



WALKER COUNTY COMMISSIONERS COURT

1100 University Avenue
Huntsville, Texas 77340
936-436-4910



DANNY PIERCE
County Judge

DANNY KUYKENDALL
Commissioner, Precinct 1

RONNIE WHITE
Commissioner, Precinct 2

AGENDA
REGULAR SESSION
MONDAY, AUGUST 15, 2022
9:00 A.M.
ROOM 104

BILL DAUGETTE
Commissioner, Precinct 3

JIMMY D. HENRY
Commissioner, Precinct 4

CALL TO ORDER

- Announcement by the County Judge whether a quorum is present.
- Certification that public Notice of Meeting was given in accordance with the provisions of Section 551.001 et. Seq. of the Texas Government Code.

GENERAL ITEMS

- Prayer – Pastor James Necker
- Pledge of Allegiance
- Texas Pledge – “Honor the Texas Flag, I pledge allegiance to thee, Texas, one state under God, one and indivisible”
- Citizens Input – Agenda Items

CONSENT AGENDA

1. Approve minutes from Commissioners Court Regular Session on August 1, 2022.
2. Approve minutes from Commissioners Court Special Session on August 8, 2022.
3. Approve Walker County COVID-19 Disaster Declaration Extension issued August 1, 2022.
4. Approve Walker County Drought Disaster Declaration Extension issued August 1, 2022.
5. Approve Disbursement Report for the period of 08/01/2022 – 08/08/2022.
6. Approve Order 2022-102, Treasurer Monthly Report for May 2022.
7. Approve Order 2022-103, Treasurer Monthly Report for June 2022.
8. Receive Treasurer Investment Report for June 2022.
9. Receive Treasurer Investment Report for July 2022.
10. Approve GLO and HUD reports, GrantWorks/CDBG GLO Hurricane Harvey Grant Contract 20-065-104-C279 for July 2022.
11. Approve Resolution 2022-106, Texans Feeding Texans.
12. Receive financial information as of August 10, 2022, for the fiscal year ending September 30, 2022.
13. Receive overview of Road and Bridge General invoices.
14. Approve payment of claims and invoices submitted for payment.
15. Receive Justice of the Peace Precinct 1 Report for June 2022.
16. Receive Justice of the Peace Precinct 2 Report for June 2022.
17. Receive Justice of the Peace Precinct 3 Report for June 2022.
18. Receive Justice of the Peace Precinct 4 Report for June 2022.
19. Receive Walker County Appraisal District monthly tax collection report for July 2022.
20. Receive Volunteer Fire Department Reports for the 3rd Quarter, April – June 2022.
21. Receive Employee Injury Report.

STATUTORY AGENDA

12th Judicial District Court

22. Discuss and take action for the 12th and 278th District Courts and the County Court-At-Law to participate in a pilot program with the Texas Indigence Defense Commission and fund the needed software subscriptions for the automated appointment system not to exceed \$7,000. – Tia Schweitzer and Melissa Fuentes

Information Technology

23. Presentation of the IT Assessment and Planning by the Evolvers Group. – Dan Early

District Clerk

24. Discuss and take action on overtime pay for District Clerk staff, to be paid from FY 2021-2022 budgeted funds. – Robyn Flowers

Purchasing

25. Discuss damage and repair to Courthouse southern stair rail (outside). – Charlsa Dearwester
26. Discuss and take action to purchase two (2) Mobile Radios and two (2) Hand Held Radios with accessories to communicate with Texas Forestry Service. – Charlsa Dearwester
27. Discuss and take action to award Bid C2360-22-011, Replace Condensing Units, Walker County Jail, to Beckham and Jones Company. – Charlsa Dearwester

Emergency Medical Services

28. Discuss and take action on implementing a 9-day EMS schedule, in place of the current 24/48 EMS schedule, effective October 1, 2022. – Rachel Parker
29. Discuss and take action on proceeding with the hiring of the new EMS Medical Director to start September 1, 2022. – Rachel Parker

Commissioners Court

30. Discuss and take action on authorizing Bleyl Engineering to perform engineering and design work related to improvements to the Courthouse Square sidewalks, curbs, stairs, and other appurtenances. – Commissioner Daugette
31. Discuss and take action on Amendment to the Funding Agreement between Walker County Senior Center and Walker County. – Judge Pierce/Stacey Loll
32. Receive update on remodeling plans for the Walker County Senior Center. – Judge Pierce/Stacey Loll
33. Discuss and take action on conditional approval of Change Order No. 1, to Slott Construction, Inc., for Slott Construction, Inc., for Walker County Hurricane Harvey CDBG Roads, pending GLO approval. – Precinct 4 (GLO State Contract No. 20-065-104-C279). – Judge Pierce
34. Discuss and take action on Texas Department of Motor Vehicles Imposition of Optional Fees Calendar Year 2023. – Judge Pierce
35. Discuss and take action on Proclamation 2022-104, Gulf Coast Trade Center 50th Anniversary. – Judge Pierce

Planning and Development

36. Public hearing concerning [Plat # 2022-026] Re-Plat of Lots 26 and 27, Block 3, Section 1, of Texas Grand Ranch, D. Hanazkee Survey, A-254 / J. Leman Survey, A-327 - Grand View - Pct. 2 – Andy Isbell
37. Discuss and take action on [Plat # 2022-026] Re-Plat of Lots 26 and 27, Block 3, Section 1, of Texas Grand Ranch, D. Hanazkee Survey, A-254 / J. Leman Survey, A-327 - Grand View - Pct. 2 – Andy Isbell
38. Public hearing concerning [Plat # 2022-027] Re-Plat of Lot 1 of the Kenneth Browder Subdivision, J.M. De La Garza Survey, A-22 - Old Waverly Road - Pct. 4 – Andy Isbell
39. Discuss and take action on [Plat # 2022-027] Re-Plat of Lot 1 of the Kenneth Browder Subdivision, J.M. De La Garza Survey, A-22 - Old Waverly Road - Pct. 4 – Andy Isbell
40. Public hearing concerning [Plat # 2022-028] Re-Plat of Lot 34A, Block 1, Section 13, of the Wildwood Shores Subdivision, G.W. Robinson Survey, A-454 - Drywood Lane - Pct. 4 – Andy Isbell
41. Discuss and take action on [Plat # 2022-028] Re-Plat of Lot 34A, Block 1, Section 13, of the Wildwood Shores Subdivision, G.W. Robinson Survey, A-454 - Drywood Lane - Pct. 4 – Andy Isbell
42. Discuss and take action on plans for road and drainage for Anderson Hills Subdivision [Plat # 2020-039] G. Robbins Survey, A-458 - Off of Morgan Spur - Pct. 2 – Andy Isbell
43. Discuss and take action on Engineer's Opinion of Construction Cost for Anderson Hills Subdivision, [Plat # 2020-039] G. Robbins Survey, A-458 - Off of Morgan Spur - Pct. 2 – Andy Isbell
44. Discuss and take action on Irrevocable Standby Letter of Credit (LOC # 759) for Anderson Hills Subdivision, [Plat # 2020-039] G. Robbins Survey, A-458 - Off of Morgan Spur - Pct. 2 – Andy Isbell
45. Discuss and take action on Anderson Hills Subdivision final plat [Plat # 2020-039] G. Robbins Survey, A-458 - Off of Morgan Spur - Pct. 2 – Andy Isbell
46. Discuss and take action on Franklin A. Konvicka request for variance to On-Site Sewage Facility Regulations of Walker County regarding homeowner's maintenance for Permit(s) 2018-0325 and 2019-0289. – Andy Isbell
47. Discuss and take action on implementation of road name change for Carrnaza Loop to be renamed Carranza Loop - Pct. 4 – Andy Isbell

BUDGET WORKSHOP

EXECUTIVE SESSION

If during the course of the meeting covered by this notice, Commissioners Court shall determine that a closed meeting of the Court is required, then such closed meeting as authorized by Texas Government Code 551, subchapter D, will be held by the Commissioners Court at the date, hour, and place in this notice or as soon after the commencement of the meeting covered by this notice as the Commissioners Court may conveniently meet in such closed meeting concerning any and all subjects and for any and all purposes permitted by Chapter 551, subchapter D, inclusive of said Texas Government Code, including but not limited to:

Section 551.071 For the purpose of private consultation between the Commissioners Court and its attorney when the attorney's advice with respect to pending or contemplated litigation settlement offers, and matters where the duty of the Commissioners Court counsel to his client pursuant to the Code of Professional Responsibility of the State Bar of Texas clearly conflicts with the Open Meetings Act.

Section 551.072 For the purpose of discussion with respect to the purchase, exchange, lease, or value of real property, if deliberation in an open meeting would have a detrimental effect on the position of the Commissioners Court in negotiations with a third person

Section 551.073 For the purpose of deliberation regarding prospective gifts or to deliberate a negotiated contract for prospective gift or donation to the Commissioners Court or Walker County, if deliberation in an

open meeting would have a detrimental effect on the position of the Commissioners Court in negotiations with a third person.

Section 551.074 For the purpose of considering the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee or to hear complaints or charges against a public officer or employee, unless such officer or employee requests a public hearing.

Section 551.076 To discuss the deployment, or specific occasions for implementation of security personnel or devices.

Section 551.086 Deliberation regarding economic development negotiations.

INFORMATION ITEMS

- Public Comment – Non-agenda items
- Questions from the media
- Commissioners Court

ADJOURN

On this 12th day of August, 2022, the Executive Administrator to the County Judge filed this notice, and was posted at the main entrance of the Walker County Courthouse.



Danny Pierce, County Judge

I, the undersigned County Clerk, do hereby state that the above Notice of Meeting of the above named Commissioners' Court, is a true and correct copy of said Notice, and I posted a true and correct copy of said Notice on the Courthouse Public Notices area of Huntsville, Walker County, Texas, at a place readily accessible to the general public at all times on the 12th day of August, 2022, and said Notice remained so posted continuously for at least 72 hours proceeding the scheduled time of said meeting.

Dated this 12th day of August, 2022.



