal regulations, including the Walker County Subdivision Regulations.
- Block 34, Reserve A and Reserve D is a Detention Easement as shown hereon which will be used to construct a detention pond and may be subject to a recorded easement with further restrictions filed at a later date.

PUBLIC EASEMENT NOTES

- All public easements denoted on the plat are hereby dedicated to be used by the public forever. Any public utility, including City of Huntsville and/or Walker County, shall have the right always of ingress and egress to and from and upon these easements for construction, reconstruction, inspection, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of getting the permission of the property owner. Any public utility, including the City of Huntsville and/or County of Walker shall have the right to move and keep moved all or part of any building, fences, trees, shrubs, other growths or improvements that in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system or any of the easements shown on this plat. Neither City of Huntsville and/or Walker County nor any public utility shall be responsible for replacing or reimbursing the property owner due to removal of or relocation of any obstructions in the public easements.
- A twenty (20) foot public utility easement (PUE) which incorporates and a twenty (20) foot Texas Grand Ranch Property Owners Association nature trail easement (NTE) is established adjacent to all road rights-of-way.

TEXAS GRAND RANCH APPROVED VARIANCES

- See Development Agreement between The City of Huntsville, Texas and I Texas Grand Ranch LLC, dated April 25, 2017, recorded in Vol. 1279, Pg. 1 Walker County Official Public Records (WCOPR).
- Approved 19 June 2020. For Lots 7 & 8, Block 35 to not meet the width to depth ratio where the lot depth cannot be more than 4 times the lot width per the Development Agreement between the City of Huntsville, Texas and I Texas Grand Ranch, LLC, dated April 25, 2017, recorded in Vol. 1279, pg. 1, Walker County Official Public Records (WCOPR).
- Approved 19 June 2020. For a waiver of the Development Agreement that the cul-de-sac length be allowed to exceed 1,000 Linear Feet (LF) when no more than 15 lots are served by the cul-de-sac, per the Development Agreement recorded in Vol. 1279, pg. 1, WCOPR.

THIS SHEET - NOT TO SCALE

PLAT OF TEXAS GRAND RANCH SECTION 15

CONTAINING 2 BLOCKS, 4 RESERVES AND 79 LOTS

A SUBDIVISION CONTAINING 194.36 ACRES OF LAND, BEING OUT OF THE RESIDUE OF A CALLED 3314.028 ACRE TRACT DESCRIBED IN A DEED TO I TEXAS GRAND RANCH, LLC RECORDED IN VOL. 1271, PG. 484, AND OUT OF THE RESIDUE OF THE CALLED 0.60 ACRE TRACT DESCRIBED IN VOL. 1346, PG. 116, OFFICIAL PUBLIC RECORDS, WALKER COUNTY, TEXAS

J. B. WILSON SURVEY, A-607
W. D. GLASSCOCK SURVEY, A-222
WALKER COUNTY, TEXAS

JANUARY 2021

NAMKEN, INC.
P. O. Box 1158, New Waverly, TX 77358
TBP/ELS Firm No. 10194090
936-661-3325

LEGEND

- Block Number
- Drainage Easement
- Floodway Areas in Zone AE
- Flood Zone AE
- Flood Zone A
- Min. FF. Minimum Finished Floor Elevation
- PUE & NTE Public Utility Easement & Nature Trail Easement
- WCOPR Walker County Deed Records
- WCOPR Walker County Official Public Records
- WCOPR Walker County Plat Records
- VWDE Variable Width Private Drainage Easement
- Set 5/8" Iron Rod w/cap marked "MICHAEL A. NAMKEN RPLS 6533", UNLESS otherwise noted

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4	Blocks 34 and 35
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7	Detail View Blocks 34 and 35

FOR TAX PURPOSES
THIS PLAT COMPLIES
WITH SECTION 12.002
OF THE PROPERTY
CODE

SHEET 1 OF 7

OWNER'S ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS,
COUNTY OF WALKER.

I, TEXAS GRAND RANCH, LLC, owner of the land shown on this plat, and designated as the TEXAS GRAND RANCH SECTION 15 in the ETJ of the City of Huntsville, Walker County, Texas, and whose name is subscribed hereto, hereby dedicates to the public forever the use of all streets, parks, utility easements; and to the use of the Texas Grand Ranch Property Owners Association all public places shown hereon for the purpose and consideration therein expressed.

I, TEXAS GRAND RANCH, LLC

Renee Howes
By: RENEE HOWES, AUTHORIZED AGENT

OWNER / DEVELOPER

Texas Grand Ranch LLC,
1015A S.H. 150,
New Waverly, TX 77358
928-713-1841

Renee Howes,
Authorized Agent
P.O. Box 261,
Skull Valley, AZ 86338
rhowesconsulting@gmail.com

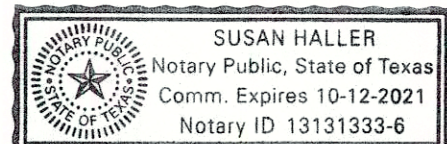
NOTARY PUBLIC ACKNOWLEDGEMENT

STATE OF TEXAS,
COUNTY OF WALKER.

This Instrument was acknowledged before me

Dated this 21st day of January, 20 21
by RENEE HOWES.

Susan Haller
Notary Public for State of Texas



CERTIFICATION BY THE CITY ENGINEER

STATE OF TEXAS,
COUNTY OF WALKER.

I, the undersigned, City Engineer of Huntsville, Texas, hereby certify that proper engineering consideration has been given to this plat regarding the design and construction of public improvements and related easements and rights-of-way.

Dated this 25th day of January, 20 21

Y. S. [Signature]
City of Huntsville City Engineer

CERTIFICATION BY THE CITY PLANNING OFFICER

I, the undersigned, Planning Officer of the City of Huntsville, Texas, certify that the plat confirms to the City Comprehensive Plan, and all applicable design criteria and standards of the City of Huntsville, Texas.

Dated this 25th day of January, 20 21

[Signature]
City of Huntsville Planning Officer

CERTIFICATION BY THE COUNTY CLERK

STATE OF TEXAS,
COUNTY OF WALKER.

I, Kari A. French, County Clerk in and for Walker County, do hereby certify that this plat with its certificates of authentication was filed for record in my office

the 28th day of January, 20 21

in the Plat Records of Walker County in

Volume 1, Page 62

By: Kari A. French, by Roni Ruby
Kari A. French, County Clerk
Walker County, Texas
Deputy Clerk

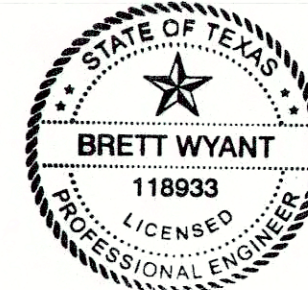
CERTIFICATION BY THE ENGINEER

STATE OF TEXAS
COUNTY OF WALKER.

I, Brett Wyant, Registered Professional Engineer No. 118933 in the State of Texas, hereby certify that proper engineering consideration has been given to this plat regarding design, construction and layout of public improvements.

[Signature] 1/21/2021
Brett Wyant
Registered Professional Engineer
Texas Registration No. 118933

Spear Point Engineering, LLC
TBPELS Firm No. 18904
204 W. Montgomery St.
Willis, TX 77378



CERTIFICATION BY THE SURVEYOR

I, Michael A. Namken, certify that this plat represents a survey made on the ground under my supervision and that all corners and monuments are as shown hereon.

[Signature] 1-21-2021
Michael A. Namken
Registered Professional Land Surveyor No. 6533



APPROVAL OF THE PLANNING COMMISSION

This plat has been submitted to and considered by the Planning Commission of the City of Huntsville, Texas, with respect to the platting of the land and is hereby approved by the Commission.

Dated this 21 day of JANUARY, 20 21
[Signature]
Chairman

PLAT OF
TEXAS GRAND RANCH
SECTION 15

CONTAINING 2 BLOCKS, 4 RESERVES AND 79 LOTS

A SUBDIVISION CONTAINING 194.36 ACRES OF LAND, BEING OUT OF THE RESIDUE OF A CALLED 3314.028 ACRE TRACT DESCRIBED IN A DEED TO I TEXAS GRAND RANCH, LLC RECORDED IN VOL. 1271, PG. 484, AND OUT OF THE RESIDUE OF THE CALLED 0.60 ACRE TRACT DESCRIBED IN VOL. 1346, PG. 116, OFFICIAL PUBLIC RECORDS, WALKER COUNTY, TEXAS

J. B. WILSON SURVEY, A-607
W. D. GLASSCOCK SURVEY, A-222
WALKER COUNTY, TEXAS

JANUARY 2021

NAMKEN, INC.
P.O. Box 1158, New Waverly, TX 77358
TBPELS Firm No. 10194090
936-661-3325

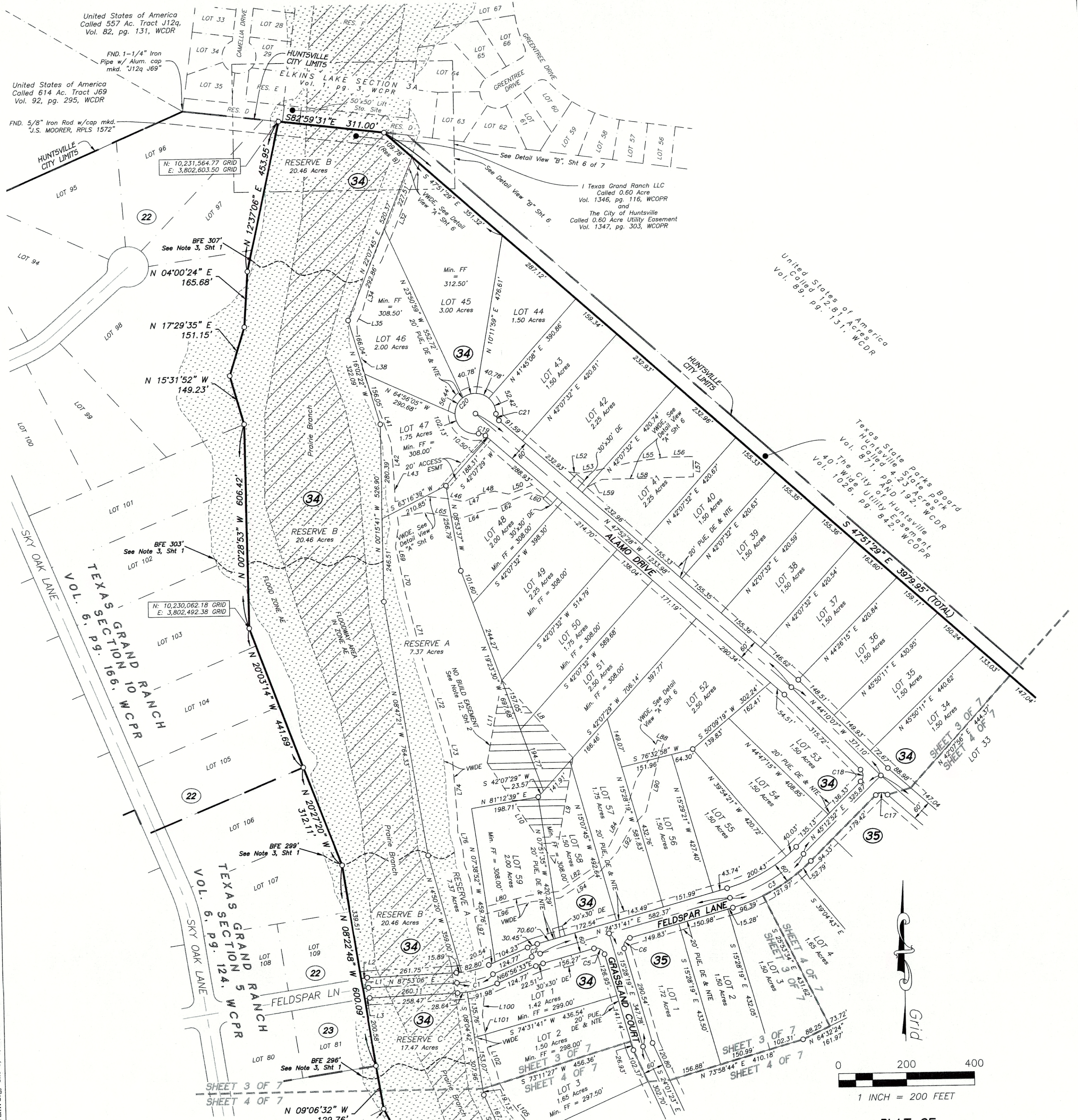
FOR TAX PURPOSES
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Job No. 19-061

SHEET 2 OF 7

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LEGEND

- Block Number
- DE Drainage Easement
- Floodway Areas in Zone AE
- Flood Zone AE
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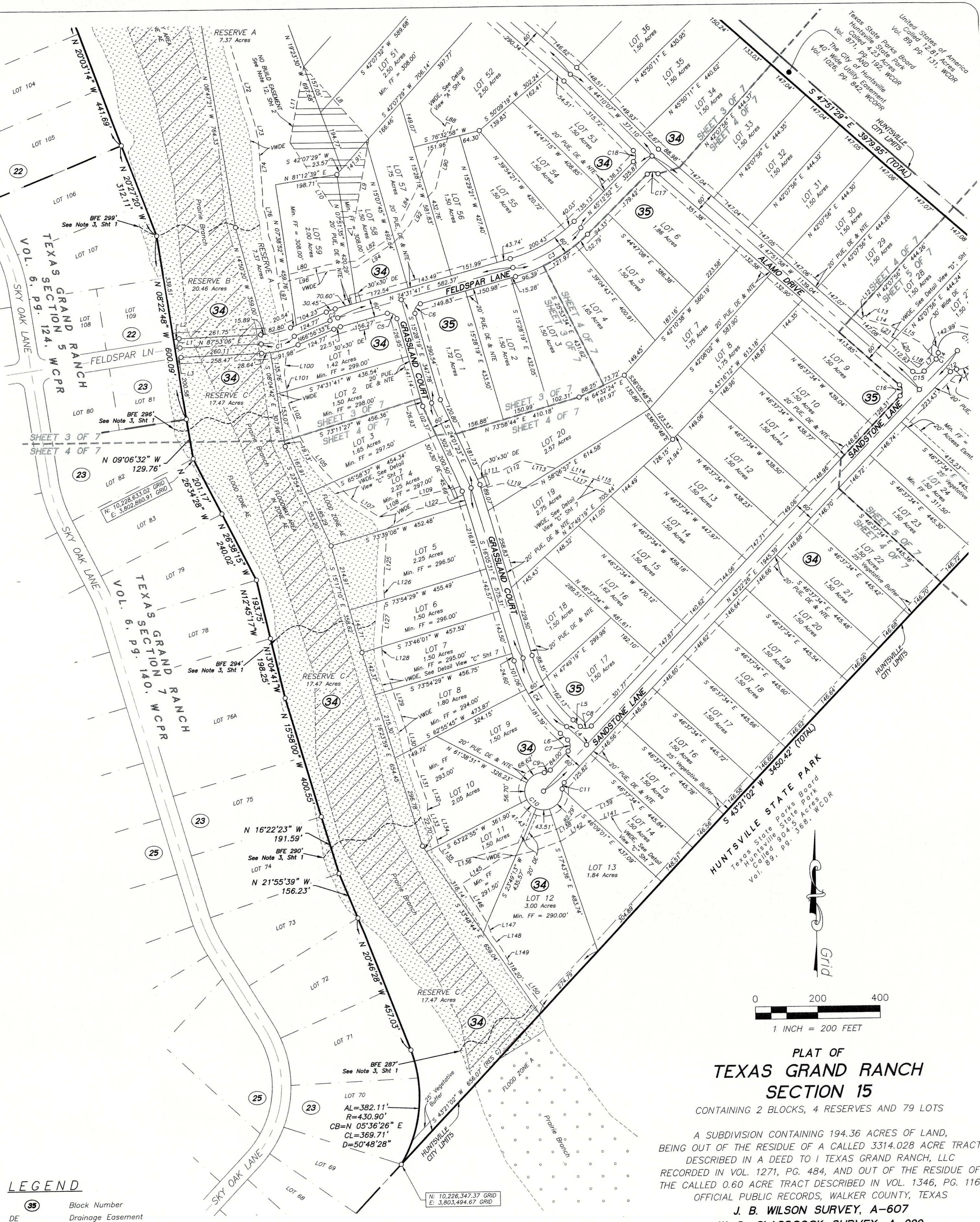
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JANUARY 2021

NAMKEN, INC.
P. Box 1158, New Waverly, TX 77358
TBPELS Firm No. 10194090
936-661-3325

Job No. 19-061



- LEGEND**
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 - DE Drainage Easement
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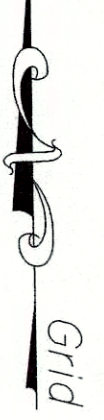
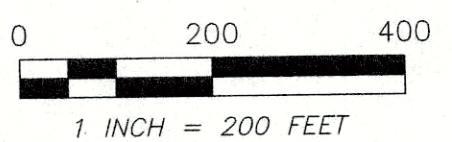
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JANUARY 2021

NAMKEN, INC.
Box 1158, New Waverly, TX 77358
TBPELS Firm No. 10194090
936-661-3325



TEXAS GRAND RANCH SECTION 15 LINE & CURVE TABLES

RIGHTS-OF-WAY CURVE TABLE

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1	109.65'	300.00'	N 77°24'49" E	109.05'	20°56'33"
C2	26.48'	200.00'	N 70°44'07" E	26.46'	7°35'09"
C3	255.81'	500.00'	N 59°52'16" E	253.03'	29°18'49"
C4	266.46'	500.00'	S 31°21'32" E	263.32'	30°32'03"
C5	39.27'	25.00'	S 60°28'19" E	35.36'	90°00'00"
C6	39.27'	25.00'	S 29°31'41" W	35.36'	90°00'00"
C7	39.27'	25.00'	S 01°37'34" E	35.36'	90°00'00"
C8	39.27'	25.00'	N 88°22'26" E	35.36'	90°00'00"
C9	21.68'	25.00'	S 68°12'50" W	21.00'	49°40'47"
C10	292.54'	60.00'	N 88°22'26" E	277.65'	279°21'34"
C11	21.68'	25.00'	N 18°32'02" E	21.00'	49°40'47"
C12	21.68'	25.00'	N 68°12'50" E	21.00'	49°40'47"
C13	292.54'	60.00'	N 46°37'34" W	277.65'	279°21'34"
C14	21.68'	25.00'	S 18°32'02" W	21.00'	49°40'47"
C15	38.73'	25.00'	S 87°45'14" W	34.97'	88°45'36"
C16	39.81'	25.00'	N 02°14'46" W	35.74'	91°14'24"
C17	37.93'	25.00'	S 88°40'27" W	34.39'	86°55'10"
C18	39.00'	25.00'	N 00°31'23" E	35.16'	89°22'58"
C19	21.68'	25.00'	N 72°42'52" W	21.00'	49°40'47"
C20	292.54'	60.00'	N 42°07'32" E	277.65'	279°21'34"
C21	21.68'	25.00'	S 23°02'04" E	21.00'	49°40'47"

RIGHTS-OF-WAY LINE TABLE

LINE	BEARING	DISTANCE
L1	N 81°37'12" E	16.41'
L2	N 81°37'12" E	18.05'
L3	N 81°37'12" E	14.77'
L4	S 46°37'34" E	86.44'
L5	S 46°37'34" E	31.44'
L6	S 46°37'34" E	31.44'
L7	S 43°22'26" W	54.52'
L8	S 41°11'49" E	311.35'
L9	S 10°34'59" W	318.53'
L10	N 32°36'53" W	359.28'
L11	N 10°53'15" E	249.25'

NO BUILD EASEMENT LINE TABLE

LINE	BEARING	DISTANCE
L8	S 41°11'49" E	311.35'
L9	S 10°34'59" W	318.53'
L10	N 32°36'53" W	359.28'
L11	N 10°53'15" E	249.25'