Kari A. French, County Clerk

FILED FOR POSTING
At 8:47 o'clock A.M

AUG 12 2022

KARI FRENCH, COUNTY CLERK
WALKER COUNTY, TEXAS
By  Deputy

24/48 schedule (current) A shift

122 days

January, 2023

Su	M	Tu	W	Th	F	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

February, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28				

March, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

April, 2023

Su	M	Tu	W	Th	F	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30						

May, 2023

Su	M	Tu	W	Th	F	Sa
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

June, 2023

Su	M	Tu	W	Th	F	Sa
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

July, 2023

Su	M	Tu	W	Th	F	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

August, 2023

Su	M	Tu	W	Th	F	Sa
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		

September, 2023

Su	M	Tu	W	Th	F	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30

October, 2023

Su	M	Tu	W	Th	F	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

November, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

December, 2023

Su	M	Tu	W	Th	F	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

24/48 schedule (current) B Shift

122 days

January, 2023

Su	M	Tu	W	Th	F	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

February, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28				

March, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

April, 2023

Su	M	Tu	W	Th	F	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30						

May, 2023

Su	M	Tu	W	Th	F	Sa
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

June, 2023

Su	M	Tu	W	Th	F	Sa
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

July, 2023

Su	M	Tu	W	Th	F	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

August, 2023

Su	M	Tu	W	Th	F	Sa
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		

September, 2023

Su	M	Tu	W	Th	F	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30

October, 2023

Su	M	Tu	W	Th	F	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

November, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

December, 2023

Su	M	Tu	W	Th	F	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

24/48 schedule (current) C Shift

121 days

January, 2023

Su	M	Tu	W	Th	F	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

February, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28				

March, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

April, 2023

Su	M	Tu	W	Th	F	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30						

May, 2023

Su	M	Tu	W	Th	F	Sa
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

June, 2023

Su	M	Tu	W	Th	F	Sa
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

July, 2023

Su	M	Tu	W	Th	F	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

August, 2023

Su	M	Tu	W	Th	F	Sa
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		

September, 2023

Su	M	Tu	W	Th	F	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30

October, 2023

Su	M	Tu	W	Th	F	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

November, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

December, 2023

Su	M	Tu	W	Th	F	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

9 Day Schedule

A Shift

123 Days

January, 2023

Su	M	Tu	W	Th	F	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

February, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28				

March, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

April, 2023

Su	M	Tu	W	Th	F	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30						

May, 2023

Su	M	Tu	W	Th	F	Sa
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

June, 2023

Su	M	Tu	W	Th	F	Sa
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

July, 2023

Su	M	Tu	W	Th	F	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

August, 2023

Su	M	Tu	W	Th	F	Sa
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		

September, 2023

Su	M	Tu	W	Th	F	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30

October, 2023

Su	M	Tu	W	Th	F	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

November, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

December, 2023

Su	M	Tu	W	Th	F	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

9 day schedule

B shift

122 days

January, 2023

Su	M	Tu	W	Th	F	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

February, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28				

March, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

April, 2023

Su	M	Tu	W	Th	F	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30						

May, 2023

Su	M	Tu	W	Th	F	Sa
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

June, 2023

Su	M	Tu	W	Th	F	Sa
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

July, 2023

Su	M	Tu	W	Th	F	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

August, 2023

Su	M	Tu	W	Th	F	Sa
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		

September, 2023

Su	M	Tu	W	Th	F	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30

October, 2023

Su	M	Tu	W	Th	F	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

November, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

December, 2023

Su	M	Tu	W	Th	F	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

9 day schedule

C shift

172 days

January, 2023

Su	M	Tu	W	Th	F	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

February, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28				

March, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

April, 2023

Su	M	Tu	W	Th	F	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30						

May, 2023

Su	M	Tu	W	Th	F	Sa
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

June, 2023

Su	M	Tu	W	Th	F	Sa
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

July, 2023

Su	M	Tu	W	Th	F	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

August, 2023

Su	M	Tu	W	Th	F	Sa
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		

September, 2023

Su	M	Tu	W	Th	F	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30

October, 2023

Su	M	Tu	W	Th	F	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

November, 2023

Su	M	Tu	W	Th	F	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

December, 2023

Su	M	Tu	W	Th	F	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

**Engineer's Preliminary Opinion of Cost
Walker County Courthouse Grounds Improvements
June 21, 2022**

BASE BID ITEMS					
No.	DESCRIPTION	UNIT	QTY	UNIT COST	COST
1	Mobilization, Construction Fencing, Staking, Insurance, Performance, Payment, and Maintenance Bonds (5%)	LS	1	\$ 22,000.00	\$ 22,000.00
2	Remove and Haul Off Existing Brick Pavers (Sidewalk & Staircase)	SY	920	\$ 20.00	\$ 18,400.00
3	Remove and Haul Off Pedestrian Ramp (SE Corner)	EA	1	\$ 1,250.00	\$ 1,250.00
4	Remove and Haul Off Existing Concrete Curbs	LF	860	\$ 5.00	\$ 4,300.00
5	Remove and Haul Off Existing Lamp Posts	EA	3	\$ 500.00	\$ 1,500.00
6	Remove and Haul Off Stairway Handrails	LS	1	\$ 3,500.00	\$ 3,500.00
7	Remove and Haul Off Fire Hydrant (SE Corner)	EA	1	\$ 1,250.00	\$ 1,250.00
8	Remove and Haul Off Other Misc. Removal Items	LS	1	\$ 4,000.00	\$ 4,000.00
9	Remove, Salvage, and Reset Flag Pole w/ Pedestal	EA	1	\$ 3,000.00	\$ 3,000.00
10	Remove, Salvage, and Reset Misc. Water and Irrigation Components	LS	1	\$ 1,500.00	\$ 1,500.00
11	Remove, Salvage, and Reset Roof Drain Pipes Through Sidewalk	EA	7	\$ 300.00	\$ 2,100.00
12	Remove, Salvage, and Reset Drain Flume	LS	1	\$ 1,250.00	\$ 1,250.00
13	4" Thick Concrete Sidewalk (Stamped & Stained)	SY	930	\$ 100.00	\$ 93,000.00
14	4" Thick Concrete on Staircase and Landing Pad (Stamped & Stained)	SY	95	\$ 125.00	\$ 11,875.00
15	Demo and Rebuild South Staircase	LS	1	\$ 8,000.00	\$ 8,000.00
16	4" Thick Bench Pad	SF	64	\$ 12.50	\$ 800.00
17	4' Tall x 1' Wide Brick Retaining Wall (Match Existing)	SF	520	\$ 75.00	\$ 39,000.00
18	Pedestrian Ramp with Landing Pad	EA	1	\$ 3,500.00	\$ 3,500.00
19	Standard Concrete Curb	LF	860	\$ 25.00	\$ 21,500.00
20	Striping for Curbs	LS	1	\$ 3,500.00	\$ 3,500.00
21	Handrails for Staircase	LS	1	\$ 25,000.00	\$ 25,000.00
22	Electrical Components (Lighting, Speakers, and Associated Items)	LS	1	\$ 125,000.00	\$ 125,000.00
23	Fire Hydrant Assembly	EA	1	\$ 7,500.00	\$ 7,500.00
24	Bench for Sitting Area and trash recepticals	EA	2	\$ 3,000.00	\$ 6,000.00
25	Military Branch Medallions embedded in concrete at east flagpole	EA	6	\$ 1,500.00	\$ 9,000.00
26	New Flag Pole Holders (For Lion's Club) around sidewalk perimeter	LS	1	\$ 3,000.00	\$ 3,000.00
27	Erosion and Sediment Control	LS	1	\$ 5,000.00	\$ 5,000.00
28	Misc. Traffic Control for Vehicles and Pedestrians	LS	1	\$ 20,000.00	\$ 20,000.00
29	Sodding	SY	130	\$ 20.00	\$ 2,600.00
30	Lab Testing for Concrete	LS	1	\$ 4,000.00	\$ 4,000.00
31	Misc. Site Grading for Positive Drainage	LS	1	\$ 3,000.00	\$ 3,000.00

TOTAL PROJECT COSTS	
Total	\$ 456,000.00
Contingency (15%)	\$ 69,000.00
TOTAL COST	\$ 525,000.00

1. This estimate represents my best judgment as a design professional familiar with the construction industry. Bleyle Engineering has no control over the cost of labor, materials, or equipment; over the Contractor's methods of determining bid prices; or over competitive bidding or market conditions. Therefore, we cannot and do not guarantee that prices and cost will not vary from this cost estimate.

This Document is Released for the Purpose of: **General Planning**
Under the Authority of: Carl Rushing, P.E.
License No.: 121777
It is Preliminary in Nature and not to be Used for Feasibility of Land Purchases, Bond Applications, Loans or Grants.

AMENDMENT

**to May 2, 2022 COOPERATIVE AGREEMENT BETWEEN THE COUNTY OF WALKER AND THE SENIOR
CENTER OF WALKER COUNTY**

The above agreement states:

1. The County will provide solely for the coverage of the cost associated with the items described herein and also in the ARPA Application form. The Amendment is to request additional \$57,215.
2. The contribution amount to be provided by the County for the initiation shall not exceed \$112,385.
3. The first priorities are for:
 - a. A passenger van to transport Senior Center staff and guests of the Center
 - b. A vehicle to be used for the delivery of food as a part of the "Meals-on-Wheels" program operated by the Center.

As per the Agreement, the Senior Center, following its Procurement Policies and Procedures, located Carpenter Bus that had wheelchair accessible vans that met both above priorities. Both vehicles, are 2022 Promaster 2500/FR Conversions, and together with delivery is \$84,800 each for a total of \$169,600.

Therefore, this amendment is to request the additional \$57,215. for both vans to aid in the care of senior adults within Walker County.

Approved on the date or dates indicated.

Walker County Senior Center

Stacey Loll, Executive Director

Executed on this ____ day of _____ of 2022.

Walker County

Danny Pierce, County Judge

Approved As To Form:

Walker County District Attorney

Executed on this ____ day of _____ of 2022.