VARIABLE WIDTH PRIVATE DRAINAGE
EASEMENT LINE TABLES

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L12	N 49°45'15" E	17.10'	L59	S 63°36'56" W	50.10'	L106	S 43°31'31" E	131.35'
L13	S 40°14'45" E	22.69'	L60	N 69°09'03" W	43.07'	L107	S 55°40'29" E	105.79'
L14	S 74°09'03" E	69.25'	L61	S 68°50'49" W	60.71'	L108	N 60°08'56" E	115.17'
L15	S 59°26'45" E	110.22'	L62	S 61°07'15" W	44.24'	L109	N 76°11'21" E	109.87'
L16	S 35°48'50" E	24.25'	L63	S 81°15'25" W	38.38'	L110	N 69°16'42" E	33.19'
L17	S 78°02'30" E	7.26'	L64	S 71°51'39" W	74.16'	L111	N 78°41'59" E	56.60'
L18	N 68°08'55" W	36.57'	L65	N 79°50'08" W	107.47'	L112	N 63°54'44" E	77.84'
L19	N 35°48'50" W	24.25'	L66	S 82°04'36" W	81.45'	L113	S 76°24'37" E	128.31'
L20	N 19°50'20" W	43.10'	L67	S 06°58'59" E	26.03'	L114	S 73°19'51" E	111.80'
L21	N 61°35'13" W	99.16'	L68	S 09°41'29" W	63.97'	L115	S 70°46'05" E	59.43'
L22	N 70°19'15" W	12.51'	L69	S 11°28'04" E	60.41'	L116	S 18°45'00" W	30.00'
L23	S 79°20'51" E	55.14'	L70	S 10°22'35" E	87.64'	L117	N 69°05'49" W	171.44'
L24	N 82°44'43" E	65.74'	L71	S 13°35'51" E	217.90'	L118	S 69°21'23" W	114.20'
L25	N 84°16'08" E	78.16'	L72	S 16°24'25" E	234.48'	L119	N 77°48'38" W	75.02'
L26	N 71°15'38" E	172.79'	L73	S 11°34'18" E	54.58'	L120	S 76°37'50" W	49.57'
L27	S 69°08'39" E	53.15'	L74	S 03°48'35" E	174.91'	L121	S 69°11'28" W	38.50'
L28	S 79°20'51" E	77.66'	L75	S 00°01'21" W	38.13'	L122	S 77°15'58" W	97.56'
L29	S 62°00'46" E	145.74'	L76	S 15°21'36" E	49.88'	L123	S 57°22'57" W	120.53'
L30	S 64°16'56" E	178.57'	L77	S 05°16'30" E	50.20'	L124	S 02°51'53" E	41.28'
L31	S 14°20'36" W	24.33'	L78	S 19°30'41" E	47.19'	L125	S 04°22'29" W	134.87'
L32	S 22°39'12" W	283.82'	L79	S 07°12'41" E	90.99'	L126	S 03°20'55" E	58.84'
L33	S 30°56'54" W	55.36'	L80	N 76°32'23" E	168.33'	L127	S 05°51'35" W	123.09'
L34	S 16°30'38" W	110.94'	L81	N 83°13'18" E	87.89'	L128	S 03°01'27" E	60.99'
L35	S 28°52'22" W	33.99'	L82	N 55°56'10" E	133.65'	L129	S 17°23'21" E	243.29'
L36	S 01°59'26" E	53.71'	L83	N 33°23'56" E	70.35'	L130	S 11°44'52" E	105.17'
L37	S 14°13'44" E	43.86'	L84	N 26°31'14" E	106.30'	L131	S 18°15'34" E	137.19'
L38	S 02°28'04" E	42.13'	L85	N 18°48'24" E	106.53'	L132	S 00°32'57" W	34.27'
L39	S 17°18'53" E	67.61'	L86	N 33°53'35" E	86.57'	L133	S 22°00'41" E	59.68'
L40	S 27°10'08" E	42.34'	L87	N 20°31'28" E	45.98'	L134	S 13°08'09" E	64.69'
L41	S 18°53'48" E	125.37'	L88	S 68°45'01" E	20.00'	L135	S 40°04'42" E	55.79'
L42	S 03°44'12" E	106.05'	L89	S 20°31'28" W	45.85'	L136	N 76°01'33" E	146.16'
L43	S 02°12'32" E	68.82'	L90	S 13°52'54" W	166.87'	L137	N 71°08'58" E	211.17'
L44	N 78°40'55" E	79.99'	L91	S 42°47'52" W	70.54'	L138	N 57°14'54" E	101.98'
L45	S 82°49'02" E	72.80'	L92	S 29°37'45" W	75.39'	L139	N 65°37'37" E	152.40'
L46	S 78°59'04" E	52.60'	L93	S 41°56'56" W	75.97'	L140	S 20°03'23" E	62.94'
L47	N 66°15'45" E	58.18'	L94	S 56°49'43" W	143.17'	L141	S 74°15'37" W	152.40'
L48	N 81°15'25" E	38.38'	L95	S 83°18'45" W	85.55'	L142	S 57°14'36" W	101.94'
L49	S 76°52'56" E	40.68'	L96	S 76°32'23" W	172.68'	L143	S 69°55'44" W	92.96'
L50	N 70°28'12" E	67.19'	L97	S 11°18'26" E	117.79'	L144	S 77°02'40" W	117.41'
L51	N 51°36'46" E	6.79'	L98	S 00°02'55" E	12.76'	L145	S 57°25'45" W	140.87'
L52	S 82°24'10" E	32.18'	L99	S 00°02'55" E	5.03'	L146	S 31°10'24" E	152.97'
L53	N 80°45'43" E	54.83'	L100	S 06°47'51" W	52.34'	L147	S 17°51'31" E	43.27'
L54	N 77°24'00" E	100.49'	L101	S 07°29'48" E	105.24'	L148	S 36°32'44" E	45.06'
L55	N 82°29'28" E	101.56'	L102	S 22°19'34" E	61.82'	L149	S 28°06'33" E	75.62'
L56	N 89°31'07" E	80.65'	L103	S 13°45'10" E	46.21'	L150	S 38°01'28" E	166.94'
L57	S 00°28'53" E	60.00'	L104	S 29°14'05" E	60.00'			
L58	S 89°06'14" W	270.13'	L105	S 37°49'26" E	69.99'			

LEGEND

- Block Number
- Drainage Easement
- Floodway Areas in Zone AE
- Flood Zone AE
- Flood Zone A
- Min. FF. Minimum Finished Floor Elevation
- PUE & NTE Public Utility Easement & Nature Trail Easement
- WCOR Walker County Official Public Records
- WCORP Walker County Official Public Records
- WCORP Walker County Plat Records
- VWDE Variable Width Private Drainage Easement
- Set 5/8" Iron Rod w/cap marked "MICHAEL A.
- NAMKEN RPLS 6533", UNLESS otherwise noted

SHT No.	CONTENTS
1	Vicinity Map, Notes and Sheet Number Layout
2	Certifications and Dedications
3	Blocks 34 and 35
4	Blocks 34 and 35
5	Blocks 34 and 35, Curve and Line Tables
6	Detail View Blocks 34 and 35
7	Detail View Blocks 34 and 35

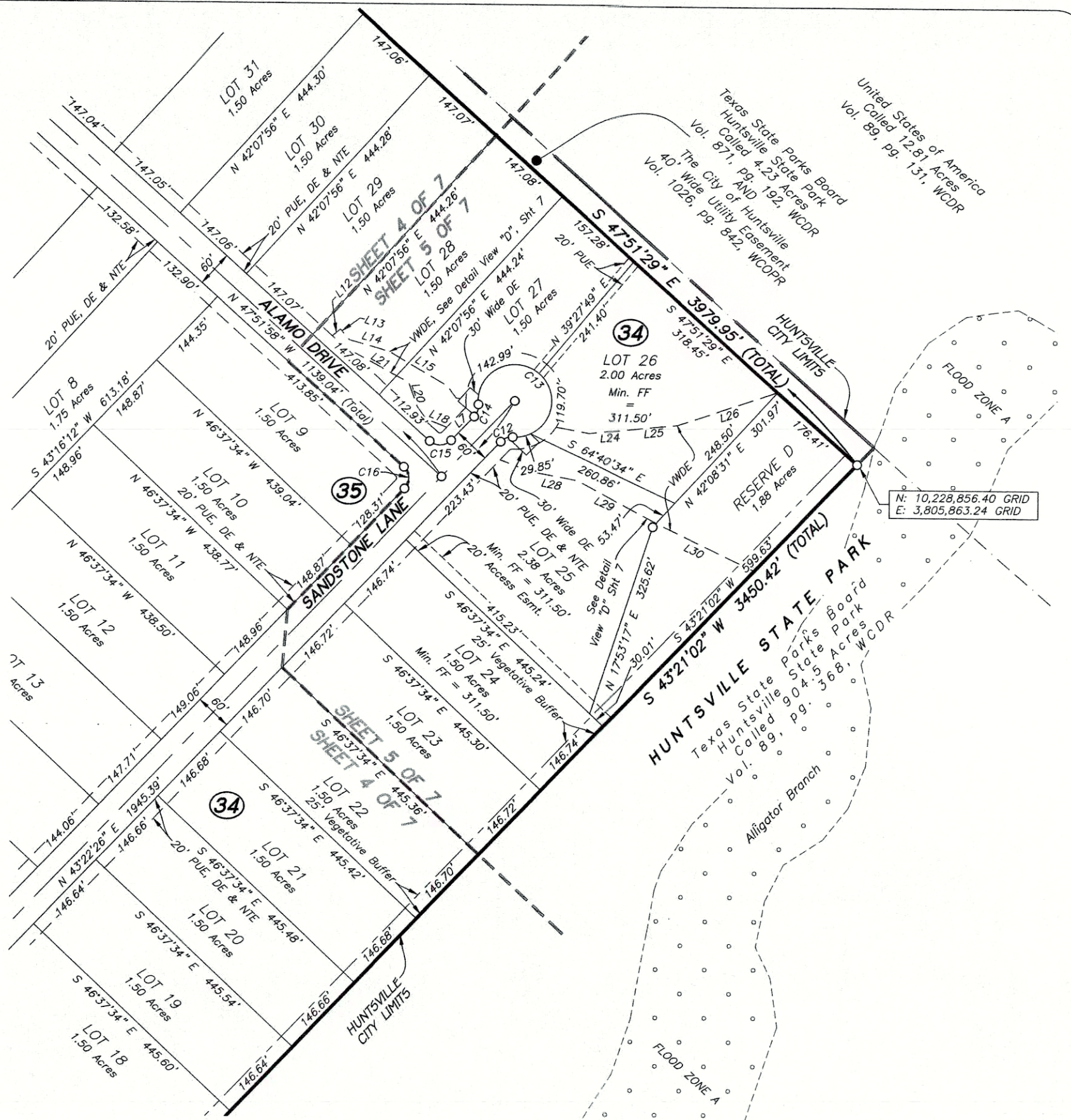
FOR TAX PURPOSES
THIS PLAT COMPLIES
WITH SECTION 12.002
OF THE PROPERTY
CODE

JANUARY 2021

NAMKEN, INC.
O. Box 1158, New Waverly, TX 77358
TBPELS Firm No. 10194090
936-661-3325

Job No. 19-061

SHEET 5 OF 7



PLAT OF TEXAS GRAND RANCH SECTION 15

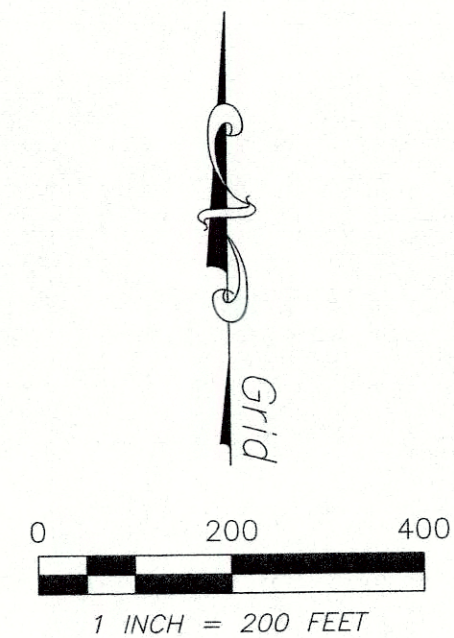
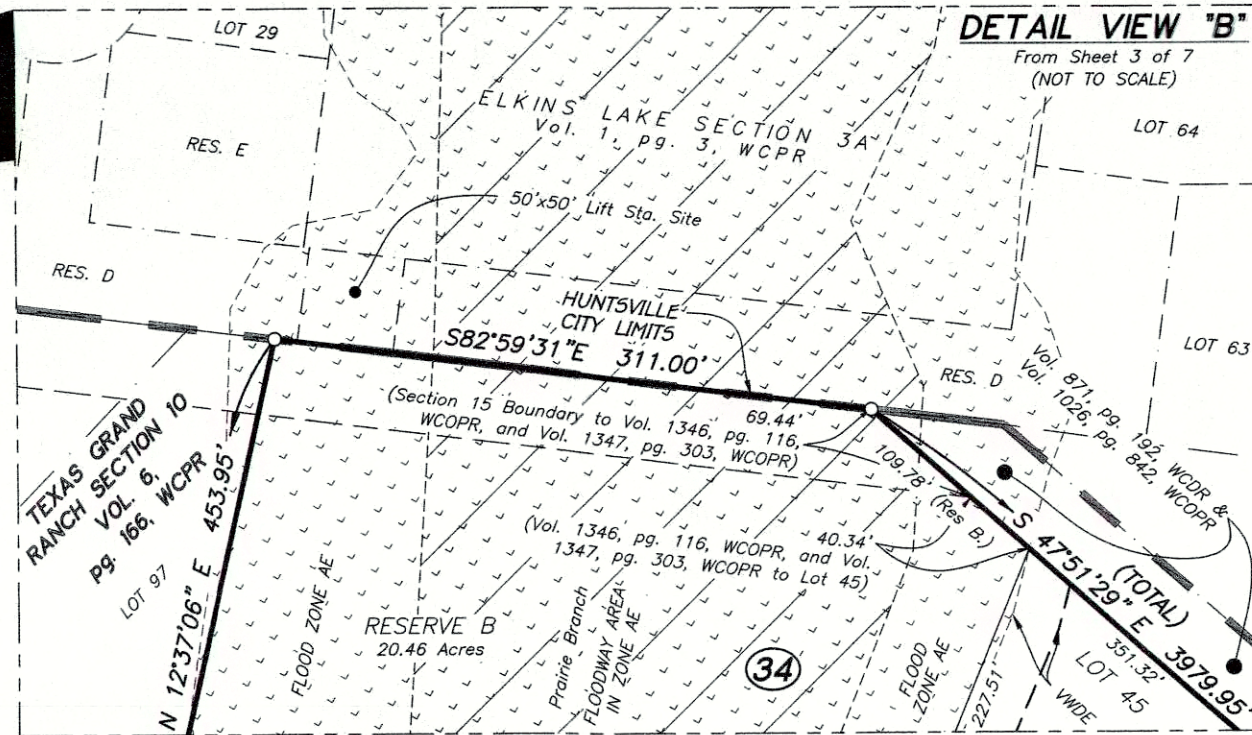
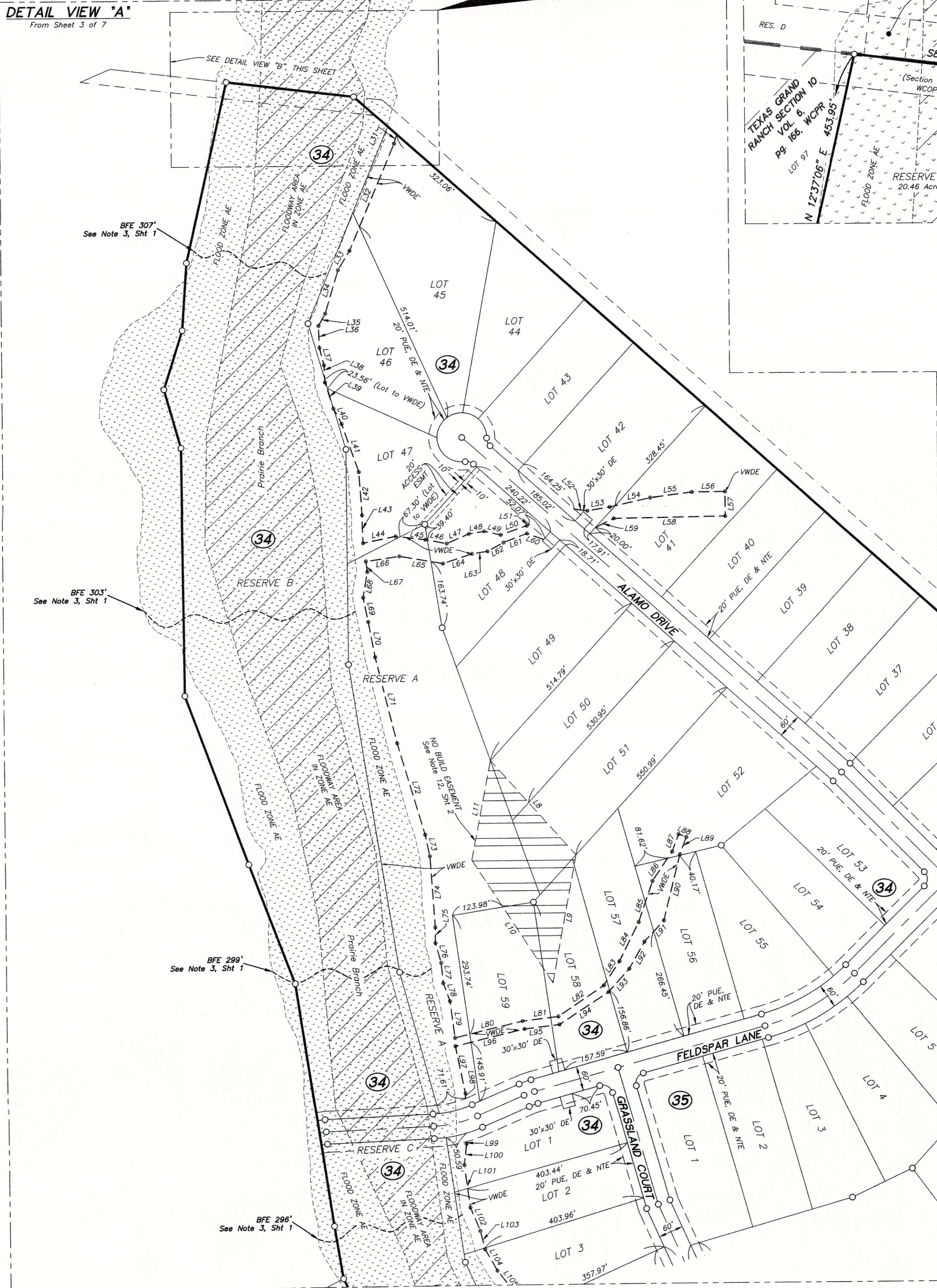
CONTAINING 2 BLOCKS, 4 RESERVES AND 79 LOTS

A SUBDIVISION CONTAINING 194.36 ACRES OF LAND,
BEING OUT OF THE RESIDUE OF A CALLED 3314.028 ACRE TRACT
DESCRIBED IN A DEED TO I TEXAS GRAND RANCH, LLC
RECORDED IN VOL. 1271, PG. 484, AND OUT OF THE RESIDUE OF
THE CALLED 0.60 ACRE TRACT DESCRIBED IN VOL. 1346, PG. 116,
OFFICIAL PUBLIC RECORDS, WALKER COUNTY, TEXAS

J. B. WILSON SURVEY, A-607
W. D. GLASSCOCK SURVEY, A-222
WALKER COUNTY, TEXAS

DETAIL VIEW "A" From Sheet 3 of 7

DETAIL VIEW "B" From Sheet 3 of 7 (NOT TO SCALE)



PLAT OF TEXAS GRAND RANCH SECTION 15

CONTAINING 2 BLOCKS, 4 RESERVES AND 79 LOTS

A SUBDIVISION CONTAINING 194.36 ACRES OF LAND, BEING OUT OF THE RESIDUE OF A CALLED 3314.028 ACRE TRACT DESCRIBED IN A DEED TO TEXAS GRAND RANCH, LLC RECORDED IN VOL. 1271, PG. 484, AND OUT OF THE RESIDUE OF THE CALLED 0.60 ACRE TRACT DESCRIBED IN VOL. 1346, PG. 116, OFFICIAL PUBLIC RECORDS, WALKER COUNTY, TEXAS

**J. B. WILSON SURVEY, A-607
W. D. GLASSCOCK SURVEY, A-222
WALKER COUNTY, TEXAS**

JANUARY 2021

NAMKEN, INC.
P.O. Box 1158, New Waverly, TX 77358
TBPELS Firm No. 10194090
936-661-3325

LEGEND

- (35)** Block Number
- DE** Drainage Easement
- Floodway Areas in Zone AE
- Flood Zone AE
- Flood Zone A
- Min. FF.** Minimum Finished Floor Elevation
- PUE & NTE** Public Utility Easement & Nature Trail Easement
- WCDCR** Walker County Deed Records
- WCOPR** Walker County Official Public Records
- WCPR** Walker County Plat Records
- VWDE** Variable Width Private Drainage Easement
- Set 5/8" Iron Rod w/cap marked "MICHAEL A."**
- NAMKEN RPLS 6533", UNLESS otherwise noted**

INDIVIDUAL SHEETS INDEX	
SHT No.	CONTENTS
1	Vicinity Map, Notes and Sheet Number Layout
2	Certifications and Dedications
3	Blocks 34 and 35
4	Blocks 34 and 35
5	Blocks 34 and 35, Curve and Line Tables
6	Detail View Blocks 34 and 35
7	Detail View Blocks 34 and 35