BILL OF SALE CARPENTER BUS LLC

132 ROYAL OAKS BLVD.
FRANKLIN, TN 37067
615-376-2287

DEAL #2039
SALESPERSON: 6801
6400 OLD DALLAS RD.
ELM MOTT, TX 76640
254-799-3000

BUYER'S NAME SENIOR CENTER OF WALKER COUNTY DATE 08/17/22
ADDRESS 340 SH 75 N STE F BUS. PHONE (936)295-6151
CITY, STATE, ZIP HUNTSVILLE TX 77320

STOCK # 22065

VEHICLE BEING PURCHASED	
YEAR: 2022	CHASSIS: DODGE
YEAR: 2022	BODY: FR CONVERS
CAPACITY: 8CP+2WS	MILES: 875
COLOR: WHITE	
V.I.N.: 3C6LRVPG9NE113728	

VEHICLE TRADE-IN	
YEAR:	CHASSIS:
YEAR:	BODY:
CAPACITY:	MILES:
COLOR:	
V.I.N.:	

LIENHOLDER:
ADDRESS:
CONTACT:
PHONE:

DESCRIPTION OF CHARGES	AMOUNT
F.O.B. HUNTSVILLE TX	84601.00
CASH PRICE OF VEHICLE	84601.00
LESS TRADE-IN	N.A.
SUBTOTAL	84601.00
SALES TAX	EXEMPT
DOC FEE	199.00
TOTAL AMOUNT DUE	84800.00
LESS CASH WITH ORDER	
CASH BALANCE DUE ON DELIVERY	84800.00

NOTES:

P.O. 202208

BUYER'S SIGNATURE _____ DATE 08/17/22
(NAME AND TITLE)

ACCEPTED BY CARPENTER BUS LLC PER _____
(NAME AND TITLE)

A Tradition of Trust

Senior Center of Walker County Remodel/Updates

- I. **Freezer Room (new item)**-needs to have inner wall removed so that we have enough ventilation for an additional freezer. **This need is most important as we have a significant increase in demand for additional meals but no way to store them at this time. We have a freezer ordered (2/3 the size of the current one to add but must have space/ventilation prior to installing)** This project includes but not limited to:
 - A. removing inner wall between two storage rooms (old fire panel may need to move to a different wall if it is still functioning for SCWC)
 - B. vent both (old and new) freezers to outside through window.
 - C. Remove old carpet (at least 12 years old) in both storage rooms and paint/seal concrete (if possible) or restore with laminate flooring
 - D. Miscellaneous (for the idea if I forgot something on this list)
- II. Areas previously discussed:
 - A. **Emergency Shelter Restroom/Laundry Room**-remove the old shower insert and install a new one
 1. Paint and update walls
 2. Remove old shelving around washer/dryer and install shelving that will accommodate our needs
 3. Remove old flooring and install new wood-like laminate flooring and cove base
 4. New sink/commode (defer to maintenance if this is necessary)
 5. Miscellaneous (for the idea if I forgot something on this list)
 - B. **Restrooms**-
 1. Remove existing vinyl flooring and install new water-proof wood-like laminate flooring and cove base
 2. Remove old tile, wallpaper, piece-meal repair work, all wall furnishings (dispensers, etc) and install new tile and paint on walls, reinstall soap dispensers/paper towel dispensers that are necessary (both restrooms)
 3. Remove and install new restroom separators
 4. Remove the door from the hinges in ladies' room so that we have a handicap accessible entrance
 5. Close off the door in men's room and create a new entrance on the wall facing the hall (handicap accessible)
 6. Install new sinks/commodes/urinal if necessary (defer to maintenance)
 7. Miscellaneous (for the idea if I forgot something on this list)
 - C. Additional Storage Areas

Previously we requested two new storage areas to be built inside our building. However, we have alleviated that need. (See items A-C below for details)

- A. Medical Equipment Storage-has always been in WC Housing storage room that has been designated by Housing to us
- B. Miscellaneous Storage-this room is across from the Med Equip Storage in WC Housing and I just found out that it had previously been designated by Housing as ours
- C. Confidential Records Storage-In July, WC Housing offered the small restroom (between the two storage areas we currently have) that can serve as our records storage room.

So with the following updates, we will have our storage issues resolved with less cost to the County than building two additional storage areas.

Those updates are:

1. Remove existing flooring (carpet and vinyl) and seal/paint concrete in all three areas.
2. Change the doorknobs so that Medical Equipment and Miscellaneous Storage Areas have same locks/keys and a separate key for Confidential Records room.
3. In Miscellaneous Storage-remove old sink and cap-off, and paint the walls.
4. In Confidential Records Storage-remove old sink, and all other restroom equipment from walls, etc and paint.

July 21, 2022

Re: Imposition of Optional Fees for Calendar Year (CY) 2023

To the Honorable County Judge:

County commissioners courts are statutorily required to notify the Texas Department of Motor Vehicles (TxDMV) each year regarding the imposition or removal of optional fees. Notice must be made to TxDMV each year by September 1, with new fees taking effect on January 1 of the following year. This letter and attachments will provide information on how to submit the Calendar Year (CY) 2023 notification to TxDMV. The following is a brief description of the related optional county fees from Chapter 502 of the Transportation Code:

County Road and Bridge Fee (Section 502.401):

- May not exceed \$10; and
- Revenue must be credited to the county road and bridge fund.

Child Safety Fee (Section 502.403):

- May not exceed \$1.50; and
- Revenue must be used for school crossing guard services; remaining funds must be used for programs to enhance child safety, health, or nutrition, including child abuse intervention and prevention, and drug and alcohol abuse prevention, among other purposes.

Transportation Project Fee (Section 502.402):

- Applies **ONLY** to Bexar, Brazos, Cameron, El Paso, Hidalgo and Webb counties;
- May not exceed \$10 for Bexar, El Paso and Hidalgo counties;
- May not exceed \$20 for Brazos, Cameron, and Webb counties; and
- Revenue must be used for long-term transportation projects.

Please complete and return the attached *Imposition of Optional Fees* form. If your county will keep the same optional fees for CY 2023, please select OPTION A. If your county will change imposed fees, please select OPTION B and include a copy of a commissioners court order reflecting the specific changes.

DEADLINE: Please return the form and commissioners court order, if applicable, by Thursday, September 1, 2022, via email to DMV_OptionalCountyFeeUpdates@TxDMV.gov (note the underscore between DMV and Optional).

If you have any questions, please contact Maureen Vale, Registration Services, at 512-465-5601. Thank you for your timely response.

Sincerely,



Roland D. Luna, Sr., Deputy Executive Director
Texas Department of Motor Vehicles

RL:CT:MV

Attachments

cc: County tax assessor-collectors




Imposition of Optional Fees Calendar Year (CY) 2023

INSTRUCTIONS: All counties must complete and return this form, even if there are no changes to fees for the upcoming calendar year. Please submit this form (including a court order, if required) via email to DMV_OptionalCountyFeeUpdates@TxDMV.gov.

Please submit at your earliest convenience, but no later than **Thursday, September 1, 2022**.

COUNTY NAME: _____

SELECT ONLY ONE OPTION BELOW:

☐ **OPTION A – No change. This county will charge the same fees in CY 2023.** 
Submit this form to TxDMV. A copy of a commissioners court order is NOT required.

OR

☐ **OPTION B – The commissioners court has approved fee changes for CY 2023.**
Submit this form and a copy of the commissioners court order to TxDMV.

Enter amounts for each fee, even those that did not change. Enter zero (0), if necessary.
CY 2023 fees to be collected by your county:

Road and Bridge Fee: \$ _____

Child Safety Fee: \$ _____

Transportation Project Fee (applicable to Bexar, Brazos, Cameron, El Paso, Hidalgo and Webb counties only): \$ _____

Total fee amount to be collected in CY 2023: \$ _____

We appreciate your response. Thank you.

Proclamation 2022-104
Gulf Coast Trades Center 50th Anniversary

WHEREAS, Gulf Coast Trade Center was established in 1971 on 57 acres in the Sam Houston National Forest; and

WHEREAS, the facility provides at-risk youth opportunity and hope for a better future through a structured living environment, education and vocational trades; and

WHEREAS, the Raven School, founded in 1992, offers students the chance to work towards a GED or high school diploma;

WHEREAS, the building trades, automotive training, and culinary arts programs teaches employable skills; and

WHEREAS, over 28,000 students have been served since the Center's inception over 50 years ago; and

WHEREAS, Gulf Coast Trade Center continues to provide quality youth development programs with experienced staff that help students achieve their potential; and

WHEREAS, Walker County recognizes the benefit Gulf Coast Trades Center offers not only to the young people attending, but also to the community, and the State of Texas.

NOW, THEREFORE, Walker County Commissioners Court celebrates the 50th anniversary of Gulf Coast Trades Center and the accomplishments of the Center, staff, and students.

Signed this _____ day of August, 2022.

Danny Pierce
County Judge

Danny Kuykendall
Commissioner, Precinct 1




Ronnie White
Commissioner, Precinct 2

Bill Daugette
Commissioner, Precinct 3

Jimmy D. Henry
Commissioner, Precinct 4

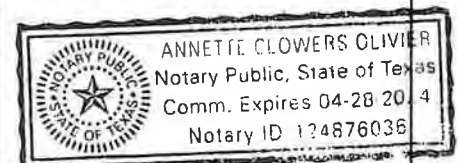
WALKER COUNTY PLAT APPLICATION

If any section is not applicable to the proposed development project please mark that section "NA"
All references to the Walker County Subdivision Regulations will be abbreviated WCSR in this document.

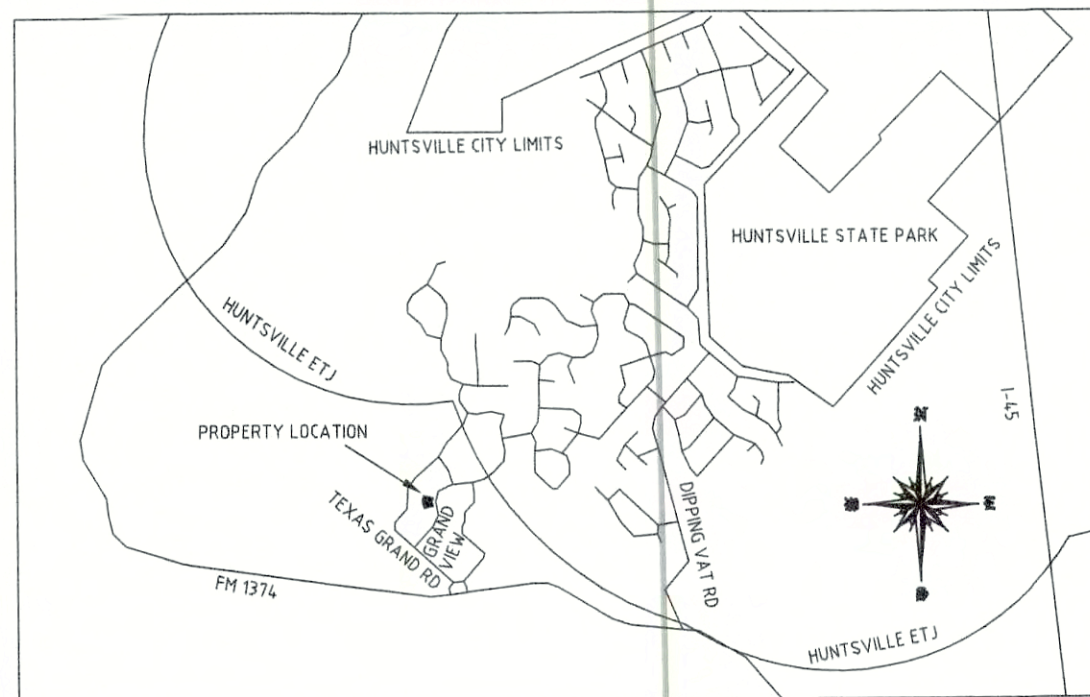
SECTION A - OWNER / APPLICANT INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Last Name Brown	A2. Property Owner's First Name Michael	Application Number: P# 2022-026
A3. Mailing Address 		Date of Submittal: 7-12-22
		Precinct Number: 2
City ↑	State	ZIP Code
A4. Primary Telephone Number 	A5. Alternate Phone Number	
A6. Email Address 	A7. Name of Lienholder (If no lienholder mark "None")	
SECTION B - PROFESSIONAL SERVICES Owner shall provide the names of the Professional Engineer, Registered Professional Land Surveyor, and any Authorized Representative for the Plat Application. By including the information of an Authorized Representative on the application the Owner/Applicant agrees that this individual is given authority to sign for, submit, receive, and make any decisions related to the submitted application on behalf of the owner. In the case that the owner wishes to retract this authority, the Owner/Applicant shall submit this retraction in writing to the Planning and Development Office. If no Authorized Representative is named then all communications related to the project will be submitted to the Owner/Applicant. All correspondence, including but not limited to notices, approvals, disapprovals, and conditions are authorized to be sent to any listed Mailing Address or Electronic Mail account.		
B1. Name of Registered Professional Land Surveyor (R.P.L.S.) Michael C Warren 4935	B2. Phone Number of R.P.L.S. 936-539-5444	
B3. Email of R.P.L.S. Jessica@survcorp.com	B4. Mailing Address of R.P.L.S. Survtech Corp. PO Box 1080 Conroe TX 77305	
B5. Name of Professional Engineer	B6. Phone Number of P.E.	
B7. Email of P.E.	B7. Mailing Address of P.E.	
B9. Name of Authorized Representative	B10. Phone Number of Authorized Representative.	
B11. Email of Authorized Representative	B12. Mailing Address of Authorized Representative.	