**FOR TAX PURPOSES
THIS PLAT COMPLIES
WITH SECTION 12.002
OF THE PROPERTY
CODE**

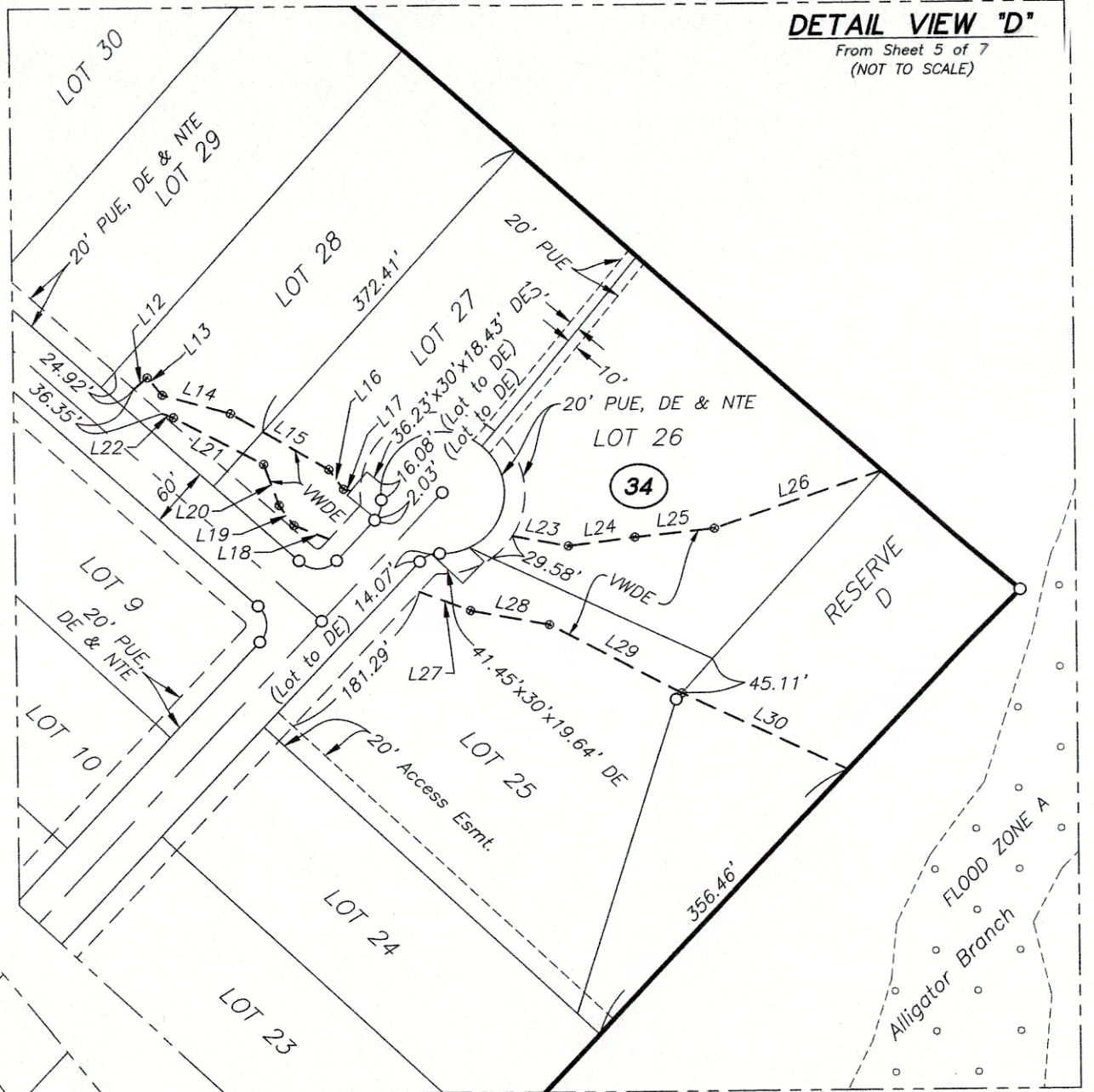
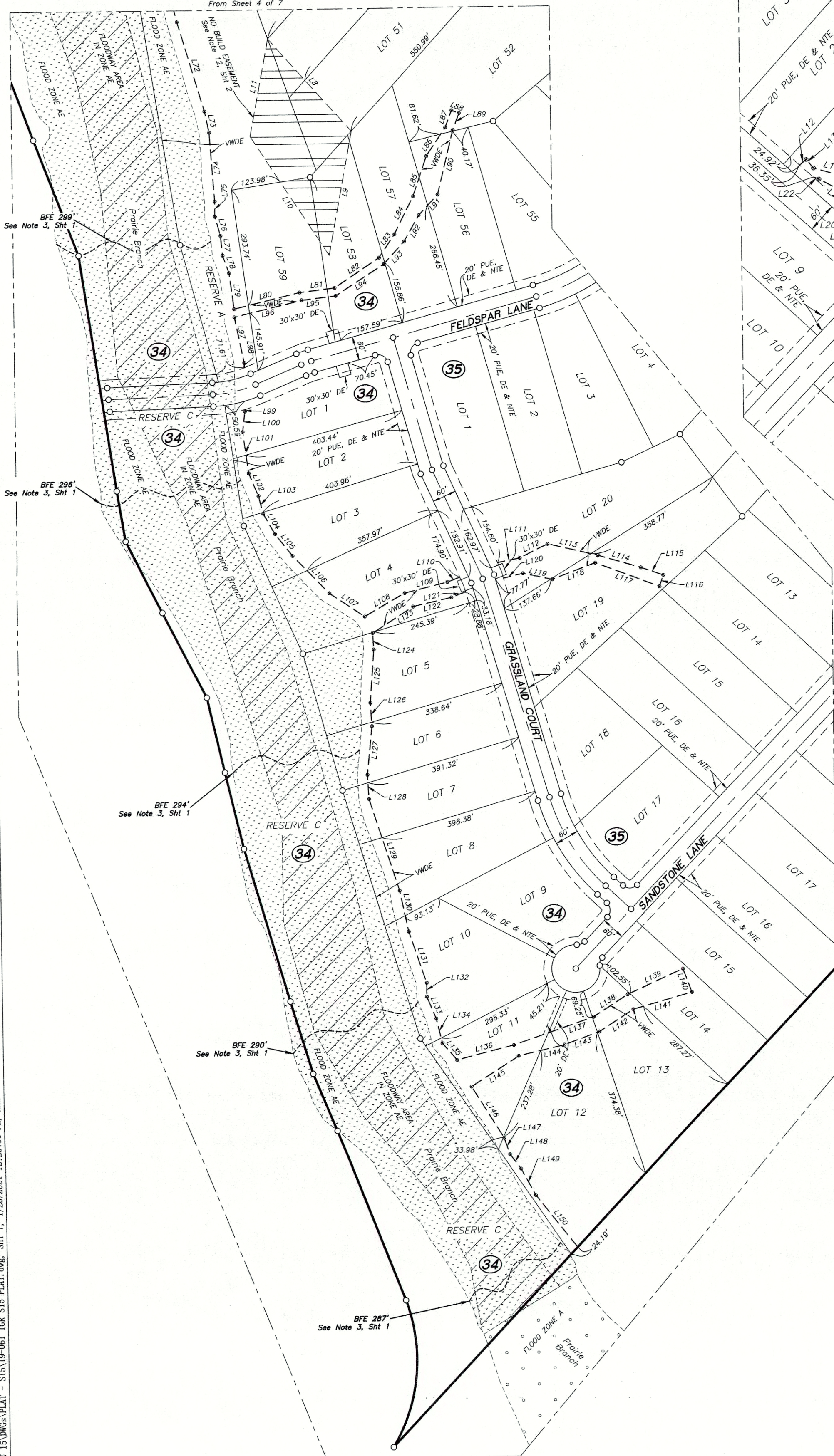
Job No. 19-061

DETAIL VIEW 'C'

From Sheet 4 of 7

DETAIL VIEW 'D'

From Sheet 5 of 7
(NOT TO SCALE)



LEGEND

- Block Number
- Drainage Easement
- Floodway Areas in Zone AE
- Flood Zone AE
- Flood Zone A
- Min. FF.
- PUE & NTE
- WCOPR
- WCOPR
- WCOPR
- Variable Width Private Drainage Easement
- Set 5/8" Iron Rod w/cap marked "MICHAEL A.
- NAMKEN RPLS 6533", UNLESS otherwise noted

INDIVIDUAL SHEETS INDEX

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FOR TAX PURPOSES
THIS PLAT COMPLIES
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JANUARY 2021

NAMKEN, INC.
P.O. Box 1158, New Waverly, TX 77358
TBPELS Firm No. 10194090
936-661-3325

Job No. 19-061

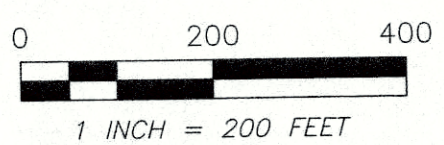
SHEET 7 OF 7

PLAT OF TEXAS GRAND RANCH SECTION 15

CONTAINING 2 BLOCKS, 4 RESERVES AND 79 LOTS

A SUBDIVISION CONTAINING 194.36 ACRES OF LAND,
BEING OUT OF THE RESIDUE OF A CALLED 3314.028 ACRE TRACT
DESCRIBED IN A DEED TO 1 TEXAS GRAND RANCH, LLC
RECORDED IN VOL. 1271, PG. 484, AND OUT OF THE RESIDUE OF
THE CALLED 0.60 ACRE TRACT DESCRIBED IN VOL. 1346, PG. 116,
OFFICIAL PUBLIC RECORDS, WALKER COUNTY, TEXAS

J. B. WILSON SURVEY, A-607
W. D. GLASSCOCK SURVEY, A-222
WALKER COUNTY, TEXAS



To: Walker County

From: Renee Howes – Authorized Agent Texas Grand Ranch

Date: June 23, 2022

RE: Request for Acceptance into One Year Maint, by WCO

The developer certifies the Texas Grand Ranch Sec 15 project has been completed in accordance with the approved plans and requests to be accepted into the WCO one year maintenance program. Thank you.

SPEAR POINT
ENGINEERING, LLC

April 15, 2024

Andrew Isbell
Walker County Planning and Development
1313 University Ave.
Huntsville, Texas 77340

Re: Texas Grand Ranch Sec 15 (SPE Job #1130 & 1168)
Engineer Certification Letter

Andrew,

This letter serves as certification that the roadways, drainage improvements and other improvements within Texas Grand Ranch Sec 15 have been completed and installed in accordance with the as-built construction plans and the punch list items provided by Walker County representatives.

Should you have any questions or require additional information, please contact me.

Sincerely,


Brett Wyant, PE
Spear Point Engineering, LLC



4/15/24



7984 HWY 6 Navasota, TX 77868 | www.mbcmusa.com
Office: (936) 825-1603 | info@mbcmusa.com | TBPE Firm: F-789

April 15, 2024

PROJECT:

Mr. Jerry McCrorey
Spearpoint Engineering, LLC
100ft Long x 28ft Wide Bridge
Lonestar Road
Texas Grand Ranch
Walker County, Texas

Re: Final Inspection

To Whom It May Concern:

MBC Management (MBC) performed a structural inspection, on January 19, 2024, of the newly constructed bridge. The inspection was performed to determine if the structural steel piling, beams, bracing, and concrete deck was installed per MBC Plan Set named "100" – BRIDGE ON LONESTAR ROAD, TEXAS GRAND RANCH, SECTION 9 – STA 5+27 to 6+27, WALKER COUNTY" dated June 18th, 2020. The inspector has verified that the structural members have been installed, by the bridge erector, as required by the "International Building Code", "Manual of Steel Construction" and "American Association of State Highway and Transportation Officials". The main bridge beams and secondary bracing members were installed as required by the "Manual of Steel Construction" ninth edition as published by the "American Institute of Steel Construction, Inc." (AISC).

MBC found that the welded members were installed as required by the "Manual of Steel Construction (AISC)" and the "Structural Welding Code – Steel" section D1.1 published by the "American Welding Society (AWS).

MBC found that the concrete deck was installed as required by the "International Building Code" and "American Association of State Highway and Transportation Officials" (AASHTO) specifications.

MBC found that the piling, beams, bracing, and decking met and / or exceeded the dimensions specified in the plan set. MBC has reviewed the TxDOT Bridge Inspection Report (No. 172360AA5695001) and found it to be very good. The bridge was designed to have a HS-20 load rating (25-kip max axle load). TxDOT gives the bridge a load rating of HS-33.4 (41.75-kip max axle load). There is no load limit posting requirement (limiting the load to less than the legal load limit). They do note some minor cosmetic defects (honeycombing and rust) none of which impact the load rating. I would recommend the County to accept the bridge as is.

If I can be of further assistance to you, please contact me.

Respectfully,

Paul E. Malek, PE
Structural Engineer
Paul E. Malek, PE
MBC Management



Called 607 Acres
Now or Formerly
Sam Houston State University

N 86°56'18" E - 1130.78'

Block 6

Lot 1
19.01 Ac.

Scale:
1"=100'

Pr.D.E. LINE TABLE

LINE	BEARING	DISTANCE
L41	N 60°56'17" W	39.01'
L42	S 81°52'12" W	172.14'
L43	S 69°45'26" W	176.85'
L44	N 74°45'04" W	108.44'
L45	N 47°28'01" W	138.31'
L46	N 77°32'50" W	71.05'
L47	N 89°54'02" W	48.43'
L48	S 86°38'09" W	149.55'
L49	N 65°27'09" W	104.19'
L50	N 83°40'18" W	158.40'
L51	N 47°16'52" W	158.79'
L52	S 85°35'30" E	97.94'
L53	S 66°48'06" E	216.97'
L54	N 85°20'20" E	107.85'
L55	N 89°59'44" E	281.37'
L56	S 80°31'15" E	103.73'
L57	S 67°37'10" E	156.79'
L58	S 76°34'09" E	95.50'
L59	N 67°13'18" E	167.42'
L60	N 89°05'20" E	13.99'

UNPLATTED
Walter Benjamin Bliss
161.56 Acres
V.925, P.38, WCOPR

BFE=315

Block 5

Approximate Location of
Special Flood Hazard Area
Zone AE per FEMA Maps

Approximate Location of
Floodway per
FEMA Maps

FEMA Regulated
Floodway

Pr.D.E. 1
5.92 Acres

Dahlia Road

Block 2

Lot 3
2.07 Ac.

Lot 2
2.14 Ac.

Lot 1
2.43 Ac.

Lot 5
1.25 Ac.

Lot 4
1.59 Ac.

Lot 1
3.39 Ac.

FINAL PLAT

BEING A FINAL PLAT OF TIMBERWILDE SUBDIVISION THE RESERVE, SECTION 2

LOTS 1-22, BLOCK 2, LOTS 1-10, BLOCK 3,
LOTS 1-12, BLOCK 4, LOTS 1-10, BLOCK 5, LOT 1, BLOCK 6
AND BEING A REPLAT OF LOTS 15 & 16

TIMBERWILDE SUBDIVISION, THE RESERVE SECTION 1
AS RECORDED IN VOLUME 5, PAGE 137, PLAT RECORDS

117.391 ACRES

P.D. RANDOLPH SURVEY, A-469
HUNTSVILLE, WALKER COUNTY, TEXAS
AUGUST, 2018

Developer:
Caliber Investments Corp.
P.O. Box 6153
Huntsville, TX 77342
(936) 291-7552

Engineer/Surveyor: Texas Firm Registration No. 10103300
McClure & Browne Engineering/Surveying, Inc.
1008 Woodcreek Dr., Suite 103
College Station, Texas 77845
(979) 693-3838

M&B

Pr.D.E. CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BRG.	CHORD DIST.
C28	2°38'18"	470.00'	21.64'	10.82'	S 48°25'06" W	21.64'

SHEET NO.

1

OF 5 SHEETS

SHEET 1

SHEET 2

SHEET 3

SHEET 4

SHEET INDEX

N.T.S.



Lot line to be removed
with this plat

Timberwilde Subdivision,
The Reserve Sec. 1
V.5, P.137

Replat
Timberwilde Subdivision,
The Reserve Sec. 1
V.6, P.85

FOR TAX PURPOSES
THIS PLAT COMPLIES
WITH SECTION 12.002
OF THE PROPERTY
CODE

Tract 2
17.92 Acres, Minor Plat
Division of Reserve "H" of
Timberwilde Estates Subdivision,
V.647, P.90 WCOPR

Approximate Location of
Floodway per
FEMA Maps

Approximate Location of
Special Flood Hazard Area
Zone AE per FEMA Maps

Tanglewood Drive

L1

L2

L3

L4

L5

L6

L7

L8

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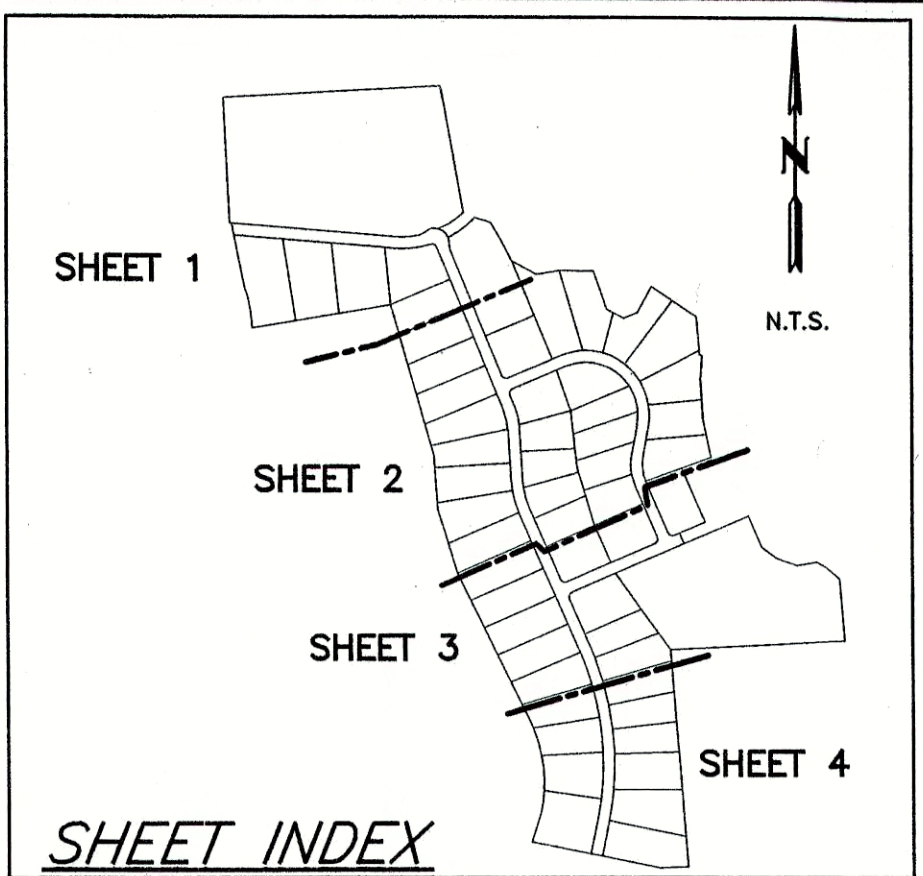
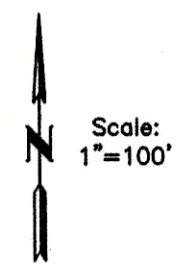
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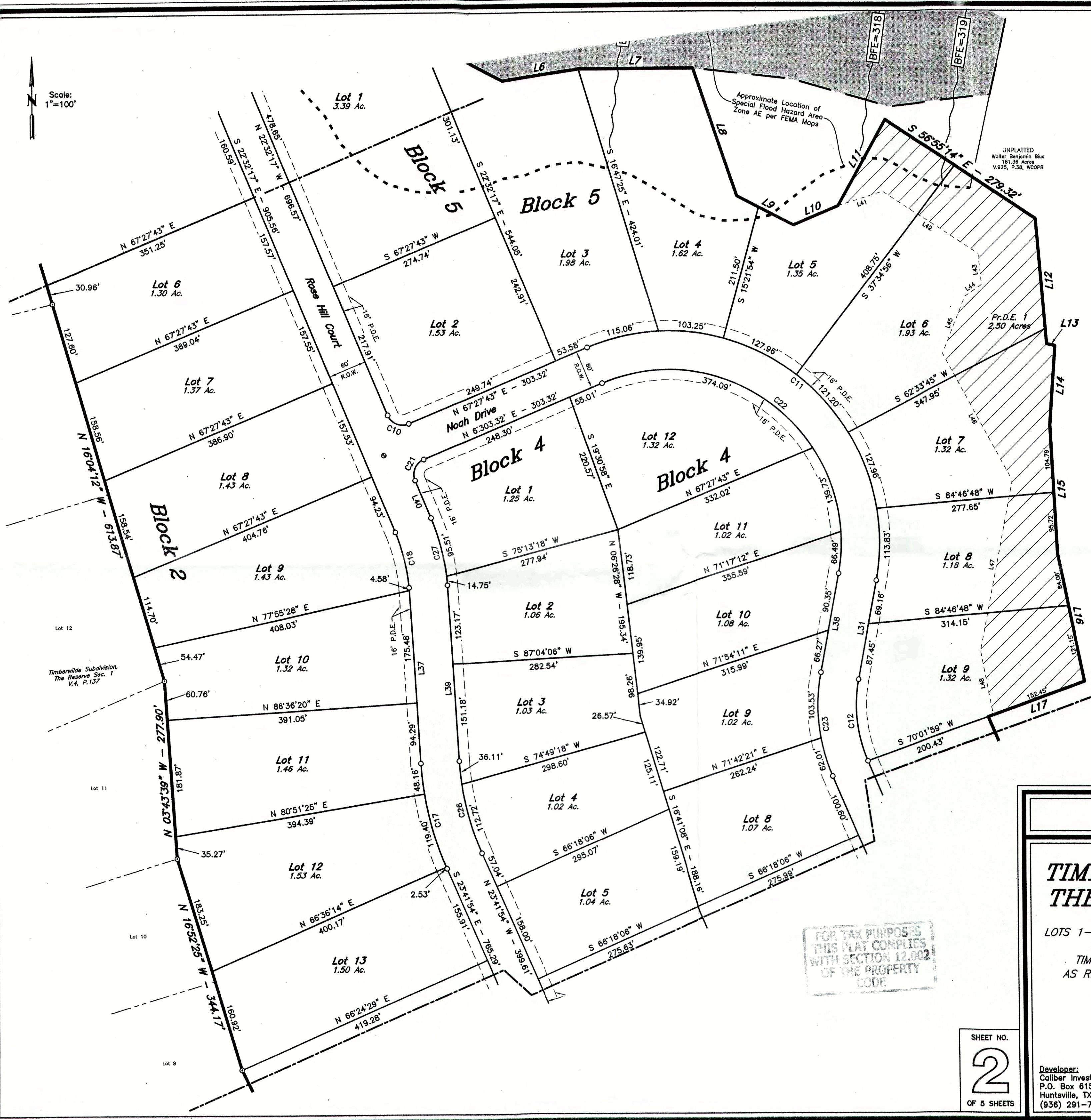
L269

L270

L271



Pr.D.E. LINE TABLE		
LINE	BEARING	DISTANCE
L41	S 72°23'02" W	73.27'
L42	N 56°54'58" W	177.34'
L43	N 6°00'01" W	48.97'
L44	N 55°03'53" E	31.82'
L45	N 21°41'20" E	95.58'
L46	N 28°34'05" W	223.92'
L47	N 10°39'24" E	272.27'
L48	N 10°47'38" W	101.68'



FOR TAX PURPOSES
THIS PLAT COMPLIES
WITH SECTION 12.002
OF THE PROPERTY
CODE

SHEET NO.
2
OF 5 SHEETS

FINAL PLAT

BEING A FINAL PLAT OF
**TIMBERWILDE SUBDIVISION
THE RESERVE, SECTION 2**

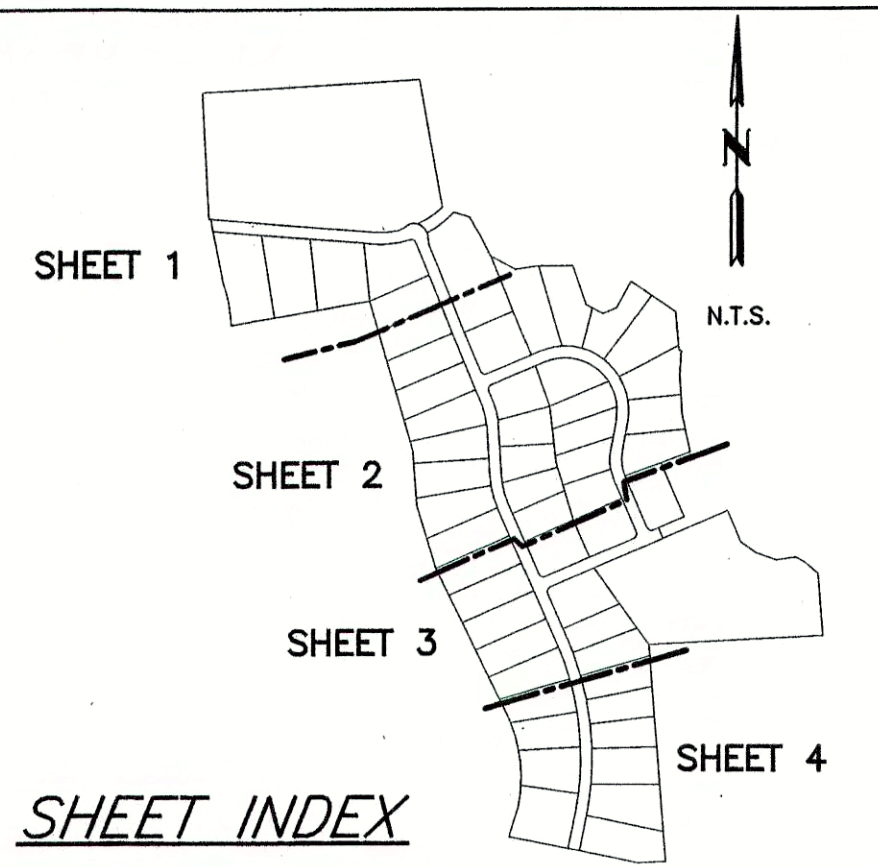
LOTS 1-22, BLOCK 2, LOTS 1-10, BLOCK 3,
LOTS 1-12, BLOCK 4, LOTS 1-10, BLOCK 5, LOT 1, BLOCK 6
AND BEING A REPLAT OF LOTS 15 & 16
TIMBERWILDE SUBDIVISION, THE RESERVE SECTION 1
AS RECORDED IN VOLUME 5, PAGE 137, PLAT RECORDS
117.391 ACRES

P.D. RANDOLPH SURVEY, A-469
HUNTSVILLE, WALKER COUNTY, TEXAS
AUGUST, 2018

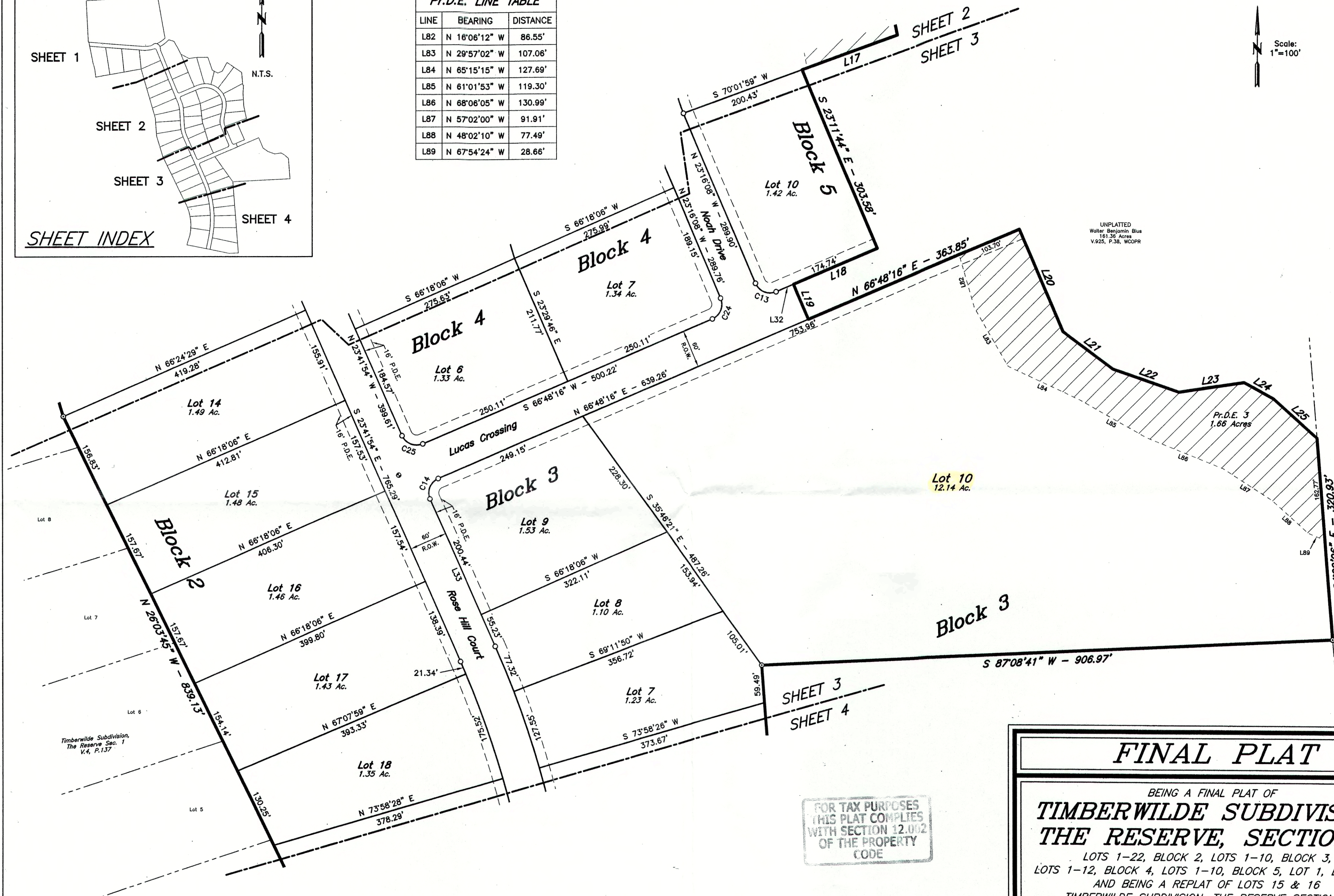
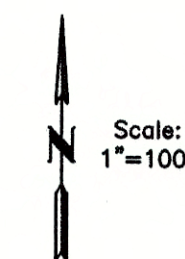
Developer:
Caliber Investments Corp.
P.O. Box 6153
Huntsville, TX 77342
(936) 291-7552

Engineer/Surveyor: Texas Firm Registration No. 10103300
McClure & Browne Engineering/Surveying, Inc.
1008 Woodcreek Dr., Suite 103
College Station, Texas 77845
(979) 693-3838





Pr.D.E. LINE TABLE		
LINE	BEARING	DISTANCE
L82	N 16°06'12" W	86.55'
L83	N 29°57'02" W	107.06'
L84	N 65°15'15" W	127.69'
L85	N 61°01'53" W	119.30'
L86	N 68°06'05" W	130.99'
L87	N 57°02'00" W	91.91'
L88	N 48°02'10" W	77.49'
L89	N 67°54'24" W	28.66'



UNPLATTED
Walter Benjamin Blue
161.36 Acres
V.925, P.38, WCOPR

FOR TAX PURPOSES
THIS PLAT COMPLIES
WITH SECTION 12.002
OF THE PROPERTY
CODE

FINAL PLAT

BEING A FINAL PLAT OF
**TIMBERWILDE SUBDIVISION
THE RESERVE, SECTION 2**

LOTS 1-22, BLOCK 2, LOTS 1-10, BLOCK 3,
LOTS 1-12, BLOCK 4, LOTS 1-10, BLOCK 5, LOT 1, BLOCK 6
AND BEING A REPLAT OF LOTS 15 & 16
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HUNTSVILLE, WALKER COUNTY, TEXAS
AUGUST, 2018

SHEET NO.
3
OF 5 SHEETS

Developer:
Caliber Investments Corp.
P.O. Box 6153
Huntsville, TX 77342
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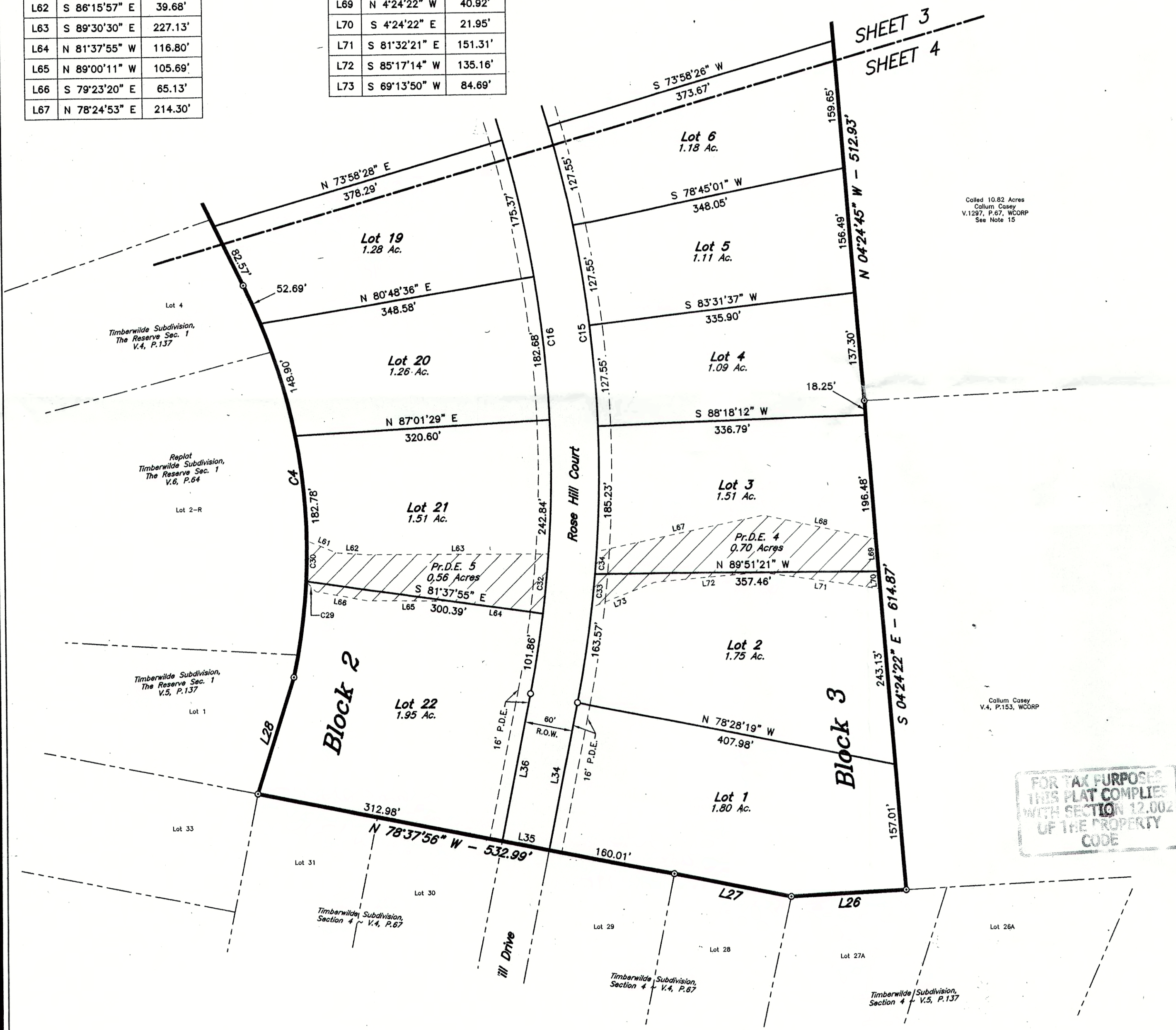
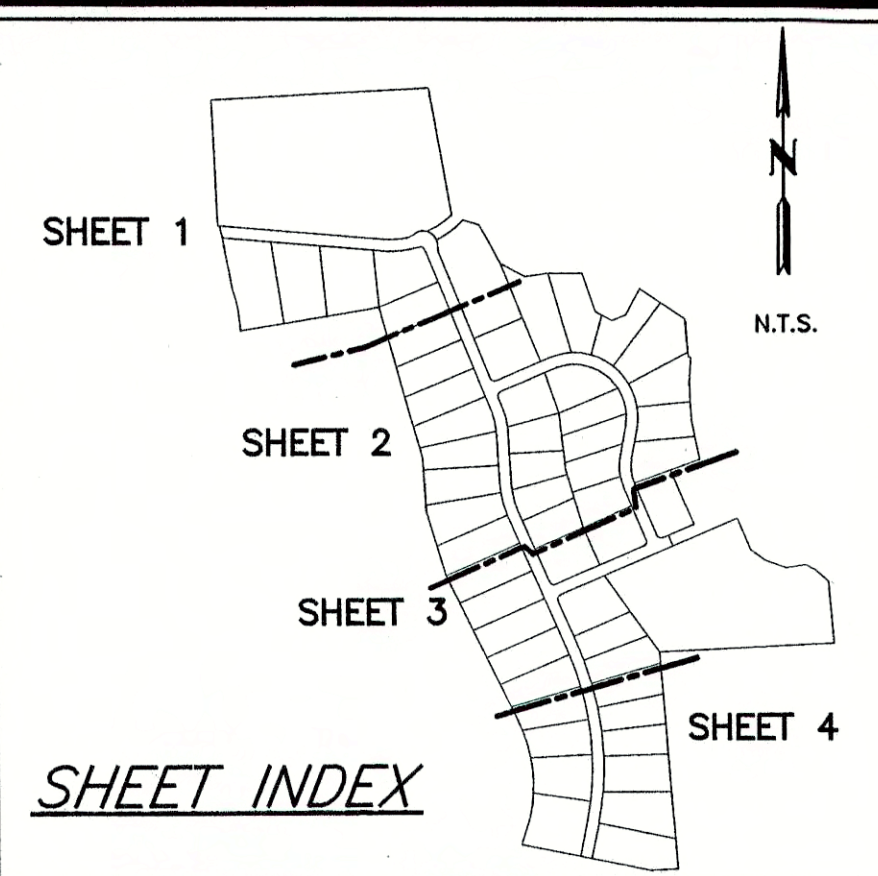
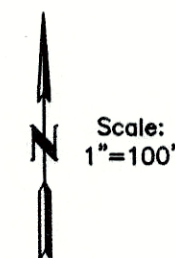
Engineer/Surveyor: Texas Firm Registration No. 10103300
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College Station, Texas 77845
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Pr.D.E. CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BRG.	CHORD DIST.
C29	2°18'12"	434.09'	17.45'	8.73'	S 42°30'30" E	17.45'
C30	3°52'36"	750.00'	50.75'	25.38'	S 1°21'45" W	50.74'
C32	2°54'54"	1470.00'	74.79'	37.40'	S 5°56'16" W	74.78'
C33	2°25'02"	993.11'	41.90'	20.95'	S 6°01'28" W	41.89'
C34	1°03'23"	1530.00'	28.21'	14.10'	S 4°42'42" W	28.21'

Pr.D.E. LINE TABLE		
LINE	BEARING	DISTANCE
L61	N 67°14'17" W	40.13'
L62	S 86°15'57" E	39.68'
L63	S 89°30'30" E	227.13'
L64	N 81°37'55" W	116.80'
L65	N 89°00'11" W	105.69'
L66	S 79°23'20" E	65.13'
L67	N 78°24'53" E	214.30'

Pr.D.E. LINE TABLE		
LINE	BEARING	DISTANCE
L68	S 77°35'38" E	145.47'
L69	N 4°24'22" W	40.92'
L70	S 4°24'22" E	21.95'
L71	S 81°32'21" E	151.31'
L72	S 85°17'14" W	135.16'
L73	S 69°13'50" W	84.69'



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 85°40'03" W	9.80'
L2	S 72°53'52" E	85.83'
L3	S 30°57'57" E	99.45'
L4	S 28°18'02" E	125.90'
L5	N 61°56'27" W	144.93'
L6	N 81°53'06" E	120.59'
L7	S 89°59'07" E	179.04'
L8	S 19°04'09" E	207.37'
L9	S 62°48'23" E	99.35'
L10	N 67°08'53" E	75.96'
L11	N 29°14'54" E	151.78'
L12	S 4°48'37" E	195.81'
L13	S 77°10'25" E	12.97'
L14	S 3°56'13" W	123.52'
L15	S 3°02'48" E	200.52'
L16	S 11°44'02" E	205.23'
L17	S 70°01'59" W	160.72'
L18	S 66°48'16" W	144.74'
L19	S 23°11'44" E	60.00'
L20	S 23°11'44" E	175.54'

LINE TABLE		
LINE	BEARING	DISTANCE
L21	S 53°37'00" E	99.43'
L22	S 71°10'11" E	110.33'
L23	N 81°32'23" E	104.33'
L24	S 61°39'55" E	53.04'
L25	S 48°21'27" E	92.42'
L26	S 87°05'04" W	145.15'
L27	N 78°27'58" W	149.98'
L28	N 17°37'03" E	153.54'
L29	N 16°12'48" W	189.64'
L30	S 4°43'40" E	44.73'
L31	N 10°36'23" E	156.61'
L32	N 66°48'16" E	30.00'
L33	N 23°41'54" W	255.67'
L34	N 11°21'55" E	187.61'
L35	S 78°37'56" E	60.00'
L36	S 11°21'55" W	187.61'
L37	S 3°23'40" E	274.35'
L38	N 10°36'23" E	156.61'
L39	N 3°23'40" W	274.35'
L40	N 22°32'17" W	63.55'

FINAL PLAT

BEING A FINAL PLAT OF
TIMBERWILDE SUBDIVISION
THE RESERVE, SECTION 2

LOTS 1-22, BLOCK 2, LOTS 1-10, BLOCK 3,
 LOTS 1-12, BLOCK 4, LOTS 1-10, BLOCK 5, LOT 1, BLOCK 6
 AND BEING A REPLAT OF LOTS 15 & 16
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117.391 ACRES
 P.D. RANDOLPH SURVEY, A-469
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Developer:
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 College Station, Texas 77845
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SHEET NO.
4
 OF 5 SHEETS

GENERAL NOTES:

- Purpose of Plat is to create 56 residential lots out of the following deeds and plats:
A. Restricted Reserve "B" of Timberwilde Subdivision, Section 4, Volume 4, Page 67, Walker County Plat Records.
B. Called 200 Acre tract, Walter Benjamin Bius, Vol. 925, Pg. 38 Walker County Official Public Records, save and except called 10.95 acre tract, Walter Benjamin Bius, Volume 925, Page 45, Walker County Official Public Records.
C. Lots 15 and 16, Timberwilde, The Reserve, Section 2, as recorded in Volume 5, Page 137, Plat Records, Walker County, Texas. The reconfigured Lots are now known as Lot 15-R and 16-R, Block 2, TIMBERWILDE SUBDIVISION, THE RESERVE, SECTION 2.
- This property is located in the City of Huntsville E.T.J.
- Coordinates and Bearings, shown hereon, are referenced to the City of Huntsville Mapping Control Network, and based on the position of Control Points 6701 and 6599 having published coordinates of N: 10252826.934 ft. and E: 3776676.783 ft. and N: 10250063.279 ft. and E: 3779174.080 ft., respectively.
- Distances, shown hereon, are geodetic horizontal and may be converted to the City of Huntsville Mapping Control Network by multiplying by a Combined Scale Factor of 0.99988.
- Unless noted otherwise, corners will be marked with 1/2" iron rod with a plastic cap stamped with "K. McClure 5650."
- A portion of this property (i.e. a portion of Lot 16) lies within Zone "AE" (i.e. Special Flood Hazard Areas Subject to Inundation by the 1% Annual Chance Flood) as depicted from Flood Insurance Rate Map 48471C0355D, effective date August 16, 2011.
- TIMBERWILDE SUBDIVISION, THE RESERVE SECTION 2 shall consist of:
117.391 Acres
Total ROW Dedication: 9.285 acres
Average Lot Size: 1.93 Acres
- Building Setbacks:
Front Lot Line: 75 feet
Side and Rear Lot Line: 20 feet
Side Street Lot Line: 25 feet
- Public Easements:
All public easements denoted on this plat are dedicated to the use of the public forever. Any Public Utility, including the City of Huntsville, shall have the right always of ingress and egress to and from and upon these easements for construction, reconstruction, inspection, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of getting the permission of the property owner. Any public utility including the City of Huntsville shall have the right to move and keep moved all or part of any building, fences, trees, shrubs, other growths or improvements that in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system or any of the easements shown on this plat. Neither the City of Huntsville nor any public utility shall be responsible for replacing or reimbursing the property owner due to removal or relocation of any obstructions in the public easements. The developer reserves the right of use to all public easement for further development and the granting of the right of use to further the intents of this plat.
- Modifications and Waivers Granted on December 7, 2017:
10.1. Waiver of Development Code Section 10.701 to allow On Site Sewage Facilities, (OSSF)
10.2. Waiver of Development Code Section 10.130 to allow overhead electric lines instead of underground electric service.
10.3. Waiver of Development Code Section 10.406.A to allow the length of the Dahlia Road cul-de-sac to exceed 1,000 feet in length.
10.4. Waiver of Development Code Section 10.501.D to allow alternate trail/sidewalk construction length to be equivalent to the centerline length of the roads.
Waiver Granted May 3, 2018:
10.5. Construction of roads to the standards promulgated by Walker County.
- Parkland Dedication (Sec. 1203.1) - The "Reserve and Private Park" area in Section 3 of Timberwilde shall serve as parkland for this section: Approved 07/11/2004
- A 16' Public Utility Easement shall be adjacent to all rights-of-ways, unless noted otherwise.
- No lot created by this plat shall be subdivided into lots of less than 1.0 acre and shall permit only one dwelling unit per lot.
- Adjacent 10.82 acre parcel to the southeast of the subject property will be replatted by adjacent property owner.
- Culvert on McGary Creek Tributary 6 will be designed to convey the 100-year flood with no rise in flood elevations.