SECTION C – PARENT TRACT PROPERTY INFORMATION <i>Information for the tract or tracts of land that are the subject of the plat application</i>				
C1. Is the property located within the city limits of Huntsville, New Waverly, or Riverside? (Mark with "X")			*Yes	<input checked="" type="checkbox"/> No
<i>*If the answer to C1 is "Yes" then the applicant will need to apply to the City having jurisdiction.</i>				
C2. Is the property within two miles of the City of Huntsville? (Mark with "X")			*Yes	<input checked="" type="checkbox"/> No
<i>*If the answer to C2 is "Yes" then the applicant will need to submit any plat applications to the City of Huntsville.</i>				
C3. Is the property within 1/2 mile of the City of New Waverly? (Mark with "X")			Yes	<input checked="" type="checkbox"/> No
<i>The Abstract, Tract #, and Survey Name are generally included in the property description on the deed, the Geographic Id # can be obtained from the Walker County Appraisal District, the Appraisal District Map or the most recent property tax statement issued for the property. If a property is in a platted subdivision items B10 – B13 must be filled out using information from the property deed, if not in a platted subdivision mark these sections "NA"</i>				
C4. Property Acreage	C5. Appraisal Geographic ID # 8360-003-0-02600 02700	C6. Survey Name		C7. Abstract #
Section C8 – C11 are for Amending Plat and Replat Applications only.				
C8. Subdivision Name Texas Grand Ranch		C9. Lot #s 20 & 27	C10. Block # 3	C11. Section # 1
C12. Deed Record Filing Information for Parent Tract (s) (WCDR and WCOPR are the record sets of the County Clerk - Mark the record set with an "X" If more than one tract please indicate multiple deeds.				
Volume / Document # <i>Inst. # 78907</i>	Page	<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)	
		<input checked="" type="checkbox"/>	Walker County Official Public Records (WCOPR)	
Volume / Document # <i>1188</i>	Page <i>214</i>	<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)	
		<input checked="" type="checkbox"/>	Walker County Official Public Records (WCOPR)	
Volume / Document #	Page	<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)	
		<input type="checkbox"/>	Walker County Official Public Records (WCOPR)	
Volume / Document #	Page	<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)	
		<input type="checkbox"/>	Walker County Official Public Records (WCOPR)	
SECTION D – APPLICATION TYPE <i>Please choose a single application type from the list below and mark with an "X".</i>				
D1. _____ Plat Application (This application is required for all plat applications including improvements <u>or</u> including more than 4 lots)				
D2. _____ Minor Plat Application (This application is required for minor subdivisions with no proposed infrastructure <u>and</u> 4 or less lots.)				
D3. <input checked="" type="checkbox"/> Re-Plat / Amending Plat Application (This application is required to alter or amend a previously platted subdivision)				
D4. _____ Exception Application (This application is required in order to obtain approval for subdivisions excepted from the WCSR.)				
SECTION E - REQUEST FOR A GUIDANCE REVIEW				
The request for a guidance review is only allowable if an application is submitted incomplete. The guidance review is voluntary and must be requested by the owner/applicant below and authorized by the County. This review of the submitted documents prior to a complete application is outside the standard review timelines, however the applicant/ owner may proceed to submit a complete application without awaiting the results of this review. If at any time during the Guidance Review process a completed application is submitted then the Guidance Review will cease, and the incomplete results of the review will not be forwarded to the applicant. Any deficiencies or comments released as part of the guidance review are not to be considered as a final review, but are collected to assist the owner and owner's agents in their efforts to comply with the regulations.				
E1. The Developer/Owner does hereby voluntarily make a request for a "Guidance Review" of the application if the application is found to be incomplete.			<input checked="" type="checkbox"/> Yes, a review is requested	<input type="checkbox"/> No, a review is not requested

SECTION F - SUBDIVISION APPLICATION DE _S <small>(The # of Proposed Lots shall include any Reserve or Remainders Created by the Subdivision)</small>			
F1. Original Acreage <div style="font-size: 1.2em;">2 lots</div>	F2. Original # of Tracts <div style="font-size: 1.2em;">26/27</div>	F3. # of Proposed Lots <div style="font-size: 1.2em;">26 A</div>	F4. Proposed Name of Subdivision <div style="font-size: 1.2em;">TEXAS GRAND RANCH</div>
SECTION G - ENGINEERING AND PROPOSED IMPROVEMENTS			
G1. Will the proposed subdivision utilize a public water system?			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
G2. Will the proposed subdivision utilize individual on-site sewage facilities?			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
G3. Will the proposed subdivision include the construction of road, drainage, or other improvements regulated by the WCSR?			<input type="checkbox"/> Yes * <input checked="" type="checkbox"/> No
G4. If the answer to G3 is "Yes" then what is the estimated cost of construction of all regulated improvements?			
G5. If the answer to G3 is "Yes" then what is the approximate length of all proposed roads in linear feet?			
G6. Will the proposed subdivision access from or across a Texas Department of Transportation system road?			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SECTION H - CERTIFICATIONS AND ACKNOWLEDGEMENTS			
<p>I, the below signed individual, am the legal owner or legal representative of the owner of the property described in this application, and do hereby certify that the information contained in this application is a true and correct under penalty of law. The below signature further represents my understanding, agreement, and acceptance of the following items:</p> <ol style="list-style-type: none"> 1. Authorization is hereby given to Walker County and its representatives to enter onto the private property described in the application for the purpose of inspection and regulation related to this application and the applicable regulations. 2. I have read and understand the requirements of the Walker County Subdivision Regulations, and understand it is my responsibility to comply with all the requirements therein. 3. The completion and acceptance of this application by Walker County in no way shall be construed as a guarantee that the proposed construction will be approved for installation. This application may be rejected as incomplete for 10 business days after the original submittal of the application at any point without any refund of the application fee. This includes that no refund shall be given for applications submitted incomplete or applications withdrawn. The applicant also recognizes that additional resubmittals, applications, or responses after the initial application may result in a fee increase to the original application fee, and that any increase in the fee must be paid when the additional submittal is submitted. 4. The completion and acceptance of this application is not an authorization to perform any activity. A final approval of the application and approval of the plat for filing must be made in writing prior to any subdivision of property or filing of any plat. I understand that any approvals made related to this application are made subject to the minimum requirements of the Walker County Subdivision Regulations. 5. If no direct variance is granted to the Walker County Subdivision Regulations or other State or Federal requirements then no approval under this application shall be construed to provide a waiver to compliance with those regulations and the Owner/Applicant is still fully responsible for compliance with said regulations. 6. The fee for the subdivision applications may be calculated based on variable factors including cost of construction, number of lots, length of road centerline, and the quantity of revisions, replacement applications, and responses. The initial calculated fee charged at the original submittal may increase during the application timeline if any of these variables change or are calculated in error. Any increase in the fee must be paid as part of any submittal of a revision, replacement, or response to an application. 7. I hereby release, indemnify, and hold harmless Walker County and its employees and agents for any and all claims, costs, or liabilities, expressly including alleged negligence, or for any damages to property or persons arising from the inspection, construction, development, design, or review related to this application or occurring under any permit issued in relation to this application. I understand that I and my agents are completely and wholly responsible for the design and construction of all necessary improvements to local, State, and Federal Standards. 8. I certify that all necessary permits from those Federal, State, or local government agencies (including but not limited to Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334 (Corps of Engineers), Texas Commission on Environmental Quality, Texas Historical Commission, United States Fish and Wildlife (Endangered Species), Texas Water Development Board, TXDQT, and City Approvals, etc.) have been obtained. 			
Signature <u><i>Michael Eugene Brown</i></u>		Date <u>7-12-22</u>	Printed Name <u>Michael Eugene Brown</u> <u>Therese Ruth Brown</u>
THE STATE OF <u>Texas</u> § COUNTY OF <u>Walker</u> § Before me <u>Annette C. Olivier</u> a notary public on this day personally appeared <u>Michael & Therese Brown</u> , known to me (or proved to me) to be the person whose name is subscribed to the forgoing instrument and acknowledged to me that he executed the same for purposes and consideration there in expressed. Given under my hand and seal of officer this <u>12th</u> Day of <u>July</u> , 2022			



VICINITY MAP (NOT TO SCALE)



PLAT NOTES:

- 1) THE 2nd AMENDING FINAL PLAT OF TEXAS GRAND RANCH SECTION IS RECORDED IN VOL. 6, PAGE 34.
- 2) THE BEARINGS SHOWN HEREON ARE BASED UPON NAD83, TEXAS CENTRAL ZONE.
- 3) BASED ON FEMA INSURANCE MAPS, REVISED 16 AUGUST 2011, WALKER COUNTY 481042, MAP 48471C0500D, PANEL 0500D, THIS TRACT IS LOCATED WITH FLOOD HAZARD ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).
- 4) MONUMENTS SHOWN HEREON AS FOUND ARE CONTROLLING MONUMENTS, UNLESS OTHERWISE NOTED.
- 5) THIS TRACT IS SUBJECT TO THE MOST CURRENT COVENANTS, CONDITIONS, AND RESTRICTIONS FOR TEXAS GRAND RANCH, A COPY WHICH CAN BE FOUND ON THE PUBLIC RECORDS OF WALKER COUNTY, TEXAS.
- 6) THE WAS COMPLETED WITHOUT ABSTRACT OF TITLE. THERE MAY BE ADDITIONAL EASEMENTS AND OTHER MATTERS NOT SHOWN.