OWNER(S) ACKNOWLEDGMENT AND DEDICATION

STATE OF TEXAS,
COUNTY OF WALKER

I, Walter Benjamin Bius, President, Caliber Investment Corporation, General Partner, owner of the land shown on this plat, and designated as **TIMBERWILDE SUBDIVISION, THE RESERVE SECTION 2**, in the ETJ of the City of Huntsville, Walker County, Texas, and whose name is subscribed hereto, do hereby dedicate to the use of the public forever all streets, parks, water courses, drains, easements and public places shown thereon for the purpose and consideration therein expressed.

Walter Benjamin Bius
Walter Benjamin Bius, President
Caliber Investment Corp.

NOTARY PUBLIC ACKNOWLEDGMENT

State of Texas,
County of Walker,

This instrument was acknowledged before me on the 22nd day of October, 2018.

By: *Amanda Grubbs*
Amanda Grubbs
Notary Public for
State of Texas

CERTIFICATION BY THE CITY PLANNING OFFICER

I, the undersigned, Planning Officer of the City of Huntsville, Texas, certify that the plat conforms to the City Comprehensive Plan, and all applicable design criteria and standards of the City of Huntsville, Texas.

Dated this 3rd day of January, 2019.

Janet Ridley
Janet Ridley
Planning Officer
City of Huntsville

CERTIFICATION BY THE CITY ENGINEER

I, the undersigned, City Engineer of Huntsville, Texas, hereby certify that proper engineering consideration has been given to this plat regarding the design and construction of public improvements and related easements and rights-of-way.

Dated this 4th day of January, 2019.

Y. S.
Y. S.
City Engineer
City of Huntsville

CERTIFICATION BY THE ENGINEER

I, Jeffery L. Robertson, licensed Professional Engineer No. 94745 in the State of Texas, hereby certify that proper engineering consideration has been given this plat regarding design, construction and layout of public improvements.

Dated this 22nd day of October, 2018.

Jeffery L. Robertson
Jeffery L. Robertson, P.E.
McClure & Browne Engineering/Surveying, Inc.
Engineer Reg. No. F-458

CERTIFICATION OF THE SURVEYOR

I, Kevin McClure, Registered Professional Land Surveyor No. 5650 in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground.

Dated this 22nd day of October, 2018.

Kevin R. McClure
Kevin R. McClure, R.P.L.S.
McClure & Browne Engineering/Surveying, Inc.

APPROVAL OF THE PLANNING COMMISSION

This plat has been submitted to and considered by the Planning and Zoning Commission of the City of Huntsville, Texas, with respect to the platting of the land and is hereby approved by the Commission.

Dated this 30th day of October, 2018.

Debbie Webb
Chairperson of the Commission
City of Huntsville

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BRG.	CHORD DIST.
C1	18°48'09"	470.00'	154.24'	77.82'	N 56°30'01" E	153.55'
C2	51°34'44"	75.00'	67.52'	36.24'	S 48°46'39" E	65.26'
C3	18°36'33"	530.00'	172.14'	86.83'	N 53°39'00" E	171.38'
C4	38°38'14"	750.00'	505.76'	262.92'	N 64°44'38" W	496.23'
C5	15°45'31"	630.00'	173.27'	87.19'	S 12°36'19" E	172.73'
C6	16°20'35"	470.00'	134.06'	67.49'	S 86°27'20" W	133.61'
C7	32°10'29"	50.00'	28.08'	14.42'	N 62°11'48" E	27.71'
C8	139°42'36"	75.00'	182.88'	204.45'	N 64°02'08" W	140.82'
C9	28°21'27"	50.00'	24.75'	12.63'	N 8°21'33" W	24.49'
C10	90°00'00"	25.00'	39.27'	25.00'	S 67°32'17" E	35.36'
C11	123°08'40"	330.00'	709.26'	609.62'	N 50°57'57" W	580.42'
C12	33°44'18"	220.87'	130.06'	66.98'	N 6°19'53" W	128.19'
C13	89°55'36"	25.00'	39.24'	24.97'	S 68°13'56" E	35.33'
C14	90°00'00"	25.11'	39.44'	25.11'	N 21°33'11" E	35.51'
C15	35°03'50"	1530.00'	936.33'	483.34'	N 6°09'59" W	921.78'
C16	35°03'50"	1470.00'	899.61'	464.39'	S 6°09'59" E	885.64'
C17	20°18'14"	480.00'	170.10'	85.95'	S 13°32'47" E	169.21'
C18	17°18'30"	301.52'	91.08'	45.89'	S 13°04'01" E	90.74'
C19	83°57'55"	25.00'	36.64'	22.50'	N 84°31'15" E	33.45'
C20	21°07'50"	530.00'	195.46'	98.85'	N 84°03'43" E	194.36'
C21	90°00'00"	25.00'	39.27'	25.00'	N 22°27'43" E	35.36'
C22	123°08'40"	270.00'	580.30'	498.78'	N 50°57'57" W	474.89'
C23	33°52'32"	280.00'	165.55'	85.27'	N 6°19'53" W	163.15'
C24	90°04'24"	25.00'	39.30'	25.03'	N 21°46'04" E	35.38'
C25	89°29'50"	25.00'	39.05'	24.78'	N 68°26'49" W	35.20'
C26	20°18'14"	420.00'	148.83'	75.21'	N 13°32'47" W	148.06'
C27	19°08'37"	330.00'	110.26'	55.65'	N 12°57'59" W	109.75'

CERTIFICATION BY THE COUNTY CLERK

STATE OF TEXAS,
COUNTY OF WALKER

I, Kari A. French, County Clerk in and for Walker County, do hereby certify that this plat with its certificates of authentication was filed for record in my office the 7th day of January, 2019, in the Plat Records of Walker County in Volume 6 Page 151.

Kari A. French
Kari A. French, County Clerk
Walker County, TX

LEGEND

- ⊙ - 1/2" Iron Rod Found
- - 1/2" Iron Rod Set at Point of Curvature
- ⊙ - PK Nail set for Control (E-E of ROW)

ABBREVIATIONS

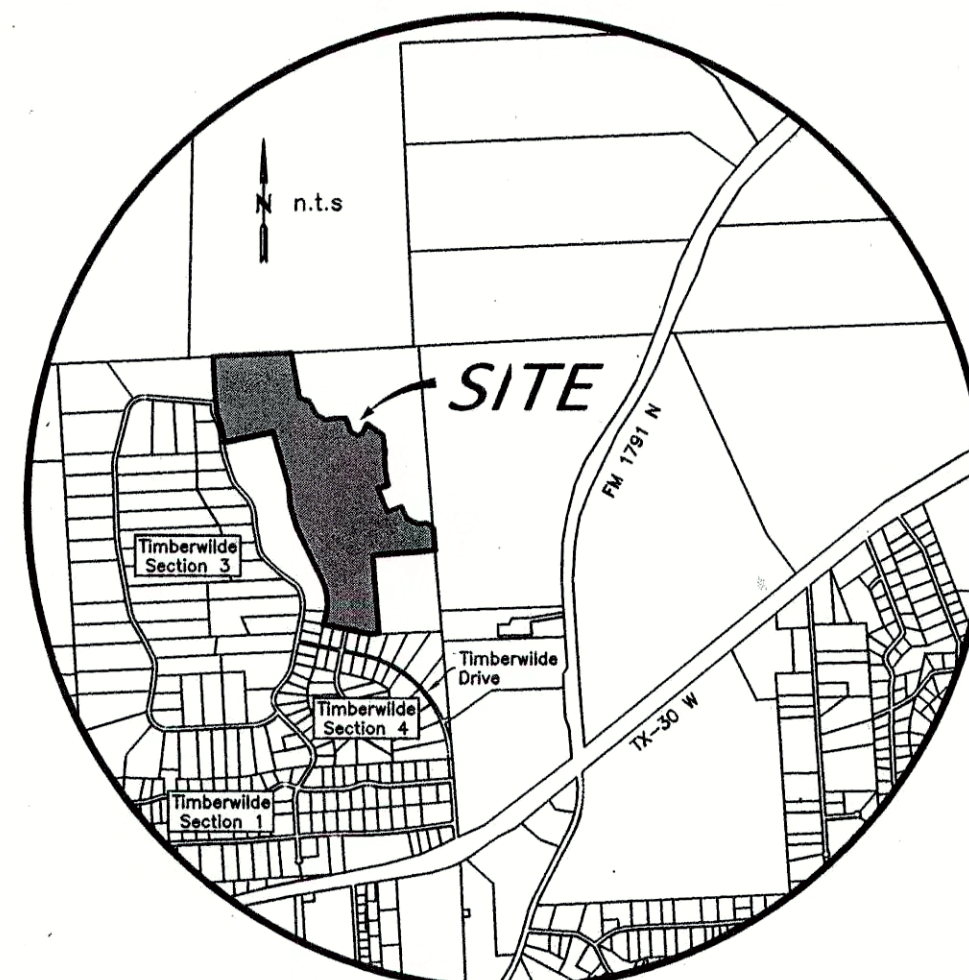
- D.R. Walker County Deed Records
- E.E. Electrical Easement
- WCOPR Walker County Official Public Records
- BFE Base Floor Elevation
- P.D.E. Public Drainage Easement
- Pr.D.E. Private Drainage Easement
- P.U.E. Public Utility Easement
- R.O.W. Right-of-Way

FOR TAX PURPOSES
THIS PLAT COMPLIES
WITH SECTION 12.002
OF THE PROPERTY
CODE

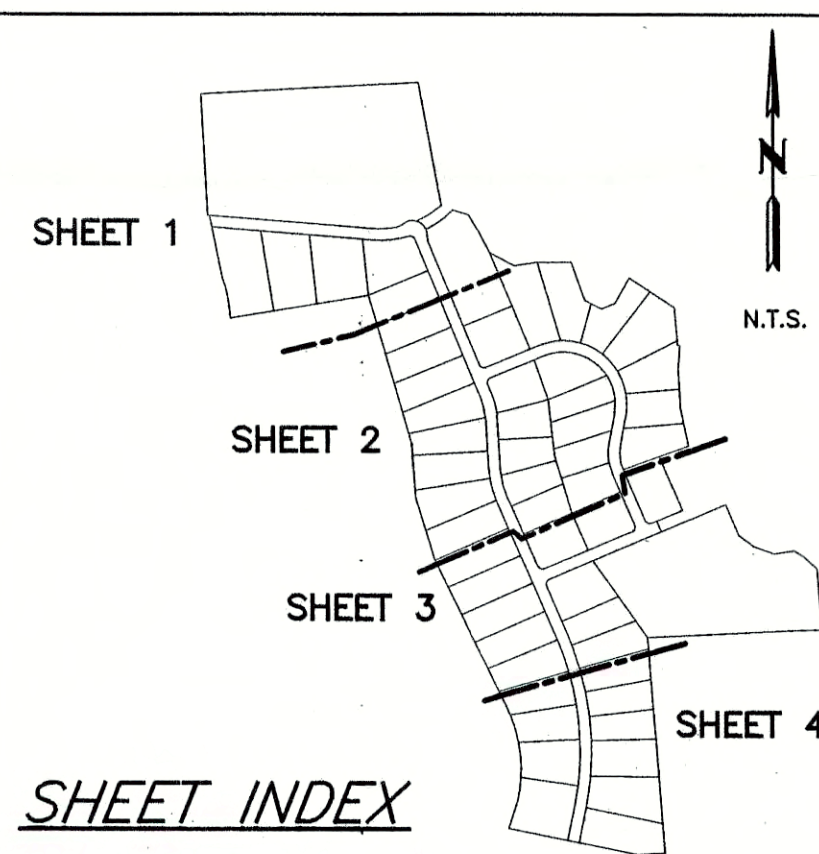
SHEET NO.

5

OF 5 SHEETS



VICINITY MAP



SHEET INDEX

FINAL PLAT

BEING A FINAL PLAT OF TIMBERWILDE SUBDIVISION THE RESERVE, SECTION 2

LOTS 1-22, BLOCK 2, LOTS 1-10, BLOCK 3,
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VARIANCE REQUEST TO THE SUBDIVISION REGULATIONS OF WALKER COUNTY, TEXAS

Copy all pages of this form and all attachments for (1) community official, (2) building owner.
If any section is not applicable to the proposed development project please mark that section "NA"

SECTION A – PROPERTY INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Name Forestar (USA) Real Estate Group, Inc.		Application Number: P. 2022-037
A2. Property Owner's Street Address [REDACTED]		Date of Submittal: 9/06/2024
City [REDACTED]	State [REDACTED]	ZIP Code [REDACTED]
A3. Property Owner's Email Address [REDACTED]	A4. Property Owner's Telephone Number [REDACTED]	
A5. Property Description of Parent Tract (Lot and Block Numbers, Legal Description, etc.) Being 216.78 acres of land, situated in the JOSE MARIA DE LA GARZA GRANT, Abstract No. 22, Walker County, Texas and being all of the portion of land in Walker County of a called 238.118 acre tract of of land described in a deed dated April 28, 2020 from Godwin LLC and Joseph E. Adams, III to Joseph E. Adams, III and Heather Adams recorded under Instrument No. 56813, Official Records, Walker County, Texas (WCOR) and under Document No. 20204698, Official Public Records, San Jacinto County, Texas (SJCOPR).		
SECTION B – INFORMATION FOR PROPOSED SUBDIVISION TRACT		
(For projects involving multiple map panels an additional sheet may be listed below or included in an additional attachment)		
B1. Survey and Abstract JOSE MARIA DE LA GARZA GRANT, Abstract No. 22, Walker County, Texasd	B2. Tax ID Number(s) of Parent Tract Property ID: 12323 Owner ID: 837588	B3. Deed Volume/Page 20204698
B4. Existing or Proposed Name of Subdivision Peach Creek Forest	B5. Is the application for a division of a lot in an Existing Platted Subdivision? (Yes/No) No	
THE ABOVE NAMED APPLICANT DOES HEREBY MAKE AN APPEAL TO THE COMMISSIONER'S COURT OF WALKER COUNTY FOR A VARIANCE TO THE REGULATORY REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF WALKER COUNTY, TEXAS.		
SECTION C – LIST OF ATTACHMENTS		
Please list any supporting documents or submittals included with the variance request as attachments.		
Description of Attachment(s)		Exhibit #
c.1 Exhibit 1 - Variance Request Response for D.1 & E.2		1
c.2 Exhibit 2 - Peach Creek Forest Cut and Fill Exhibit		2
c.3 Exhibit 3 - Peach Creek Forest Phasing Plan		3
c.4 Exhibit 4 - Peach Creek Forest Preliminary Drainage Plan		4

SECTION D –VARIANCE REQUEST

(All Variance requests need to include the specific variance along with the Section(s) of the Regulation to which they apply)

D.1 A Variance is requested to Section(s) B12 - Drainage of the Subdivision Regulations of Walker County, Texas as follows:

See Exhibit 1 for response.

SECTION E – APPLICANT’S JUSTIFICATION AND PRESENTATION FACTORS EFFECTING VARIANCE

(All variance requests to the Walker County Subdivision Regulations need to be included along with the Section(s) of the Regulation to which they apply)

E.1 Is the variance related to the design or construction of improvements to be constructed within the subdivision?

Yes ☒ No ☐

If “Yes” the request should be accompanied by an engineer’s opinion and justification for the variance.

E.2 Please explain the cause or reason the variance is being requested (attach additional pages as “Exhibit E.2”):

See Exhibit 1 for response.

E.3 Will the failure to grant the variance requested result in any exceptional hardship to the applicant?

Yes ☒ No ☐

If yes please explain below:

See Exhibit 1 for response.

E.4 Does the applicant propose any additional conditions, mitigation, or additional requirements not addressed within the Walker County Subdivision Regulations that will or have been met by the applicant as a condition of the variance being granted?

Yes ☐ No ☒ Please list the additional measures below.

SECTION F –VARIANCE(S) GRANTED

F.1 A VARIANCE TO THE WALKER COUNTY SUBDIVISION REGULATIONS IS GRANTED AS FOLLOWS:

F.2 THE FOLLOWING CONDITIONS ARE ATTACHED TO THE VARIANCE:

SECTION G - NOTICE, ACKNOWLEDGEMENT, AND CERTIFICATIONS

NOTICE

ALL DEVELOPMENT MUST BE IN STRICT COMPLIANCE WITH THE CONDITIONS STATED HEREIN AND ANY OTHER CONDITIONS STATED WITHIN THE APPLICATION OR DURING THE PRESENTATION TO COMMISSIONERS COURT. ANY VARIATION MAY RESULT IN THE IMMEDIATE SUSPENSION OR CANCELLATION OF THIS VARIANCE. VIOLATION OF THE CONDITIONS OF THIS VARIANCE MAY ALSO RESULT IN THE COMMISSIONERS COURT SEEKING INJUNCTIVE RELIEF, CIVIL, OR CRIMINAL PENALTIES.

WARNING

THE APPLICANT ACKNOWLEDGES THAT HE/SHE IS RESPONSIBLE TO ENSURE THAT ANY VARIANCE DOES NOT DAMAGE OR THREATEN THE PUBLIC OR ADJACENT PROPERTIES AND COMPLIES WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

DISCLAIMER

THE COMMISSIONER'S COURT OF WALKER COUNTY AND ANY OFFICER OR EMPLOYEE OF WALKER COUNTY ARE **NOT** LIABLE FOR DAMAGES OR LOSS RESULTING FROM THE GRANTING OF THIS VARIANCE. THIS VARIANCE IS GRANTED IN RELIANCE UPON THE STATEMENTS AND EVIDENCE SUPPLIED BY THE APPLICANT AND HIS/HER AGENTS IN THE APPLICATION AND PRESENTATION TO COMMISSIONERS COURT.

I, Matt Wanzeck, do hereby acknowledge that I have reviewed the provisions, notices, warnings and disclaimers stated above and that I understand them, agree with them and intend to fully comply with them.

Signature of Owner/Applicant



Date

9/6/24

SECTION H – ACTION ON VARIANCE BY COMMISSIONER'S COURT

After careful consideration of the reason(s) for the request of variance, the Commissioner's Court of Walker County, Texas has determined that it is within the scope of the variance procedures as outlined in the Walker County Subdivision Regulations to _____ this request for variance.

Commissioner's Court Signature

Printed Name

Date

Signature of Owner/Applicant acknowledging conditions after court action.