CERTIFICATION BY THE SURVEYOR

This is to certify that the undersigned, a registered professional land surveyor of the State of Texas, has platted the above subdivision from an actual survey on the ground; that this plat correctly represents the survey; and that all boundary corners, angle points and points of curvature or tangency are properly monumented.

Michael Warren
Registered Professional Land Surveyor No. 4935



COMMISSIONER'S COURT APPROVAL

This is to certify that the Commissioners Court of Walker County, Texas has on the ____ day of _____, 2022, approved this Replat of Lot 26A, Block 3, Texas Grand Ranch, Section 1, a subdivision in Walker County, Texas

Danny Pierce
County Judge

Danny Kuykendall
Commissioner Precinct 1

Ronnie White
Commissioner Precinct 2

Bill Daugette
Commissioner Precinct 3

Jimmy D. Henry
Commissioner Precinct 4

REPLAT OF LOTS 26 & 27

LOT 26A

BLOCK 3, SECTION 1
TEXAS GRAND RANCH
J. LEMAN SURVEY, A-327

SURVEYED JUNE 2022



CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS
COUNTY OF WALKER

We, Michael & Therese Brown, the undersigned owners of the land shown on this plat, and designated as A REPLAT OF LOTS 26 & 27, LOT 26A, BLOCK 3, TEXAS GRAND RANCH SECTION 1 in Walker County Texas, and whose name is subscribed hereto, do hereby dedicate to the use of the public forever all streets, parks, easements and public places shown thereon for the purpose and consecration therein expressed.

Michael Brown

Therese Brown

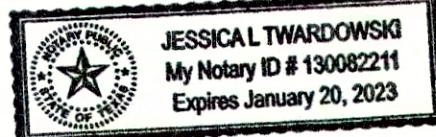
OWNER / DEVELOPER
Michael & Therese Brown
173 Grand View
Huntsville, Texas 77340

NOTARY PUBLIC ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF WALKER

This Instrument was acknowledged before me on the 8th day of July, 2022, by Michael Brown and Therese Brown.

Jessica L. Twardowski
Notary Public for State of Texas

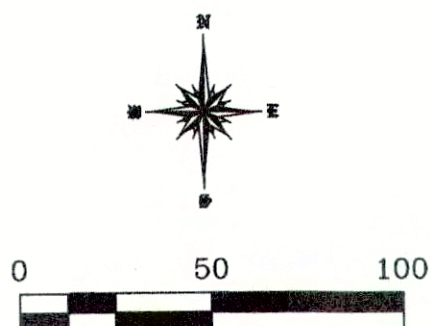


CERTIFICATION BY THE COUNTY CLERK

STATE OF TEXAS
COUNTY OF WALKER

I, Kari A. French, County Clerk in and for Walker County, do hereby certify that this plat with it certificates of authentication was filed for record in my office the ____ day of _____, 20____, in the Plat Records of Walker County in Volume ____ Page ____.

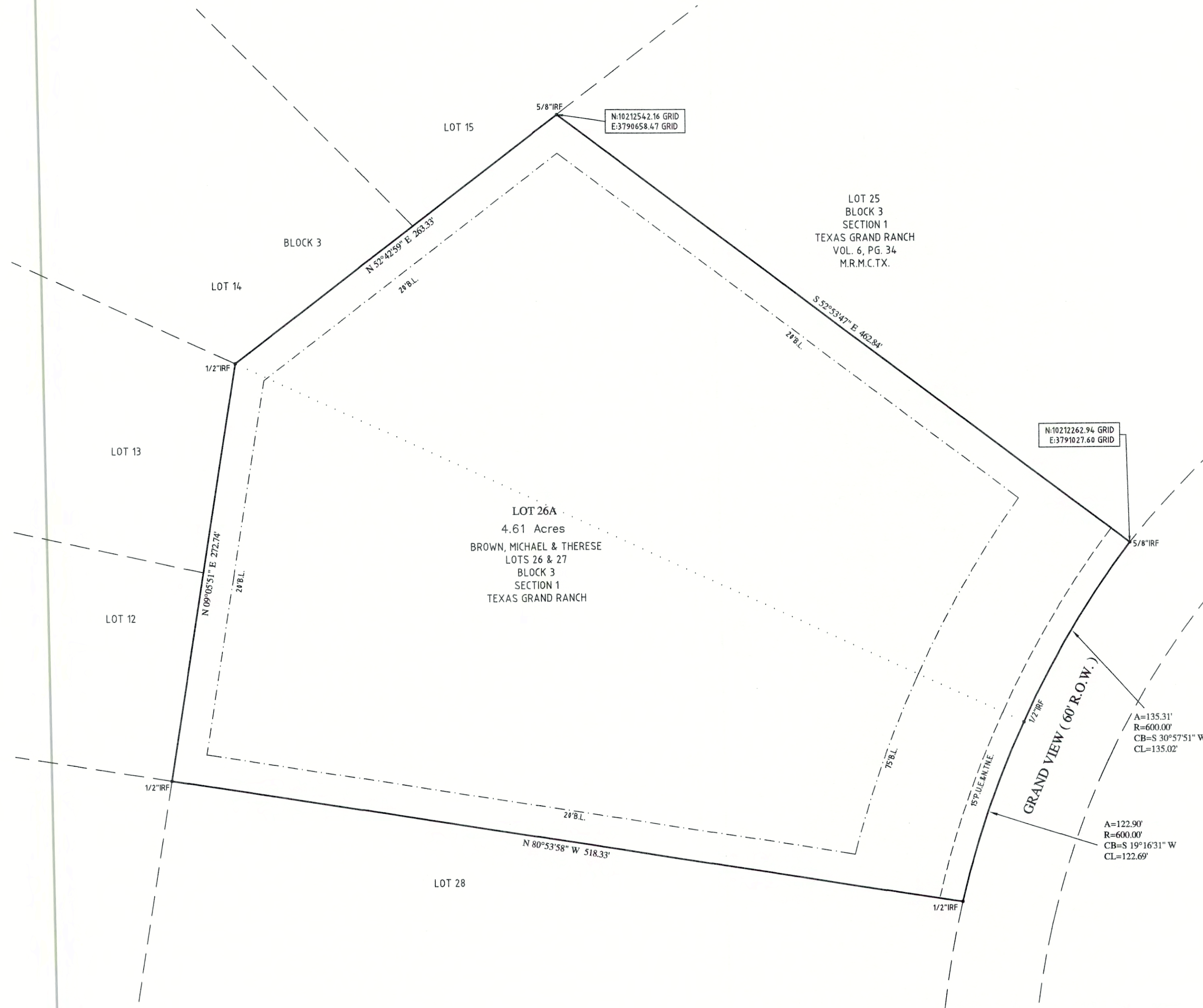
Kari A. French, County Clerk
Walker County, Texas



LINE & SYMBOL LEGEND

- 1) IRF= IRON ROD FOUND
- 2) IR= IRON ROD SET, CAPPED SURVTECH
- 3) D.R.W.C.TX= DEED RECORDS OF WALKER COUNTY TEXAS
- 4) M.R.W.C.TX= MAP RECORDS OF WALKER COUNTY TEXAS
- 5) BL= BUILDING LINE
- 6) PUB= PUBLIC UTILITY EASEMENT
- 7) NTE= NATURE TRAIL EASEMENT

THIS SURVEY IS BEING PROVIDED TO THE RECIPIENTS NAMED ABOVE AND NO LICENSE HAS BEEN CREATED. TO COPY THE SURVEY EXCEPT IN CONNECTION WITH THE ORIGINAL TRANSACTION, WHICH SHALL TAKE PLACE WITHIN NINETY (90) DAYS FROM THE DATE OF THE SURVEY AS SHOWN ABOVE.



WALKER COUNTY PLAT APPLICATION

If any section is not applicable to the proposed development project please mark that section "NA"
All references to the Walker County Subdivision Regulations will be abbreviated WCSR in this document.

SECTION A – OWNER / APPLICANT INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Last Name BROWDER	A2. Property Owner's First Name MOLLY	Application Number: P - 2022-027
A3. Mailing Address <div style="background-color: black; height: 20px; width: 100%;"></div>		Date of Submittal: 7-20-22
		Precinct Number: 4
City WILLIS	State TEXAS	ZIP Code 77378
A4. Primary Telephone Number	A5. Alternate Phone Number	
A6. Email Address	A7. Name of Lienholder (If no lienholder mark "None")	
SECTION B – PROFESSIONAL SERVICES		
<p>Owner shall provide the names of the Professional Engineer, Registered Professional Land Surveyor, and any Authorized Representative for the Plat Application. By including the information of an Authorized Representative on the application the Owner/Applicant agrees that this individual is given authority to sign for, submit, receive, and make any decisions related to the submitted application on behalf of the owner. In the case that the owner wishes to retract this authority, the Owner/Applicant shall submit this retraction in writing to the Planning and Development Office. If no Authorized Representative is named then all communications related to the project will be submitted to the Owner/Applicant. All correspondence, including but not limited to notices, approvals, disapprovals, and conditions are authorized to be sent to any listed Mailing Address or Electronic Mail account.</p>		
B1. Name of Registered Professional Land Surveyor (R.P.L.S.) MIKE NAMKEN	B2. Phone Number of R.P.L.S. 936-661-3325	
B3. Email of R.P.L.S. mike_namken@yahoo.com	B4. Mailing Address of R.P.L.S. 1025 12th Street Huntsville, TX 77340	
B5. Name of Professional Engineer	B6. Phone Number of P.E.	
B7. Email of P.E.	B7. Mailing Address of P.E.	
B9. Name of Authorized Representative Michael Namken	B10. Phone Number of Authorized Representative. 936-661-3325	
B11. Email of Authorized Representative	B12. Mailing Address of Authorized Representative.	

SECTION C – PARENT TRACT PROPERTY INFORMATION
Information on the tract or tracts of land that are the subject of the plat application

C1. Is the property located within the city limits of Huntsville, New Waverly, or Riverside? (Mark with "X") ☐ Yes ☒ No

**If the answer to C1 is "Yes" then the applicant will need to apply to the City having jurisdiction.*

C2. Is the property within two miles of the City of Huntsville? (Mark with "X") ☐ Yes ☒ No

**If the answer to C2 is "Yes" then the applicant will need to submit any plat applications to the City of Huntsville.*

C3. Is the property within 1/2 mile of the City of New Waverly? (Mark with "X") ☐ Yes ☒ No

The Abstract, Tract #, and Survey Name are generally included in the property description on the deed, the Geographic Id # can be obtained from the Walker County Appraisal District, the Appraisal District Map or the most recent property tax statement issued for the property. If a property is in a platted subdivision items B10 – B13 must be filled out using information from the property deed, if not in a platted subdivision mark these sections "NA"

C4. Property Acreage	C5.. Appraisal Geographic ID #	C6. Survey Name	C7. Abstract #
5.79 AC	12307	JOSE MARIA DE LA GARZA GRANT	22 & 18

Section C8 – C11 are for Amending Plat and Replat Applications only.

C8. Subdivision Name	C9. Lot #s	C10. Block #	C11. Section #
KENNETH BROWDER SUBDIVISION	1		

C12. Deed Record Filing Information for Parent Tract (s) (WCDR and WCOPR are the record sets of the County Clerk - Mark the record set with an "X") If more than one tract please indicate multiple deeds.

Volume / Document #	Page	<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)
		<input checked="" type="checkbox"/>	Walker County Official Public Records (WCOPR)
1078	727	<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)
		<input type="checkbox"/>	Walker County Official Public Records (WCOPR)
		<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)
		<input type="checkbox"/>	Walker County Official Public Records (WCOPR)
		<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)
		<input type="checkbox"/>	Walker County Official Public Records (WCOPR)
		<input type="checkbox"/>	Walker County Deed Records (WCDR) (Generally before 1986)
		<input type="checkbox"/>	Walker County Official Public Records (WCOPR)

SECTION D – APPLICATION TYPE

Please choose a single application type from the list below and mark with an "X".

- D1. _____ **Plat Application** (This application is required for all plat applications including improvements or including more than 4 lots)
- D2. _____ **Minor Plat Application** (This application is required for minor subdivisions with no proposed infrastructure and 4 or less lots.)
- D3. **X** **Re-Plat / Amending Plat Application** (This application is required to alter or amend a previously platted subdivision)
- D4. _____ **Exception Application** (This application is required in order to obtain approval for subdivisions excepted from the WCSR.)

SECTION E - REQUEST FOR A GUIDANCE REVIEW

The request for a guidance review is only allowable if an application is submitted incomplete. The guidance review is voluntary and must be requested by the owner/applicant below and authorized by the County. This review of the submitted documents prior to a complete application is outside the standard review timelines, however the applicant/ owner may proceed to submit a complete application without awaiting the results of this review. If at any time during the Guidance Review process a completed application is submitted then the Guidance Review will cease, and the incomplete results of the review will not be forwarded to the applicant. Any deficiencies or comments released as part of the guidance review are not to be considered as a final review, but are collected to assist the owner and owner's agents in their efforts to comply with the regulations.

E1. The Developer/Owner does hereby voluntarily make a request for a "Guidance Review" of the application if the application is found to be incomplete.	X	Yes, a review is requested	No, a review is not requested
---	----------	----------------------------	-------------------------------

SECTION F – SUBDIVISION APPLICATION DETAILS

(The # of Proposed Lots shall include any Reserve or Remainders Created by the Subdivision)

F1. Original Acreage 5.78 AC	F2. Original # of Tracts 1	F3. # of Proposed Lots 2	F4. Proposed Name of Subdivision REPLAT OF LOT 1 KENNETH BROWDER SUBDIVISION
--	--------------------------------------	------------------------------------	--

SECTION G – ENGINEERING AND PROPOSED IMPROVEMENTS

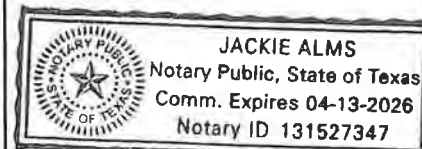
G1. Will the proposed subdivision utilize a public water system?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
G2. Will the proposed subdivision utilize individual on-site sewage facilities?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
G3. Will the proposed subdivision include the construction of road, drainage, or other improvements regulated by the WCSR?	<input type="checkbox"/> Yes *	<input checked="" type="checkbox"/> No
G4. If the answer to G3 is "Yes" then what is the estimated cost of construction of all regulated improvements?		
G5. If the answer to G3 is "Yes" then what is the approximate length of all proposed roads in linear feet?		
G6. Will the proposed subdivision access from or across a Texas Department of Transportation system road?	<input type="checkbox"/> Yes	<input type="checkbox"/> No

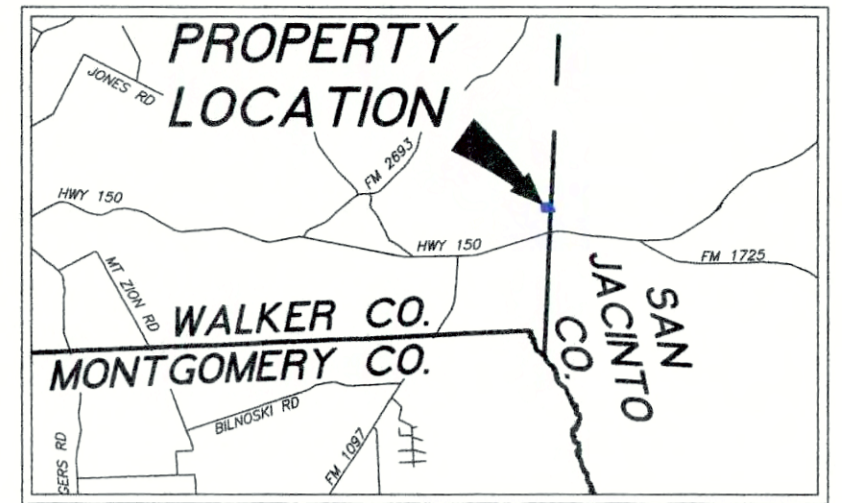
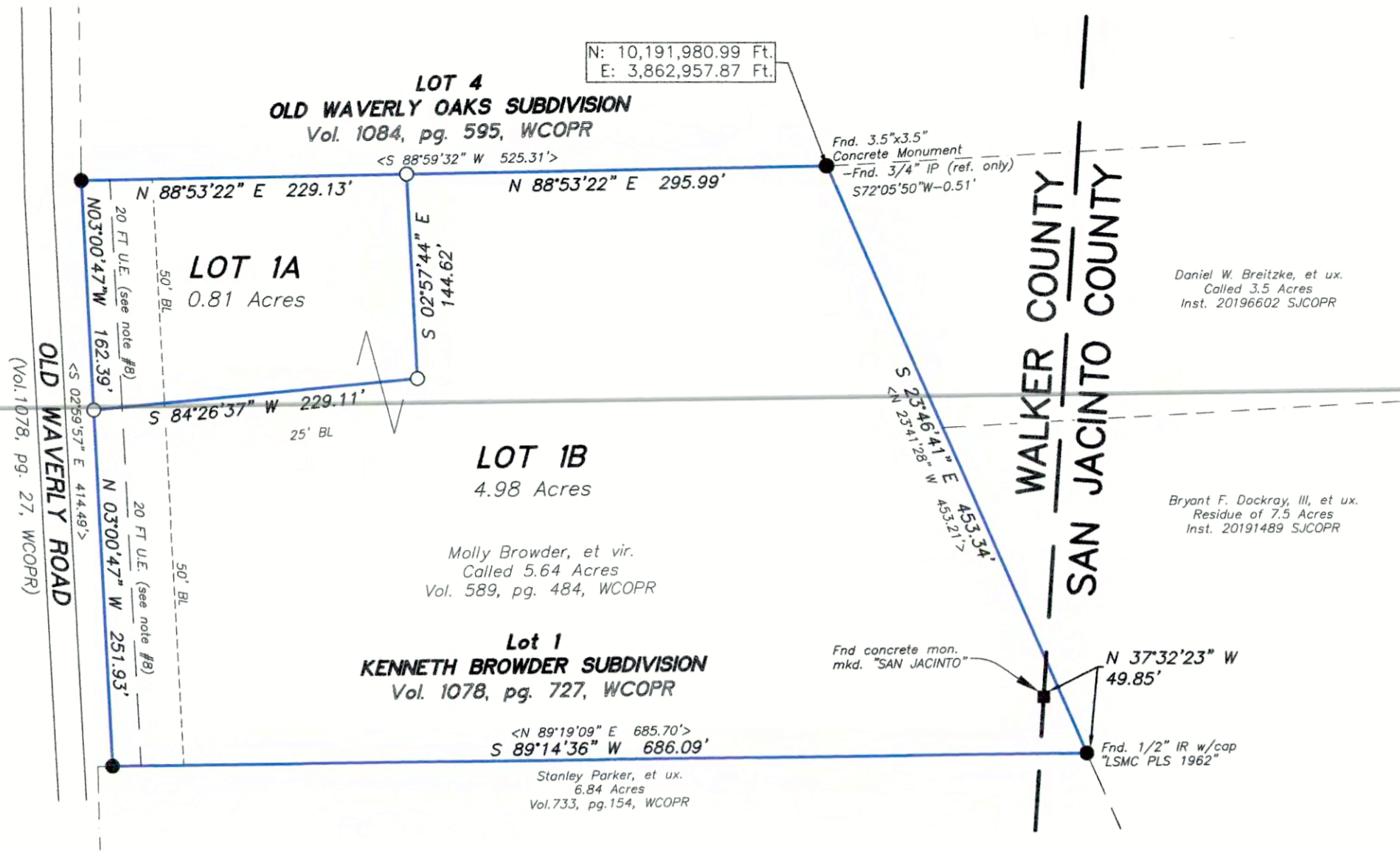
SECTION H – CERTIFICATIONS AND ACKNOWLEDGEMENTS

I, the below signed individual, am the legal owner or legal representative of the owner of the property described in this application, and do hereby certify that the information contained in this application is a true and correct under penalty of law. The below signature further represents my understanding, agreement, and acceptance of the following items:

1. Authorization is hereby given to Walker County and its representatives to enter onto the private property described in the application for the purpose of inspection and regulation related to this application and the applicable regulations.
2. I have read and understand the requirements of the Walker County Subdivision Regulations, and understand it is my responsibility to comply with all the requirements therein.
3. The completion and acceptance of this application by Walker County in no way shall be construed as a guarantee that the proposed construction will be approved for installation. This application may be rejected as incomplete for 10 business days after the original submittal of the application at any point without any refund of the application fee. This includes that no refund shall be given for applications submitted incomplete or applications withdrawn. The applicant also recognizes that additional resubmittals, applications, or responses after the initial application may result in a fee increase to the original application fee, and that any increase in the fee must be paid when the additional submittal is submitted.
4. The completion and acceptance of this application is not an authorization to perform any activity. A final approval of the application and approval of the plat for filing must be made in writing prior to any subdivision of property or filing of any plat. I understand that any approvals made related to this application are made subject to the minimum requirements of the Walker County Subdivision Regulations.
5. If no direct variance is granted to the Walker County Subdivision Regulations or other State or Federal requirements then no approval under this application shall be construed to provide a waiver to compliance with those regulations and the Owner/Applicant is still fully responsible for compliance with said regulations.
6. The fee for the subdivision applications may be calculated based on variable factors including cost of construction, number of lots, length of road centerline, and the quantity of revisions, replacement applications, and responses. The initial calculated fee charged at the original submittal may increase during the application timeline if any of these variables change or are calculated in error. Any increase in the fee must be paid as part of any submittal of a revision, replacement, or response to an application.
7. I hereby release, indemnify, and hold harmless Walker County and its employees and agents for any and all claims, costs, or liabilities, expressly including alleged negligence, or for any damages to property or persons arising from the inspection, construction, development, design, or review related to this application or occurring under any permit issued in relation to this application. I understand that I and my agents are completely and wholly responsible for the design and construction of all necessary improvements to local, State, and Federal Standards.
8. I certify that all necessary permits from those Federal, State, or local government agencies (including but not limited to Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334 (Corps of Engineers), Texas Commission on Environmental Quality, Texas Historical Commission, United States Fish and Wildlife (Endangered Species), Texas Water Development Board, TXDOT, and City Approvals, etc.) have been obtained.