Date



EXHIBIT 1

Master Drainage Impact Analysis & Detention Mass Grading Submittals - Variance Request Response

Response to item D.1 in the Variance Request Form:

- A Variance is requested to Section B12 of the Subdivision Regulations of Walker County, Texas as follows:
 - o (See Page 2 for continuation of requested Variance)

Variance (Master DIA and Detention & Mass Grading Approvals)

- The Owner proposes submitting **1.) a master Drainage Impact Analysis (DIA)** for the entire 216.8 acres *(to remain approved under current Walker County rules at the time of variance approval for 8 years)* and **2.) a Detention & Mass Grading Plan Set** that would cover the entire Development (besides Section 1 and Pond 1) **for review and approval with the Sec. 2 Plat Application**
 - o The reason this is needed is once any construction work begins in either Sec. 2, 3, or 4, it will trigger a Development-Wide Detention and Mass Grading project because those Sections generate more dirt excavation than they can lose
 - All dirt will have to be moved to the south side of the property, therefore all Detention Ponds will need to be constructed as well
 - o In order to design this type of Detention & Mass Grading project, we'll need an approved Master DIA since the DIA is the governing document for a Det-MG plan set
 - o Since there's no other method of submitting plans except via a plat submittal in Walker County, we're requesting to submit the Master DIA and Det-MG Plans with the Sec. 2 plat application without any of the Sec. 2 WSD&P plans for the 1st submittal so that we can obtain these approvals
 - We'll submit the true Sec. 2 WSD&P plans and all other required documents at a later time with it's ready to be designed
 - o Since a **schedule of fees** doesn't exist with this type of submittal, we would provide an additional fee separate from the plat application fee. The fee would include both the Master DIA and Detention & Mass Grading plan review for the remainder of the tract.
 - Example
 - **(\$125/ Per Acre (not including Section 1 or Pond 1)) * .90**
 - After section 1 plat application, Peach Creek Forest will have an estimated remainder of 160.8 acres so the resulting fee would be estimated to be $(\$125 * 160.8 \text{ ac}) * .90 = \$18,090.00$
 - o Finally, it should be noted that the Master Drainage Impact Analysis, Detention & Mass Grading and Letters of Concurrence would also be consistently held to the Floodplain Regulations



Master Drainage Impact Analysis Notes

Key components of the Proposed Master DIA include:

1. Overall drainage plan for the Development that would be the basis for all subsequent reviews of Detention & Mass Grading
 - a. Letters of Concurrence would be provided for each subsequent Plat Submittal showing that the proposed project conforms to the approved Master DIA
2. All major drainage features will be documented in the DIA
 - a. Detailed Detention Pond Cross Sections, Volume Requirements, Outlet Structures, Emergency Overflow Weir, Drainage Areas, NWSE's and 100-Yr WSE's, and Restrictor Structures (if any)
 - b. Bridges/Culverts
 - c. Offsite Flows and how they are handled
3. Phasing plans for detention ponds coordinated with Development phases
4. Sizing specifications for permanent storm sewer outfalls and extreme event swales
5. Hydraulic calculations for outlet structures
6. Analysis of existing and proposed hydrology
7. Hydraulic culvert crossings

Key components of the Letters of Concurrence include:

- It should be noted that there are five (5) proposed sections outside of Section 1 so potentially up to five (5) Letters of Concurrence
- Any major variations from the Master Drainage Plan would either require a detailed Letter of Concurrence or may require an amendment or full resubmittal of the Master DIA
- For each plat application submission, a drainage letter of concurrence will reference the master drainage impact analysis, including hydrological and hydraulic calculations, as well as drainage area specifics.
 - o These letters will also verify the assumptions outlined in the master drainage impact analysis report.
- Depending on the time frame between the construction of each section, the volume of the detention pond should be surveyed/verified that it is still consistent with the Detention and Mass Grading Plans and the erosion has not reduced the volume of the detention.
- If any temporary erosion control or outfall restrictions were in place based on the Detention and Mass Grading, they should be identified to be removed/modified as the section are built.

Additional DIA Notes

- o
- The Master Drainage Impact Analysis must be reviewed and approved by Walker County in accordance with Floodplain Regulations and subdivision guidelines from B12 - Drainage, specifically focusing on:
 - o Drainage Area Maps (B12.5)
 - o Detention Facilities (B12.8)
 - B12.8.d of the Subdivision Regulations which requires that the ponds are designed considering ultimate developed conditions.
 - o Roadway Culverts (B12.9)
 - o Storm Sewer related items for Outfalls (B12.11)
 - o Remaining items within Section B12 - Drainage will be addressed through letters of concurrence and/or construction plans, ensuring comprehensive data coverage.
- Conservative assumptions for the developed condition should be made in the Master Drainage Impact Analysis for land use/impervious cover. Changes in the exact land use will likely occur as sections are further designed and conservative estimates will allow for those changes and still be within the requirements of the Master Drainage Impact Analysis. Each Section of the subdivision will utilize a portion of the overall impervious cover calculated at this point until the full subdivision is developed.



Detention & Mass Grading Notes, and E.2 / E.3 Responses

Key Components of the Detention & Mass Grading Plans Include:

- The detention and mass grading plans would follow the Master DIA, incorporating elements such as temporary and permanent erosion control structures, temporary conveyance structures, temporary and permanent outfall structures, permanent crossing culverts, and matching pond cross sections and storage requirements.
- The detention ponds are required to be designed and constructed for ultimate conditions as listed in the Master DIA (Section B12.8.d of the Subdivision Regulations).
- All development will be within Walker County Municipal Utility District No. 1's jurisdiction which means it's the MUD's responsibility to establish grass and maintain/fix any erosion issues
- Establishing all the detention ponds early in the Development means that we will be over-detaining until the final section comes online in the future.
- **Walker County will either need to provide approval for the Detention and Mass Grading plans as a requirement by the TCEQ so the MUD is able to file for reimbursement**
- Walker County Engineering and Inspectors will be required to review the following:
 - o Drainage Area Maps (B12.5)
 - o Detention Facilities (B12.8)
 - o Roadway Bridges and Culverts (B12.9)
 - o Storm Sewer related items for Outfalls (B12.11)

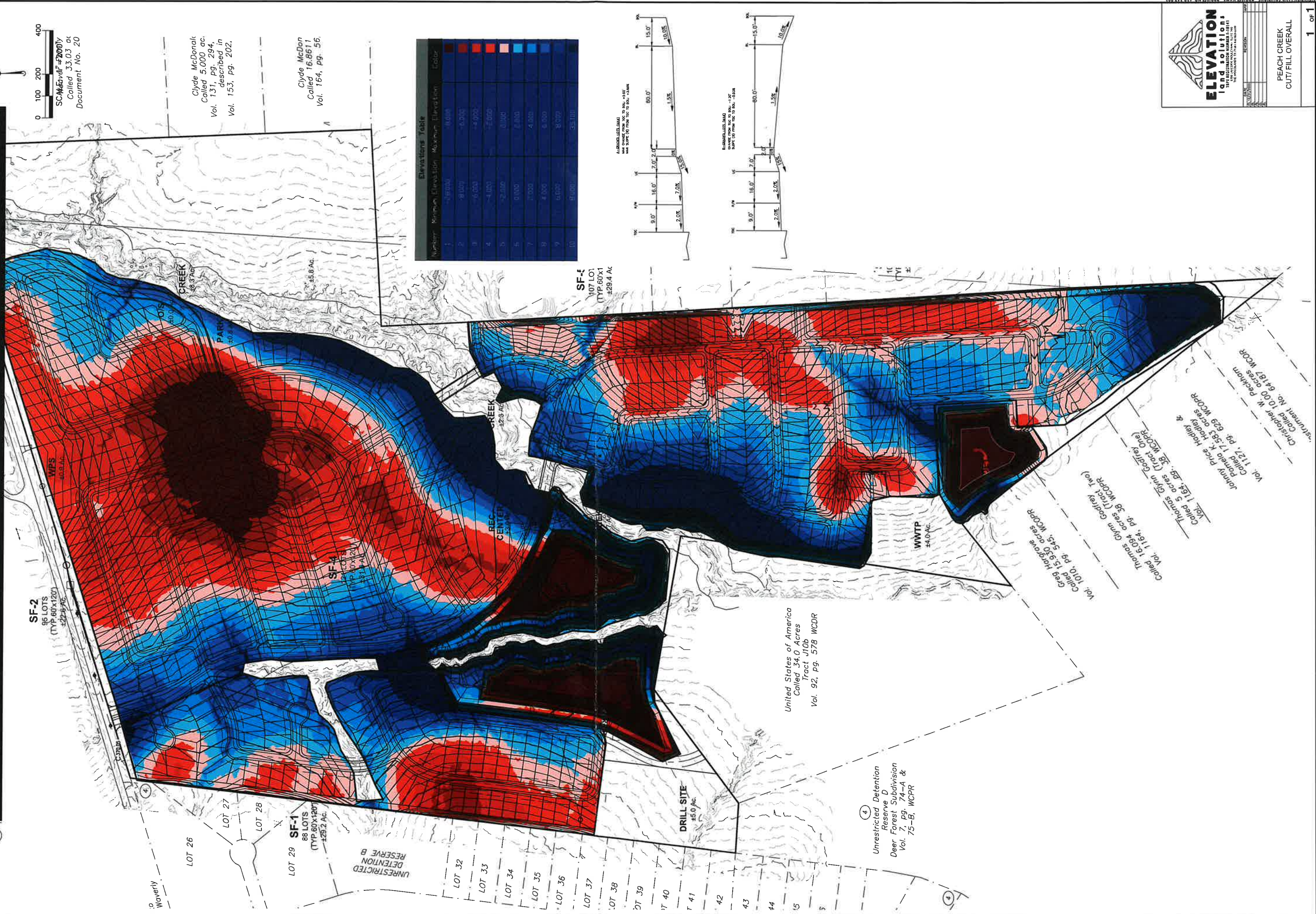
Response to item E.2 in the Variance Request Form:

- Due to the topography of the site, construction of Phase 2 would require a significant amount of excavation to be placed within Phase 3 thus triggering a Detention and Mass detention grading project for the rest of the Development.
 - o These two phases combined consist of 5 separate plats, which under Walker County's current rules, would then require the submittal of all 5 Section's Water, Sanitary, Drainage, and Paving plans as well.
 - o It also forces the Developer to bring all their costs to the front of the Development, which is infeasible.

Response to item E.3 in the Variance Request Form:

- If we're unable to obtain an approved "Master Drainage Impact Analysis" or the ability to submit and receive approved "Detention and Mass Grading" plans independent of County reviews of Sec. 2-6 WSD&P plans, then the Developer will be forced to design all Water, Sanitary, Drainage, and Pavement for all 6 Sections at the start of this Development which applies an infeasible amount of cost and schedule delay pressure to the front-end of this Development.

Exhibit 2 - Peach Creek Forest Cut & Fill



ELEVATION
land solution
TYP REGISTRATION NUMBER 1-1811
THE LANDSCAPE DESIGNER

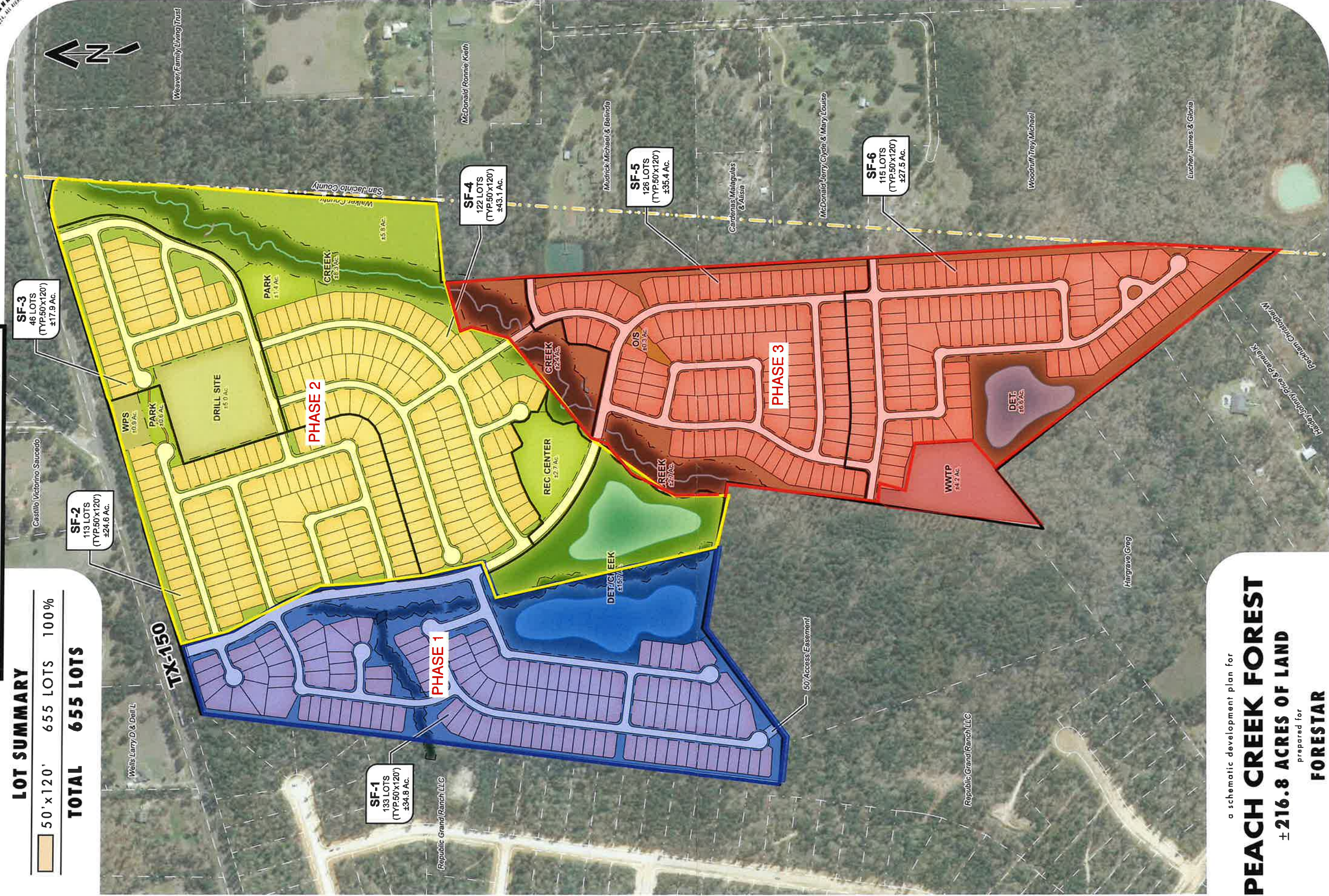
PEACH CREEK
CUT/FILL OVERALL

Exhibit 3 - Peach Creek Forest Phasing Plan

LOT SUMMARY

50' x 120' 655 LOTS 100 %

TOTAL 655 LOTS



a schematic development plan for
PEACH CREEK FOREST

±216.8 ACRES OF LAND

prepared for

FORESTAR

META
PLANNING + DESIGN

24285 Katy Freeway, Ste. 525
Katy, Texas 77494
Tel: 281-810-1422

SCALE
0 100 200 400

MTA-72007A
AUGUST 30, 2024

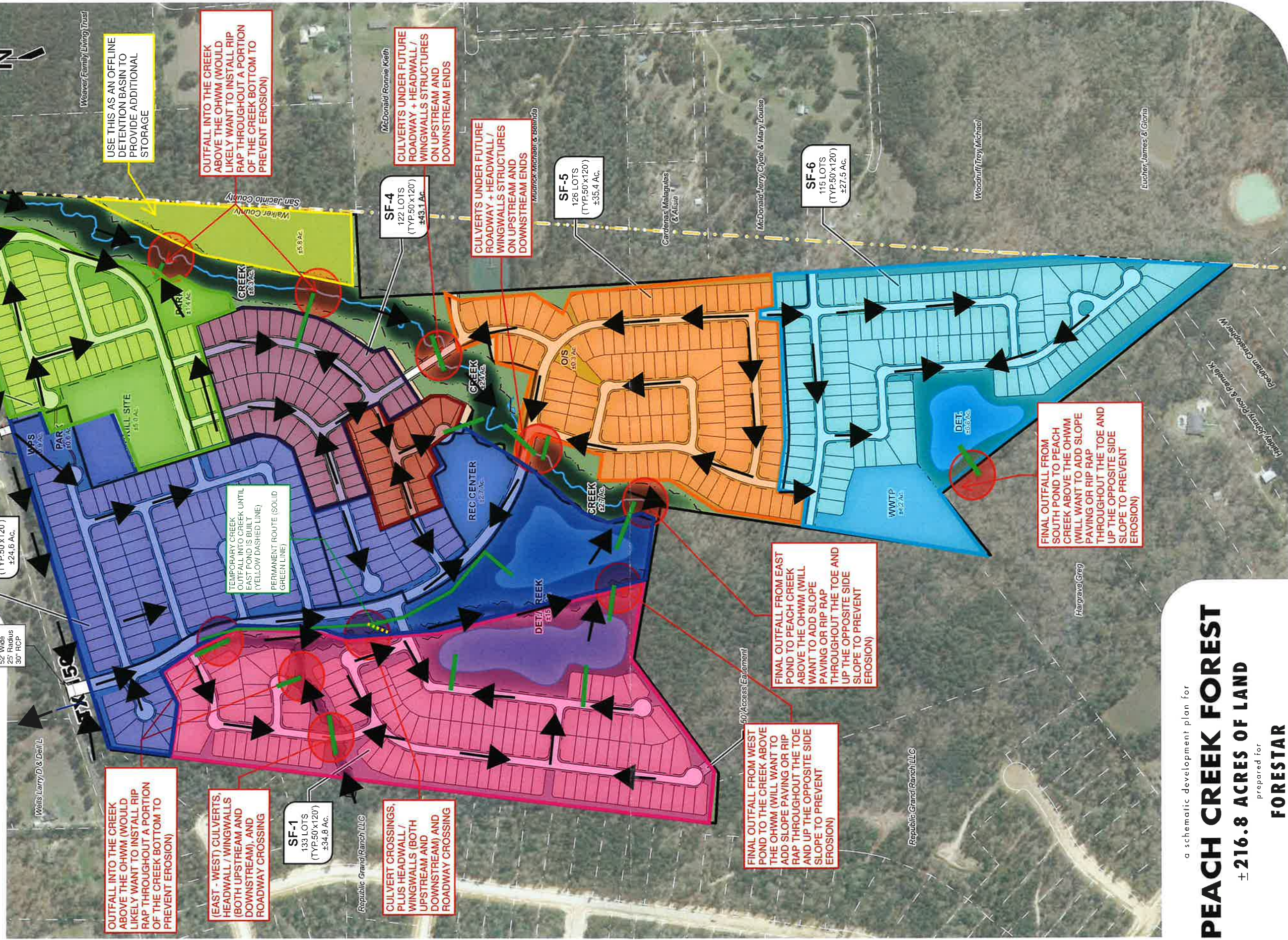
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Exhibit 4 - Peach Creek Forest Preliminary Drainage Plan

LOT SUMMARY

50' x 120'	655 LOTS	100%
TOTAL	655 LOTS	



PEACH CREEK FOREST

±216.8 ACRES OF LAND

a schematic development plan for

prepared for

FORESTAR

24285 Katy Freeway, Ste. 525
Katy, Texas 77494
Tel: 281-810-1422

META
PLANNING + DESIGN

SCALE
0 100 200 400

MTA-72007A
AUGUST 30, 2024

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VARIANCE REQUEST TO THE SUBDIVISION REGULATIONS OF WALKER COUNTY, TEXAS

Copy all pages of this form and all attachments for (1) community official, (2) building owner.
If any section is not applicable to the proposed development project please mark that section "NA"

SECTION A – PROPERTY INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Name Forestar (USA) Real Estate Group, Inc.		Application Number: P- 2022-037
A2. Property Owner's Street Address <div style="background-color: black; height: 1.2em; width: 100%;"></div>		Date of Submittal: 9/6/2024
City	State	ZIP Code
<div style="background-color: black; height: 1.2em; width: 100%;"></div>	<div style="background-color: black; height: 1.2em; width: 100%;"></div>	<div style="background-color: black; height: 1.2em; width: 100%;"></div>
A3. Property Owner's Email Address <div style="background-color: black; height: 1.2em; width: 100%;"></div>	A4. Property Owner's Telephone Number <div style="background-color: black; height: 1.2em; width: 100%;"></div>	
A5. Property Description of Parent Tract (Lot and Block Numbers, Legal Description, etc.) Being 216.78 acres of land, situated in the JOSE MARIA DE LA GARZA GRANT, Abstract No. 22, Walker County, Texas and being all of the portion of land in Walker County of a called 238.118 acre tract of of land described in a deed dated April 28, 2020 from Godwin LLC and Joseph E. Adams, III to Joseph E. Adams, III and Heather Adams recorded under Instrument No. 56813, Official Records, Walker County, Texas (WCOR) and under Document No. 20204698, Official Public Records, San Jacinto County, Texas (SJCOPR).		
SECTION B – INFORMATION FOR PROPOSED SUBDIVISION TRACT		
(For projects involving multiple map panels an additional sheet may be listed below or included in an additional attachment)		
B1. Survey and Abstract JOSE MARIA DE LA GARZA GRANT, Abstract No. 22, Walker County, Texasd	B2. Tax ID Number(s) of Parent Tract Property ID: 12323 Owner ID: 837588	B3. Deed Volume/Page 20204698
B4. Existing or Proposed Name of Subdivision Peach Creek Forest	B5. Is the application for a division of a lot in an Existing Platted Subdivision? (Yes/No) No	
THE ABOVE NAMED APPLICANT DOES HEREBY MAKE AN APPEAL TO THE COMMISSIONER'S COURT OF WALKER COUNTY FOR A VARIANCE TO THE REGULATORY REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF WALKER COUNTY, TEXAS.		
SECTION C – LIST OF ATTACHMENTS		
Please list any supporting documents or submittals included with the variance request as attachments.		
Description of Attachment(s)		Exhibit #
c.1 Exhibit 1 - Responses to Items D.1, E.2, & E3		1
c.2 Exhibit 2 - Peach Creek Forest Section 1 Access Points		2
c.3 Exhibit 3 - Option B if Proposed Variance is Denied		3
c.4		

SECTION D –VARIANCE REQUEST

(All Variance requests need to include the specific variance along with the Section(s) of the Regulation to which they apply)

D.1 A Variance is requested to Section(s) B3.4.1 of the Subdivision Regulations of Walker County, Texas as follows:

See Exhibit 1 for response.