Signature <i>Molly Browder</i>	Date 7-25-2022	Printed Name Molly Browder
THE STATE OF <u>TEXAS</u> § COUNTY OF <u>WALKER</u> §		
Before me <u>JACKIE ALMS</u> a notary public on this day personally appeared <u>Molly Browder</u> , known to me (or proved to me) to be the person whose name is subscribed to the forgoing instrument and acknowledged to me that he executed the same for purposes and consideration there in expressed.		
Given under my hand and seal of office this <u>25TH</u> Day of <u>July</u> , 20 <u>22</u>		





- LEGEND
- Set 5/8" Iron Rod with cap mkd. "MICHAEL A. NAMKEN RPLS 6533"
 - Found 5/8" Iron Rod with cap mkd. "ELLISTON, RPLS 4781", unless otherwise noted
 - Found Concrete Monument as Described
 - PUE Public Utility Easement
 - WCOR Walker County Deed Records
 - WCOPR Walker County Official Public Records
 - WCOR Walker County Official Records
 - WCPR Walker County Plat Records

NOTES:

- The purpose of this replat is to create Lots 1A and 1B out of Lot 1 of the KENNETH BROWDER SUBDIVISION recorded in Vol. 1078, pg. 727, WCOPR.
- Bearings, Distances, Coordinates, Elevations and Acreages hereon are referenced to the Texas State Plane Coordinate System, Central Zone, NAD 83 (2011), NAVD 88 (GEOID 18) and based upon N.G.S. OPUS post-processing and GPS Observations. Said OPUS solution is based on NGS CORS ID RODI (PID DJ8995), TXLV (PID DN4508) and TXCN (PID DH3604). Distances are U.S. Survey Feet (Grid) and may be converted to geodetic horizontal (surface) by dividing by a Combined Scale factor of 0.999990041.
- Based on FEMA Insurance Maps, revised 16 August 2011, Walker County #481042, Map #48471C0550D, Panel 0550D, this Tract is located within Flood Hazard Zone "X" (areas outside the 0.2% annual chance floodplain). Based on the graphic location of the available GIS data from the Federal Emergency Management Agency (FEMA) Flood Map Service Center (<https://msc.fema.gov/portal/search>) superimposed upon the subject tract, and based on the FEMA Flood Insurance Rate Map, revised 04 November 2010, San Jacinto County #480553, Map No. 48407C0200C, Panel 0200C, this property is located within Flood Hazard Zone "X" OTHER AREAS (areas determined to be outside the 0.2% annual chance floodplain). This statement does not imply that any portion of the subject tract is free of potential flood hazard; localized flooding can occur due to natural and/or man-made influences. This flood statement shall create no liability on the part of Namken, Inc. or the undersigned.
- Monuments shown hereon as found are controlling monuments, unless noted as reference only.
- This survey was completed without an Abstract of Title. There may be additional easements and other matters not shown hereon.
- All owners of lots within the subdivision shall have the responsibility of complying with the Walker County Subdivision Regulations' policies on drainage runoff due to the development of impervious areas created through the development of the lot for residential, commercial, or recreational use. It is the responsibility of lot owners to comply with any regulations or limitations noted, and permits issued by Walker County for development do not act as a waiver or variance of the lot owner's responsibility to provide for excess runoff and drainage created by the permitted development. If detention of water is necessary in order to comply with the local, state, or federal regulations including but not limited to the Walker County Subdivision Regulations then the owner may be able to accomplish compliance with said policies through creating detention on a single lot, multiple lots, or the entire subdivision depending on the circumstances involved and depending on the owner's ability to obtain the cooperation of other owners in the subdivision. A copy of an agreement between owners to create detention shall be submitted to Walker County and filed in the public records becoming a restriction on future owners, heirs, and assigns.
- All lots within the subdivision and the owners thereof must continue to accept all existing drainage flows and drainage structures in place at the time of development that are a part of or necessary to the existing or designed roads infrastructure or the existing or designed system of drainage, in addition to all natural flows of water entering onto or crossing the property.
- The 10' Utility Easement dedicated per plat of said KENNETH BROWDER SUBDIVISION is hereby expanded to 20' to meet current regulations for Walker County, Texas.

CERTIFICATION BY THE SURVEYOR

I, Michael A. Namken, certify that this plat represents a survey made on the ground under my supervision and that all corners and monuments are as shown hereon.

Michael A. Namken
Registered Professional Land Surveyor No. 6533

APPROVAL OF COMMISSIONERS COURT

This is to certify that the Commissioners Court of Walker County, Texas has approved the Plat of REPLAT OF LOT 1, KENNETH BROWDER SUBDIVISION.

DATED this _____ day of _____, 20_____.

Danny Pierce
County Judge

Danny Kuykendall
Commissioner, Precinct 1

Ronnie White
Commissioner, Precinct 2

Bill Daugeette
Commissioner, Precinct 3

Jimmy D. Henry
Commissioner, Precinct 4

CERTIFICATION BY THE COUNTY CLERK

STATE OF TEXAS
COUNTY OF WALKER.

I, Kari A. French, County Clerk in and for Walker County, do hereby certify that this plat with its certificates of authentication was filed for record in my office

the _____ day of _____, 20_____, in the Plat Records of
Walker County in Volume _____, Page _____.

By: _____
Kari A. French, County Clerk
Walker County, Texas

OWNER'S ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS,
COUNTY OF WALKER.

I / We, the owner(s) of the property shown on this plat and designated as REPLAT OF LOT 1, KENNETH BROWDER SUBDIVISION, in Walker County and San Jacinto, Texas, hereby dedicates to the public forever the use of all streets, parks, utility easements and public places shown hereon for the purpose and consideration therein expressed.

MOLLY BROWDER

OWNER / DEVELOPER

MOLLY BROWDER
30 Old Waverly Rd.
Willis, Tx 77378

NOTARY PUBLIC ACKNOWLEDGEMENT

STATE OF TEXAS,
COUNTY OF WALKER.

This Instrument was acknowledged before me
Dated this _____ day of _____, 20_____
by KENNETH BROWDER.

Notary Public for State of Texas

PRELIMINARY
NOT FOR RECORD



REPLAT OF

LOT 1
KENNETH BROWDER
SUBDIVISION

J. M. DE LA GARZA GRANT, A-22, A-18
WALKER COUNTY AND SAN JACINTO COUNTY,
TEXAS

SURVEYED MAY 2022

0 100 200
1 INCH = 100 FEET

NAMKEN, INC.
P.O. Box 1158, New Waverly, Tx 77358
TBPLS Firm No. 10194090
936-661-3325

Job No. 22-039

SHEET 1 OF 1

Please print or use type to fill out this form.

Property Owner's Name: Last Rothstein First Josh MI
 Property Owner's Mailing Address: Street Address [REDACTED]
 City Huntsville ST TX Zip Code 77340
 Phone #: E-mail:
 Name of RPLS Creating Plat: Last Johnson First Carey
 Phone Number of RPLS: (936) 756-7491
 Address of RPLS: Street Address 3032 N. Frazier St.
 City Conroe ST TX Zip Code 77303
 Name of Project Engineer: Last First
 Phone Number of Project Engineer:
 Address of Project Engineer: Street Address
 City ST Zip Code
 Name of Developer's Agent (this will be the individual contacted by Walker County in the event of an approval, a rejection, or a problem with the platting process): Last Dorow First Colten
 Address of Developer's Agent: Street Address 3032 N. Frazier St.
 City Conroe ST TX Zip Code 77303
 Phone Number of Developer's Agent: (936) 756-7491

Proposed Name of Subdivision: Wildwood Shores Section 13 Block 1 Lot 34A Minor Replat

Does the plat being submitted contain land within the ETJ (2 miles) of Huntsville: yes no

Does the plat being submitted contain land within the ETJ (1 mile) of New Waverly: yes no

Tax ID #: 8833-001-0-03400 Abstract: 454 Survey: G.W. Robinson Original Acreage: 0.254

Is the plat being submitted as a "major plat" or a "minor plat" (in general non-commercial subdivisions of fewer than four lots with no variances requested can be submitted as "minor plats"?:

 major plat X minor plat

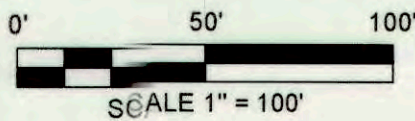
Is the plat being submitted as a "preliminary plat" for comment or as a "final plat" seeking approval?:

 final plat seeking approval X preliminary plat for comment

☒ preliminary plat for

Date _____

NOTE: All applications MUST include the current deeds of ownership for the property, a copy of a plat showing the configuration and location of the property to be platted, a subdivision study (also known as a sanitarian report), a tax certificate from the Walker County Appraisal Office showing that all taxes are paid to date and a check or money order for the application fee. (See attached fee schedule)



STATE OF TEXAS

COUNTY OF WALKER

I, Kari A. French, County Clerk in and for said county, do hereby certify that this plat was filed for record in my office on the ____ day of ____, 2022, at o'clock ____, and recorded in Volume ____, Page ____ of the Plat Records of Walker County, Texas.

Kari A. French, County Clerk

LINE	BEARING	DISTANCE
L1	N 43°42'47" E	60.34'
L2	N 43°34'20" E	49.99'
L3	S 43°49'14" W	50.00'
L4	S 43°40'29" W	60.50'

THE STATE OF TEXAS

COUNTY OF WALKER

I, JOSH ROTHSTEIN, owner of the property subdivided in the above foregoing map, hereby adopt this plat designating the herein described real property as WILDWOOD SHORES SECTION 13, BLOCK 1, LOT 34A MINOR REPLAT, and do hereby make subdivision of said property according to lines, streets, lots, alleys, parks, building lines, and easements therein shown, and dedicate to public use forever all areas shown on on this plat as streets, alleys, parks, and easements except those specifically indicated as private; and does hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades; and does hereby bind ourselves, our successors and assigns to warrant and forever defend the title of the land so dedicated.