SECTION E – APPLICANT’S JUSTIFICATION AND PRESENTATION FACTORS EFFECTING VARIANCE

(All variance requests to the Walker County Subdivision Regulations need to be included along with the Section(s) of the Regulation to which they apply)

E.1 Is the variance related to the design or construction of improvements to be constructed within the subdivision?

Yes ☒ No ☐

If “Yes” the request should be accompanied by an engineer’s opinion and justification for the variance.

E.2 Please explain the cause or reason the variance is being requested (attach additional pages as “Exhibit E.2”):

See Exhibit 1 for response.

E.3 Will the failure to grant the variance requested result in any exceptional hardship to the applicant?

Yes ☒ No ☐

If yes please explain below:

See Exhibit 1 for response.

E.4 Does the applicant propose any additional conditions, mitigation, or additional requirements not addressed within the Walker County Subdivision Regulations that will or have been met by the applicant as a condition of the variance being granted?

Yes ☐ No ☒ Please list the additional measures below.

SECTION F –VARIANCE(S) GRANTED

F.1 A VARIANCE TO THE WALKER COUNTY SUBDIVISION REGULATIONS IS GRANTED AS FOLLOWS:

F.2 THE FOLLOWING CONDITIONS ARE ATTACHED TO THE VARIANCE:

SECTION G - NOTICE, ACKNOWLEDGEMENT, AND CERTIFICATIONS**NOTICE**

ALL DEVELOPMENT MUST BE IN STRICT COMPLIANCE WITH THE CONDITIONS STATED HEREIN AND ANY OTHER CONDITIONS STATED WITHIN THE APPLICATION OR DURING THE PRESENTATION TO COMMISSIONERS COURT. ANY VARIATION MAY RESULT IN THE IMMEDIATE SUSPENSION OR CANCELLATION OF THIS VARIANCE. VIOLATION OF THE CONDITIONS OF THIS VARIANCE MAY ALSO RESULT IN THE COMMISSIONERS COURT SEEKING INJUNCTIVE RELIEF, CIVIL, OR CRIMINAL PENALTIES.

WARNING

THE APPLICANT ACKNOWLEDGES THAT HE/SHE IS RESPONSIBLE TO ENSURE THAT ANY VARIANCE DOES NOT DAMAGE OR THREATEN THE PUBLIC OR ADJACENT PROPERTIES AND COMPLIES WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

DISCLAIMER

THE COMMISSIONER'S COURT OF WALKER COUNTY AND ANY OFFICER OR EMPLOYEE OF WALKER COUNTY ARE **NOT** LIABLE FOR DAMAGES OR LOSS RESULTING FROM THE GRANTING OF THIS VARIANCE. THIS VARIANCE IS GRANTED IN RELIANCE UPON THE STATEMENTS AND EVIDENCE SUPPLIED BY THE APPLICANT AND HIS/HER AGENTS IN THE APPLICATION AND PRESENTATION TO COMMISSIONERS COURT.

I, Matt Wanzeck, do hereby acknowledge that I have reviewed the provisions, notices, warnings and disclaimers stated above and that I understand them, agree with them and intend to fully comply with them.

Signature of Owner/Applicant



Date

9/6/24

SECTION H – ACTION ON VARIANCE BY COMMISSIONER'S COURT

After careful consideration of the reason(s) for the request of variance, the Commissioner's Court of Walker County, Texas has determined that it is within the scope of the variance procedures as outlined in the Walker County Subdivision Regulations to _____ this request for variance.

Commissioner's Court Signature

Printed Name

Date

Signature of Owner/Applicant acknowledging conditions after court action.

Date



EXHIBIT 1

Responses to Items D.1, E.2, & E.3

Response to item D.1 in the Variance Request Form:

- A Variance is requested to Section B3.4.1. of the Subdivision Regulations of Walker County, Texas as follows:

The owner requests to increase the maximum number of dwelling units that have a single point of access to a 40' roadway from 40 dwelling units to an average of 42 dwelling units as depicted in Exhibit 2. The reasons are as follows:

1. As shown in Exhibit 2, we have 133 lots total in Sec. 1, with 9 of those lots being separated for a model home park. Therefore, we have 124 lots sharing three 40' access points which comes out to 41.3 homes per access.
 - a. The third access point comes from increasing the south creek crossing roadway width to 40' so that the section can tie-in to that roadway in 2 places
2. Out of those 124 lots, 76 lots have three points of access to 40' roadways and a maximum of 25 lots only have one access point due to it being a cul-de-sac street.
3. Ultimately, we believe this solution provides better access and circulation within Section 1 than what the County's rules allow for since we're providing 3 points of access to 40' roadways for the majority of the Section, when Walker County rules would in turn allow for 3 independent roadways, each with 40 lots and one point of access to a 40' roadway.

Response to item E.2 in the Variance Request Form:

1. As discussed during the Commissioner's Court meeting on 8/26/2024, the proposed solution described in Item D.1 was suggested to prevent Section 1 (133 lots) from having to construct a secondary point of access via an all-weather access road that would span 3,200 LF through the forest towards the east permanent access location to the Development.
2. If this variance is denied, we would like to re-propose the previously discussed method of secondary point of access described in Item 1 above and shown in Exhibit 3 with all of the stipulations shown therein.
 - a. Note* - Exhibit 3 is what was presented at the last Commissioner's Court on 8/26/24

Response to item E.2 in the Variance Request Form:

1. If unable to increase the number of dwelling units per access to a 40' roadway as shown in Exhibit 2, then an all-weather access road will need to be constructed as described in Exhibit 3, along with a temporary easement, a bond in which the County would be responsible for if the Developer were ever to leave, and all other stipulations shown therein.

EXHIBIT 2 - Peach Creek Forest Sec. 1 Access Points

LOT SUMMARY

50' x 120' 655 LOTS 100%

TOTAL 655 LOTS

9 LOTS
(SINGLE
ACCESS)

8 LOTS
(SINGLE
ACCESS)

SF-1
133 LOTS
(TYP 50'x120')
±34.8 AC.

76 LOTS
(THREE POINTS
OF ACCESS)

25 LOTS
(SINGLE
ACCESS)

15 LOTS
(SINGLE
ACCESS)

50' Access Easement

ACCESS 1

40' ROADWAY

ACCESS 2

ACCESS 3

FUTURE
PHASES

SF-3
46 LOTS
(TYP 50'x120')
±17.9 AC.

SF-2
113 LOTS
(TYP 50'x120')
±24.6 AC.

SF-4
122 LOTS
(TYP 50'x120')
±43.1 AC.

SF-5
126 LOTS
(TYP 50'x120')
±35.4 AC.

SF-6
115 LOTS
(TYP 50'x120')
±27.5 AC.

a schematic development plan for

PEACH CREEK FOREST

±216.8 ACRES OF LAND

prepared for

FORESTAR

META
PLANNING + DESIGN

24285 Katy Freeway, Ste. 525
Katy, Texas 77494
Tel: 281-810-1422

SCALE
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MTA-72007A
AUGUST 30, 2024

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**EXHIBIT 3 - OPTION B IF PROPOSED VARIANCE
IS DENIED**

**(THE FOLLOWING VARIANCE IS WHAT WAS
PRESENTED IN THE 8/26/2024 COMMISSIONER'S
COURT MEETING)**

VARIANCE REQUEST TO THE SUBDIVISION REGULATIONS OF WALKER COUNTY, TEXAS

Copy all pages of this form and all attachments for (1) community official, (2) building owner.
If any section is not applicable to the proposed development project please mark that section "NA"

SECTION A – PROPERTY INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Name Forestar (USA) Real Estate Group, Inc.		Application Number:
A2. Property Owner's Street Address [REDACTED]		Date of Submittal: 8/26/2024
City [REDACTED]	State [REDACTED]	ZIP Code [REDACTED]
A3. Property Owner's Email Address [REDACTED]	A4. Property Owner's Telephone Number [REDACTED]	
A5. Property Description of Parent Tract (Lot and Block Numbers, Legal Description, etc.) Being 216.78 acres of land, situated in the JOSE MARIA DE LA GARZA GRANT, Abstract No. 22, Walker County, Texas and being all of the portion of land in Walker County of a called 238.118 acre tract of of land described in a deed dated April 28, 2020 from Godwin LLC and Joseph E. Adams, III to Joseph E. Adams, III and Heather Adams recorded under Instrument No. 56813, Official Records, Walker County, Texas (WCOR) and under Document No. 20204698, Official Public Records, San Jacinto County, Texas (SJCOPR).		
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B1. Survey and Abstract JOSE MARIA DE LA GARZA GRANT, Abstract No. 22, Walker County, Texas	B2. Tax ID Number(s) of Parent Tract Property ID: 12323 Owner ID: 837588	B3. Deed Volume/Page 20204698
B4. Existing or Proposed Name of Subdivision Peach Creek Forest	B5. Is the application for a division of a lot in an Existing Platted Subdivision? (Yes/No) No	
THE ABOVE NAMED APPLICANT DOES HEREBY MAKE AN APPEAL TO THE COMMISSIONER'S COURT OF WALKER COUNTY FOR A VARIANCE TO THE REGULATORY REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF WALKER COUNTY, TEXAS.		
SECTION C – LIST OF ATTACHMENTS		
Please list any supporting documents or submittals included with the variance request as attachments.		
Description of Attachment(s)		Exhibit #
C.1 Variance Request Response for D.1 & E.2		1
C.2 Peach Creek Forest Temporary Access Routing		2
C.3 Peach Creek Forest Cut and Fill Exhibit		3
C.4 Peach Creek Forest Geotechnical Letter with Recommendations		4

C.5 Temporary Access - ESD 2 Approval Letter

SECTION D –VARIANCE REQUEST

(All Variance requests need to include the specific variance along with the Section(s) of the Regulation to which they apply)

D.1 A Variance is requested to Section(s) B3.4.1 of the Subdivision Regulations of Walker County, Texas as follows:

See Exhibit 1 for response.

SECTION E – APPLICANT’S JUSTIFICATION AND PRESENTATION FACTORS EFFECTING VARIANCE

(All variance requests to the Walker County Subdivision Regulations need to be included along with the Section(s) of the Regulation to which they apply)

E.1 Is the variance related to the design or construction of improvements to be constructed within the subdivision?
Yes ☒ No ☐

If “Yes” the request should be accompanied by an engineer’s opinion and justification for the variance.

E.2 Please explain the cause or reason the variance is being requested (attach additional pages as “Exhibit E.2”):

See Exhibit 1 for response.

E.3 Will the failure to grant the variance requested result in any exceptional hardship to the applicant?

Yes ☒ No ☐

If yes please explain below:

If unable to provide temporary access, we will be unable to solely develop Section 1, without having to design and submit a detention & mass grading plan for the entire development immediately, essentially bringing heavy costs forward and significantly delaying construction.

E.4 Does the applicant propose any additional conditions, mitigation, or additional requirements not addressed within the Walker County Subdivision Regulations that will or have been met by the applicant as a condition of the variance being granted?

Yes ☐ No ☒ Please list the additional measures below.

SECTION F –VARIANCE(S) GRANTED

F.1 A VARIANCE TO THE WALKER COUNTY SUBDIVISION REGULATIONS IS GRANTED AS FOLLOWS:

F.2 THE FOLLOWING CONDITIONS ARE ATTACHED TO THE VARIANCE:

SECTION G - NOTICE, ACKNOWLEDGEMENT, AND CERTIFICATIONS

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WARNING

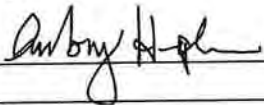
THE APPLICANT ACKNOWLEDGES THAT HE/SHE IS RESPONSIBLE TO ENSURE THAT ANY VARIANCE DOES NOT DAMAGE OR THREATEN THE PUBLIC OR ADJACENT PROPERTIES AND COMPLIES WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

DISCLAIMER

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I, Aubrey Hepler, do hereby acknowledge that I have reviewed the provisions, notices, warnings and disclaimers stated above and that I understand them, agree with them and intend to fully comply with them.

Signature of Owner/Applicant



Date

8/26/2024

SECTION H – ACTION ON VARIANCE BY COMMISSIONER'S COURT

After careful consideration of the reason(s) for the request of variance, the Commissioner's Court of Walker County, Texas has determined that it is within the scope of the variance procedures as outlined in the Walker County Subdivision Regulations to _____ this request for variance.

Commissioner's Court Signature

Printed Name

Date

Signature of Owner/Applicant acknowledging conditions after court action.

Date



EXHIBIT 1

Temporary Road Access - Variance Request Response

Response to item D.1 in the Variance Request Form:

- A Variance is requested to Section B3.4.1. of the Subdivision Regulations of Walker County, Texas as follows:

Owner is proposing allowance for the eastern access road at its permanent TX-150 tie-in location within the development to not meet County Standards. The conditions are as follows:

1. The temporary road must meet ESD 2 loading requirements of 70,000 pounds within the development, and a geotechnical report and construction specification has been provided to satisfy this requirement.
2. The owner (MUD) will maintain the temporary road until the permanent paved roadway is constructed.
3. The temporary road must provide public and County emergency access via a temporary easement, which will be dissolved once a plat has been recorded over the easement. The subject of the easement will be the owner with access to public for emergency access.
4. The temporary road will be improved to County standards without impeding emergency traffic flow during construction of phase 2 (SF-3 and SF-4)
5. The permanent paved roadway must be constructed within a maximum of 3 years of completion of the temporary paved roadway.
6. A bond of \$80 per linear foot of centerline is being proposed to cover construction costs of the temporary road (~\$256,000) until it is later replaced with the permanent County paved roadway.
7. If at any time the 2nd point of emergency access was found to be impassable, insufficient, or inadequate, a stop-work may be requested until the issue could be fixed.

Response to item E.2 in the Variance Request Form:

1. The proposed second access point would only be for emergency traffic. In the ultimate development, 87% of residents are expected to take the west driveway access point as shown in the unapproved TIA.
2. Construction of a concrete road to its ultimate condition with curb and gutter would require significant cut and fill (which would then affect the surrounding land in Phase 2), storm structures, and detention facilities since building it to final grade would change existing drainage patterns. The significant excavation would then have to be hauled to Phase 3, essentially creating a development-wide Detention & Mass Grading project.
3. Installing a concrete road would involve extensive future boring for sanitary, water, storm, gas, and electrical utilities during development

EXHIBIT 2

LOTS SUMMARY

CURVE LOT (B)	52 LOTS
KNUCKLE LOTS (C)	23 LOTS
REMAINDER	584 LOTS
	3% 89%

TOTAL 659 LOTS

PERMANENT ACCESS
TO SECTION 1 FROM
TX-150 (TO BE
CONSTRUCTED WITH
SEC. 1)

PERMANENT ACCESS
TO WATER PLANT FROM
TX-150

SF-2
114 LOTS
(TYP 50'x120')
±24.6 AC.

SF-3
47 LOTS
(TYP 50'x120')
±17.9 AC.

PHASE 2
284 LOTS

PHASE 1
129 LOTS

SF-1
129 LOTS
(TYP 50'x120')
±34.8 AC.

SF-4
123 LOTS
(TYP 50'x120')
±43.1 AC.

SF-5
127 LOTS
(TYP 50'x120')
±35.4 AC.

SF-6
119 LOTS
(TYP 50'x120')
±27.5 AC.

PHASE 3
246 LOTS

FIRE MARSHAL GAVE VERBAL
APPROVAL OF PROPOSED TEMPORARY
ACCESS TO THE WWTP, AND
CONFIRMED WE DO NOT NEED TWO
POINTS OF ACCESS SINCE THE WWTP
WILL BE OPERATED BY
PROFESSIONALS AND NOT OCCUPIED
BY A RESIDENT

FIRE MARSHAL PROPOSED
THIS ROUTE FOR THE
TEMPORARY SECOND POINT
OF ACCESS AND ACCESS
ROAD

ROAD DETAIL TO BE
PROVIDED BY THE
GEOTECHNICAL CONSULTANT
TO SUPPORT 70,000 LBS
(SEE SEPARATE EXHIBIT
FOR DETAIL AND REPORT)

PERMANENT ACCESS TO SEC. 3
FROM TX-150

(TIMING OF SECOND PERMANENT
ACCESS AND ROADWAY DEPENDS
ON BEING ABLE TO SUBMIT /
APPROVE DET-MG PH. 2
INDEPENDENT OF THE SECTION
PLAT SUBMITTALS)

CAN'T BUILD PERMANENT
PAVEMENT ROADWAY UNTIL
DET-MG IS COMPLETE FOR THE
WHOLE DEVELOPMENT SINCE PH.
2 DIRT HAS TO MOVE TO PH. 3

WE PROPOSE A TEMPORARY
ENTRANCE AND ACCESS ROAD
UNTIL THE PERMANENT
PAVEMENT CAN COME ONLINE

a lot frontage variance exhibit for

PEACH CREEK FOREST

± 216.8 ACRES OF LAND

prepared for

FORESTAR

META
PLANNING + DESIGN

24285 Katy Freeway, Ste. 525
Katy, Texas 77494
Tel: 281-810-1422

SCALE
0 100 200 400

MTA-72007A
AUGUST 19, 2024

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EXHIBIT 3

NOTION

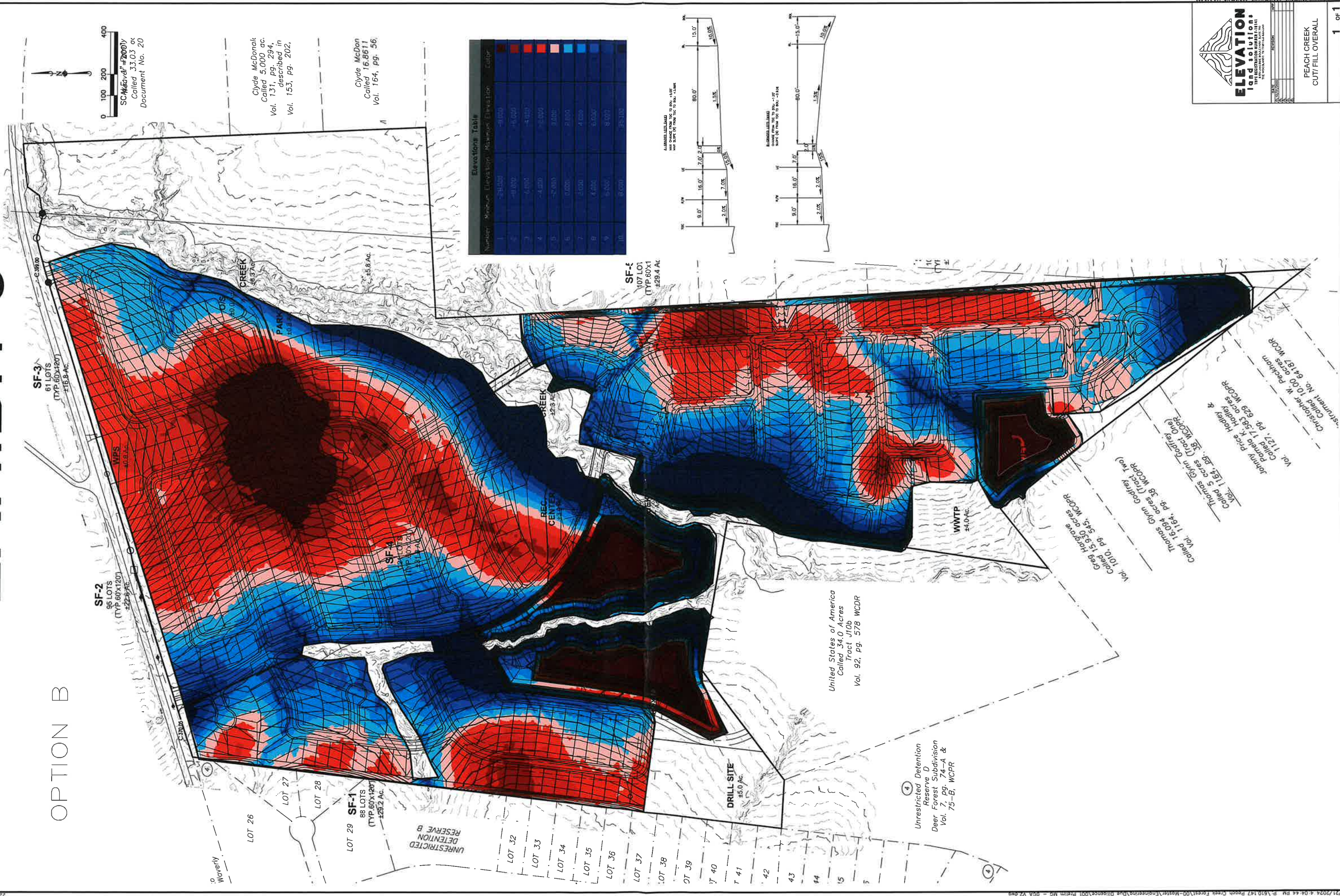


EXHIBIT 4A



July 24, 2024
Project No. 701580001

Mr. Colin James Daly
Forestar Group, Inc.
[REDACTED]
[REDACTED]

Subject: Supplemental Geotechnical Recommendations
Peach Creek Forest Temporary Emergency Access Road
State Highway (SH) 150 and Jim Browder Loop
New Waverly, Texas

Dear Mr. Daly:

As requested by Elevation Land Solutions, we have prepared this supplemental letter to our report for the subject project titled, "Preliminary Geotechnical Evaluation – Peach Creek Forest – State Highway (SH) 150 and Jim Browder Loop, New Waverly, Texas" (Report No. 701580001), dated October 20, 2023. This letter is intended to supplement a portion of the information in our original report and should not be used separate from our original report. As such, this letter should be attached to our original report.

We understand a temporary emergency access road will be constructed to access the Peach Creek development from SH 150. We understand the road will be used to allow for emergency access only and needs to support a 70,000-pound firetruck.

For this temporary road, stripping, clearing, grubbing, and root raking should be performed as described in our report and the exposed subgrade should be evaluated by proofrolling. Proofrolling should be accomplished using a pneumatic-tired roller, a loaded dump truck, or similar equipment weighing 20 tons and observed by the Geotechnical Engineer-of-Record or the Engineer's designated representative. Any soft or weak areas observed during the proofrolling process should be removed and replaced with compacted general fill (as described in our report).

Following proofrolling, the exposed surface of the pavement subgrade soils should be scarified to a depth of 6 inches and recompacted as described in our report. We recommend the area of compaction extend 12 inches or more beyond the edge of the aggregate layer on each side. A layer of filter fabric (such as Mirafi 140N or equivalent) should be placed on top of the subgrade (underlying the aggregate layer).

EXHIBIT 4B

The roadway section should consist of 6 inches of cement treated recycled crushed concrete base material meeting TXDOT Standard Specifications Item 247, Flexible Base, Type D, Grade 1 with 5 percent or more cement. The base should be mechanically compacted to a relative compaction of 95 percent or more of Modified Proctor dry density as evaluated by ASTM D 1557 at a moisture content between optimum to plus 3 percent of optimum. Lift thickness will be dependent upon the type of compaction equipment utilized, but should generally be placed in uniform lifts not exceeding 8 inches in loose thickness.

The Owner should be made aware that a gravel wearing surface may experience long-term rutting and/or shoving due to vehicle traffic. We recommend a monthly maintenance schedule be followed to evaluate the roadway any damaged areas and the roadway repaired as needed.

We hope this provides you with the information you require at this time. We appreciate the opportunity to be of service to you during this phase of the project.

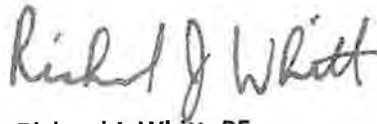
Sincerely,

NINYO & MOORE

TBPE Firm No. F-9782



Ronald A. Gutierrez
Graduate Engineer



Richard J. Whitt, PE
Senior Engineer



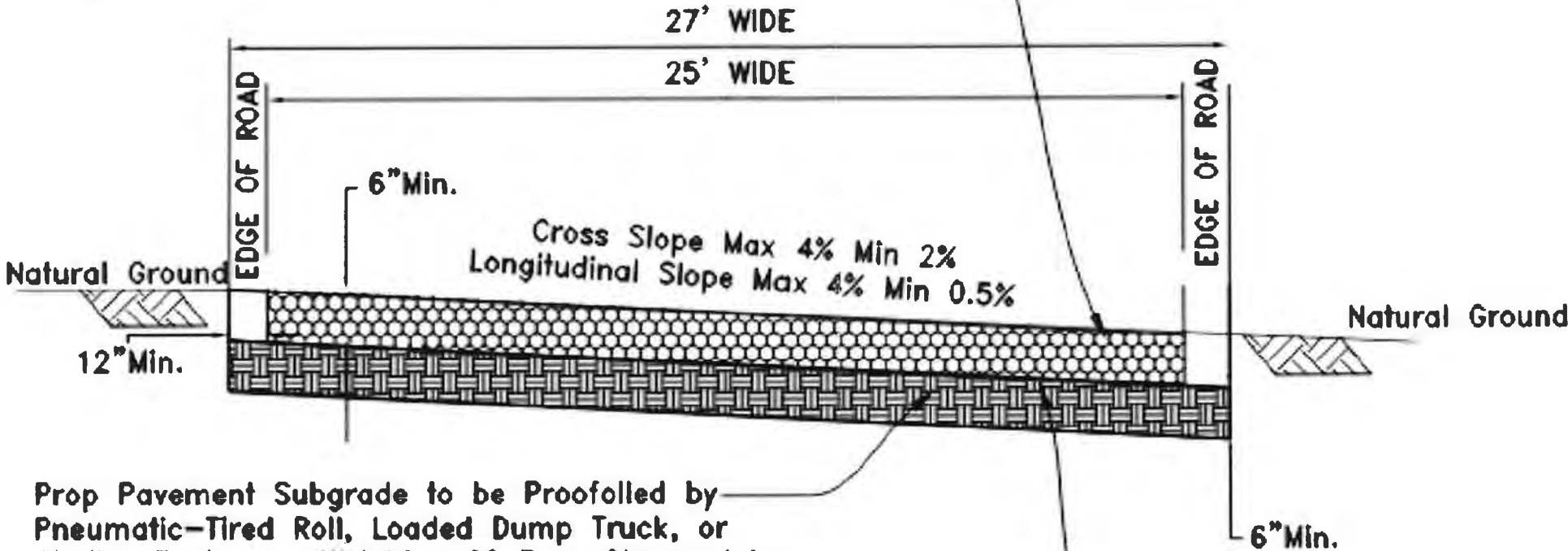
RAG/RJW/JTS/lis 7/24/2024

EXHIBIT 4C



Prop Crushed Concrete Surface Layer; Conform to TXDOT Standard Specifications Item 247, Flexible Base, Type D, Grade 1 with Min. Cement Content of 5% Compacted to 95% of the Maximum Dry Density at a Moisture Content Within Optimum and +3% of Optimum as per D-1557.

Note:
1. Road cross section will be on grade with natural ground which drains towards east creek.



Prop Pavement Subgrade to be Proofrolled by Pneumatic-Tired Roll, Loaded Dump Truck, or Similar Equipment Weighing 20 Tons Observed by Geotechnical Engineer of Record or Designated Representative. prior to the scarifiying. Scarified to a Depth of 6" and Recompacted to 95% of the Maximum Dry Density at a Moisture Content Within Optimum and +3% of Optimum as per D-1557.

Mirafi 140N Filter Fabric or Approved Equal

ALL-WEATHER ACCESS DRIVE DETAIL TYP.

N.T.S.

(DETAIL CREATED BY ELEVATION LAND SOLUTIONS BASED ON NINYO & MOORE'S GEOTECHNICAL RECOMMENDATION REPORT DATED JULY 24, 2024)


ELEVATION
land solutions
TBPB REGISTRATION NUMBER F-22671
9709 LAKESIDE BOULEVARD, SUITE 200
THE WOODLANDS, TX 77381 832-823-2200

DATE	REVISION	APP
12/31/2020		

PEACH CREEK FOREST
ALL-WEATHER ACCESS
ROAD DETAIL

EXHIBIT 5

Walker County Emergency Services District #2

Fire Marshals Office

P.O. Box 975 New Waverly, Texas 77358

411 FM 1375 East, New Waverly, Texas 77358

Phone (936)344-6911

Fax (936) 344-2212

chance.gardner@wcesd2.com

To whom it may concern,

I am submitting this letter regarding the temporary secondary egress proposal. The letter and drawings submitted show that the company is trying to meet our requirements and being flexible, this is appreciated. I have reviewed what they have provided and am in favor of what is proposed, however, due to my lack of knowledge of road-based construction I will have to lean on Commissioner Decker to determine if it will be sufficient to meet our needs for emergencies as well as evacuations for the people living within. Along with this, I would like for there to be a stop-work provision provided in the acceptance of this temporary alternative proposal. If at any time this was found to be impassable, insufficient, or inadequate, work on the project would need to be halted until the issue could be fixed. This would help to ensure that we put the safety of our citizens first.

Thank You,

WCESD2 Fire Marshal

Chance Gardner

VARIANCE REQUEST TO THE SUBDIVISION REGULATIONS OF WALKER COUNTY, TEXAS

Copy all pages of this form and all attachments for (1) community official, (2) building owner.
If any section is not applicable to the proposed development project please mark that section "NA"

SECTION A – PROPERTY INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Name Forestar (USA) Real Estate Group, Inc.		Application Number: P-2022-037
A2. Property Owner's Street Address <div style="background-color: black; width: 100%; height: 1.2em;"></div>		Date of Submittal: 9/6/2024
City	State	ZIP Code
<div style="background-color: black; width: 100%; height: 1.2em;"></div>	<div style="background-color: black; width: 100%; height: 1.2em;"></div>	<div style="background-color: black; width: 100%; height: 1.2em;"></div>
A3. Property Owner's Email Address <div style="background-color: black; width: 100%; height: 1.2em;"></div>		A4. Property Owner's Telephone Number <div style="background-color: black; width: 100%; height: 1.2em;"></div>
A5. Property Description of Parent Tract (Lot and Block Numbers, Legal Description, etc.) Being 216.78 acres of land, situated in the JOSE MARIA DE LA GARZA GRANT, Abstract No. 22, Walker County, Texas and being all of the portion of land in Walker County of a called 238.118 acre tract of of land described in a deed dated April 28, 2020 from Godwin LLC and Joseph E. Adams, III to Joseph E. Adams, III and Heather Adams recorded under Instrument No. 56813, Official Records, Walker County, Texas (WCOR) and under Document No. 20204698, Official Public Records, San Jacinto County, Texas (SJCOPR).		
SECTION B – INFORMATION FOR PROPOSED SUBDIVISION TRACT		
(For projects involving multiple map panels an additional sheet may be listed below or included in an additional attachment)		
B1. Survey and Abstract JOSE MARIA DE LA GARZA GRANT, Abstract No. 22, Walker County, Texasd	B2. Tax ID Number(s) of Parent Tract Property ID: 12323 Owner ID: 837588	B3. Deed Volume/Page 20204698
B4. Existing or Proposed Name of Subdivision Peach Creek Forest	B5. Is the application for a division of a lot in an Existing Platted Subdivision? (Yes/No) No	
THE ABOVE NAMED APPLICANT DOES HEREBY MAKE AN APPEAL TO THE COMMISSIONER'S COURT OF WALKER COUNTY FOR A VARIANCE TO THE REGULATORY REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF WALKER COUNTY, TEXAS.		
SECTION C – LIST OF ATTACHMENTS		
Please list any supporting documents or submittals included with the variance request as attachments.		
Description of Attachment(s)		Exhibit #
c.1 Exhibit 1 - Responses to Items D.1, & E.2		1
c.2 Exhibit 2 - Peach Creek Forest Ultimate Access Points		2
c.3 Exhibit 3 - Peach Creek Forest Cut and Fill Exhibit		3
C.4		

SECTION D – VARIANCE REQUEST

(All Variance requests need to include the specific variance along with the Section(s) of the Regulation to which they apply)

- D.1 A Variance is requested to Section(s) B3.4.1 of the Subdivision Regulations of Walker County, Texas as follows:

See Exhibit 1 for response.

SECTION E – APPLICANT'S JUSTIFICATION AND PRESENTATION FACTORS EFFECTING VARIANCE

(All variance requests to the Walker County Subdivision Regulations need to be included along with the Section(s) of the Regulation to which they apply)

- E.1 Is the variance related to the design or construction of improvements to be constructed within the subdivision?
Yes ☒ No ☐

If "Yes" the request should be accompanied by an engineer's opinion and justification for the variance.

- E.2 Please explain the cause or reason the variance is being requested (attach additional pages as "Exhibit E.2");
See Exhibit 1 for response.

- E.3 Will the failure to grant the variance requested result in any exceptional hardship to the applicant?

Yes ☒ No ☐

If yes please explain below:

If unable to provide the product planned for, the feasibility of developing this tract with high-quality single-family homes is threatened.

- E.4 Does the applicant propose any additional conditions, mitigation, or additional requirements not addressed within the Walker County Subdivision Regulations that will or have been met by the applicant as a condition of the variance being granted?

Yes ☐ No ☒ Please list the additional measures below.

SECTION F –VARIANCE(S) GRANTED

F.1 A VARIANCE TO THE WALKER COUNTY SUBDIVISION REGULATIONS IS GRANTED AS FOLLOWS:

F.2 THE FOLLOWING CONDITIONS ARE ATTACHED TO THE VARIANCE:

SECTION G - NOTICE, ACKNOWLEDGEMENT, AND CERTIFICATIONS

NOTICE

ALL DEVELOPMENT MUST BE IN STRICT COMPLIANCE WITH THE CONDITIONS STATED HEREIN AND ANY OTHER CONDITIONS STATED WITHIN THE APPLICATION OR DURING THE PRESENTATION TO COMMISSIONERS COURT. ANY VARIATION MAY RESULT IN THE IMMEDIATE SUSPENSION OR CANCELLATION OF THIS VARIANCE. VIOLATION OF THE CONDITIONS OF THIS VARIANCE MAY ALSO RESULT IN THE COMMISSIONERS COURT SEEKING INJUNCTIVE RELIEF, CIVIL, OR CRIMINAL PENALTIES.

WARNING

THE APPLICANT ACKNOWLEDGES THAT HE/SHE IS RESPONSIBLE TO ENSURE THAT ANY VARIANCE DOES NOT DAMAGE OR THREATEN THE PUBLIC OR ADJACENT PROPERTIES AND COMPLIES WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

DISCLAIMER

THE COMMISSIONER'S COURT OF WALKER COUNTY AND ANY OFFICER OR EMPLOYEE OF WALKER COUNTY ARE NOT LIABLE FOR DAMAGES OR LOSS RESULTING FROM THE GRANTING OF THIS VARIANCE. THIS VARIANCE IS GRANTED IN RELIANCE UPON THE STATEMENTS AND EVIDENCE SUPPLIED BY THE APPLICANT AND HIS/HER AGENTS IN THE APPLICATION AND PRESENTATION TO COMMISSIONERS COURT.

I, Matt Wanzeck, do hereby acknowledge that I have reviewed the provisions, notices, warnings and disclaimers stated above and that I understand them, agree with them and intend to fully comply with them.

Signature of Owner/Applicant



Date

9/6/24

SECTION H – ACTION ON VARIANCE BY COMMISSIONER'S COURT

After careful consideration of the reason(s) for the request of variance, the Commissioner's Court of Walker County, Texas has determined that it is within the scope of the variance procedures as outlined in the Walker County Subdivision Regulations to _____ this request for variance.

Commissioner's Court Signature

Printed Name

Date

Signature of Owner/Applicant acknowledging conditions after court action.

Date



EXHIBIT 1

Responses to Items D.1, & E.2

Response to item D.1 in the Variance Request Form:

- A Variance is requested to Section B3.4.2. of the Subdivision Regulations of Walker County, Texas as follows:
- The owner is proposing that the distance between the east and west residential entrances for the development to be reduced from 50% to 36% of the length of the maximum overall diagonal property dimension.
 - o The required measurement between the two points of access in a straight line is 2,020', which is 36.79% of the total diagonal property dimension (5,490') measured in a straight line from the entrance point to the far corner of the development as depicted in Exhibit 2.
- The owner is also proposing to split up the construction timing of the west and east permanent roadways into the Development since building the east roadway with Sec. 1 has proven to be infeasible as stated in the proposed "Peach Creek Forest Sec. 1 Access" variance.
 - o We propose building the West Entrance and Collector Road to the Sec. 1 south boundary with the Sec. 1 Construction project and will construct the East Entrance and Collector Road with the Sec. 3 and 4 construction projects.
 - o We acknowledge that Sec. 2 Construction cannot begin until the east collector road has made connection with the west collector road providing a second point of access via permanent roadway.
 - o We anticipate completing the east entrance and making the looped connection to the west Collector Road within 3 years of Walker County's acceptance of the Sec. 1 collector road to Sec. 1's southern boundary.

Response to item E.2 in the Variance Request Form:

- Spacing Variance:
 - o The shape and topography of the property is restrictive to comply with Walker County Subdivision Regulation B.3.4.2 in spacing and timing.
 - o The western and east driveway locations are set based on TxDOT's comments and are restricted by the overall property width so the resulting spacing can't be increased
- Timing Variance:
 - o We're unable to build the permanent east entrance and roadway with Sec. 1 due to the site's topography
 - o In order to construct the east permanent roadway, we need to Construct a Detention and Mass Grading project of the area first as Sec. 2, 3, and 4 will generate excessive excavation by cutting through a hill

EXHIBIT 2 - Peach Creek Forest Ultimate Access Points

LOT SUMMARY

<div></div>	50' x 120'	655 LOTS	100 %
-------------	------------	----------	-------

TOTAL 655 LOTS

PERMANENT ACCESS TO SECTION 1 FROM TX-150 (TO BE CONSTRUCTED WITH SEC. 1)

2020'

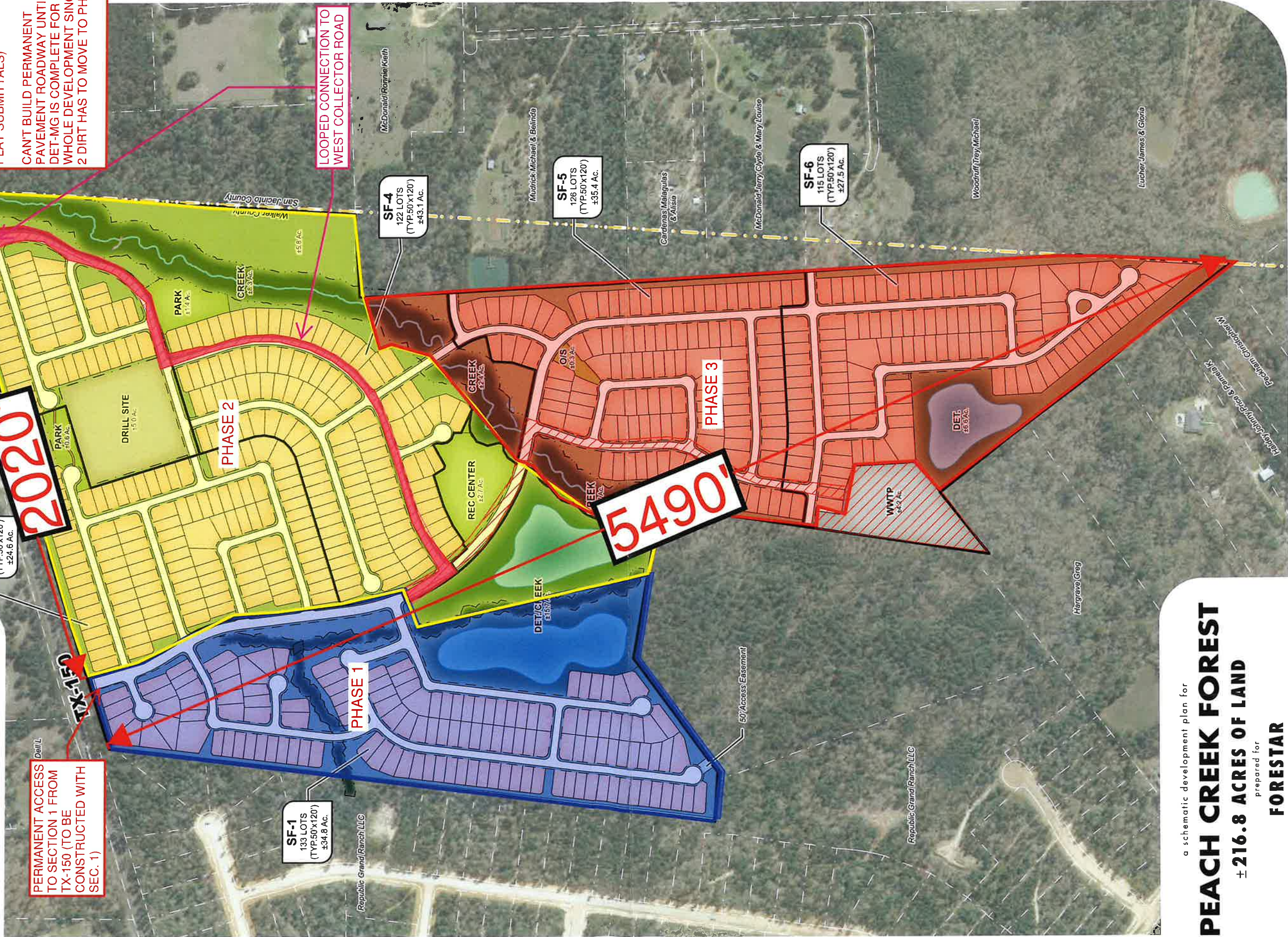
5490'

LOOPED CONNECTION TO WEST COLLECTOR ROAD

PERMANENT ACCESS TO SEC. 3 FROM TX-150

(TIMING OF SECOND PERMANENT ACCESS AND ROADWAY DEPENDS ON BEING ABLE TO SUBMIT / APPROVE DET-MG PH. 2 INDEPENDENT OF THE SECTION PLAT SUBMITTALS)

CAN'T BUILD PERMANENT PAVEMENT ROADWAY UNTIL DET-MG IS COMPLETE FOR THE WHOLE DEVELOPMENT SINCE PH. 2 DIRT HAS TO MOVE TO PH. 3



a schematic development plan for
PEACH CREEK FOREST
± 216.8 ACRES OF LAND

prepared for
FORESTAR

META
PLANNING • DESIGN

24285 Katy Freeway, Ste. 525
Katy, Texas 77494
Tel: 281-810-1422

SCALE
0 100 200 400

MTA-72007A
AUGUST 30, 2024

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