Owners hereby certify that is has complied with all applicable regulations of the County of Walker, Texas, and that a rough proportionality exist between the dedications, improvements, and exactions required under such regulations and the projected impact of the subdivision.

WITNESS, our hands in Conroe, Montgomery County, Texas this 2nd day of August, 2022.

J. Rothstein

JOSH ROTHSTEIN
Owner

THE STATE OF TEXAS

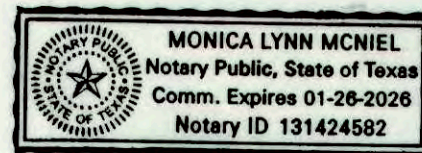
COUNTY OF MONTGOMERY

BEFORE ME, the undersigned authority, on this day personally appeared JOSH ROTHSTEIN, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed same for purposes and consideration therein expressed, and in the capacity therein and herein set out, and as the act and deed of said company.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 2nd day of August, 2022.

Monica McNeil

Notary Public in and for
Montgomery County, Texas



STATE OF TEXAS

COUNTY OF WALKER

This is to certify that the Commissioners Court of Walker County, Texas has on the ____ day of ____, 2022, approved this plat.

Robert D. Pierce
County Judge

Danny Kuykendall
Commissioner Precinct 1

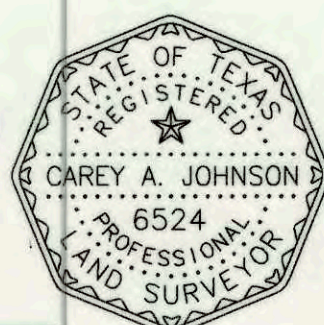
Bill Daugeette
Commissioner Precinct 3

Ronnie White
Commissioner Precinct 2

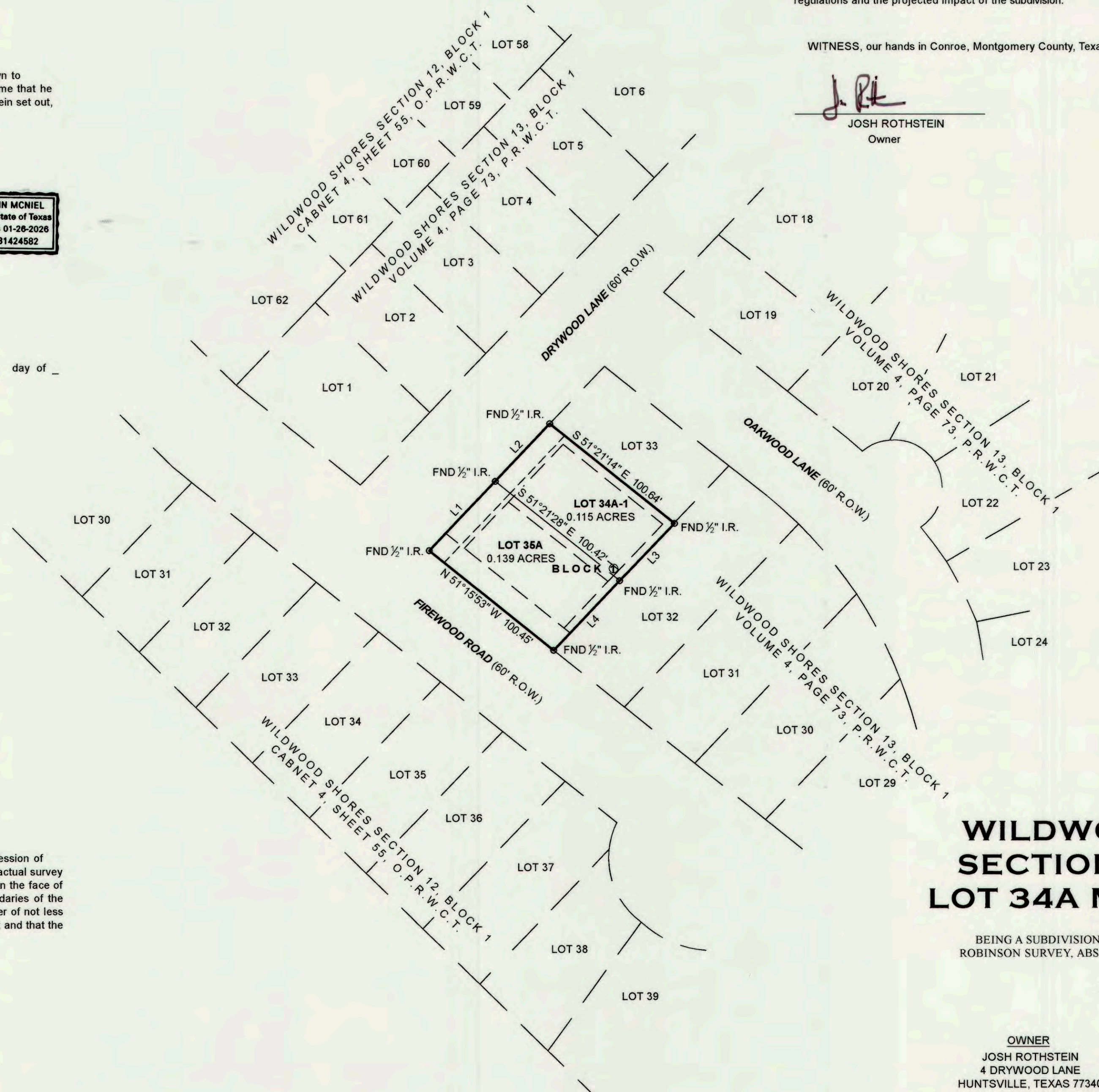
Jimmy D. Henry
Commissioner Precinct 4

SURVEYOR'S ACKNOWLEDGEMENT

I, Carey A. Johnson, am registered under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and correct; was prepared from an actual survey of the property made under my supervision on the ground; that the elevation benchmark reflected on the face of the plat was established as required by regulation; that all corners and angle points of the boundaries of the original tract to be subdivided of reference have been marked with iron rods which have a diameter of not less than five-eighths of an inch (5/8") and a length of not less than three feet (3') unless otherwise noted; and that the plat boundary corners have been tied to the nearest survey corner.



Carey A. Johnson
Registered Professional Land Surveyor No. 6524



WILDWOOD SHORES SECTION 13 BLOCK 1 LOT 34A MINOR REPLAT

BEING A SUBDIVISION OF 0.254 ACRES SITUATED IN THE G.W.
ROBINSON SURVEY, ABSTRACT NO. 454, WALKER COUNTY, TEXAS.

2 LOTS 1 BLOCK
JULY 2022

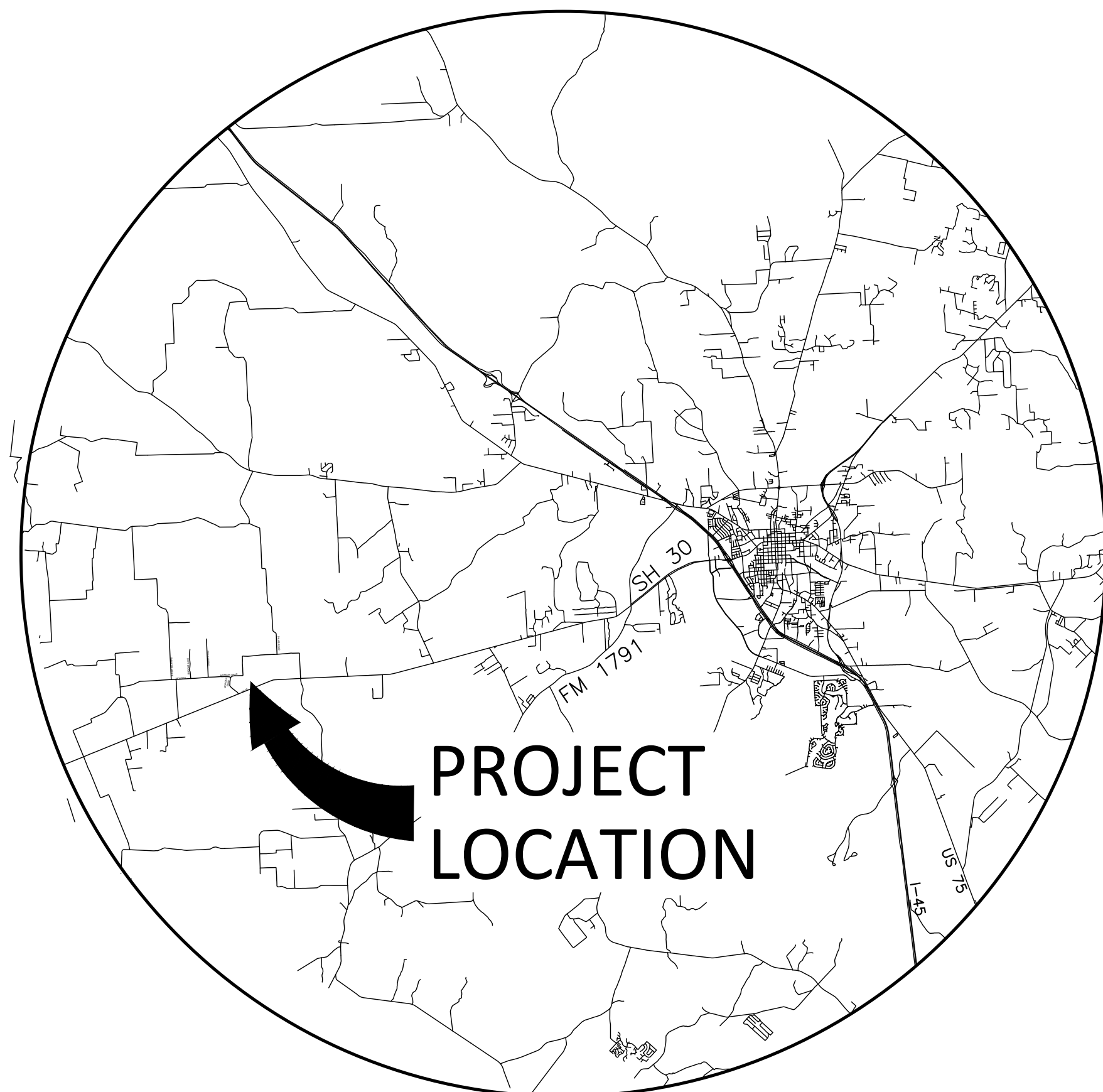
OWNER
JOSH ROTHSTEIN
4 DRYWOOD LANE
HUNTSVILLE, TEXAS 77340

SURVEYOR
TEXAS PROFESSIONAL SURVEYING
FIRM REGISTRATION No. 100834-00
3032 NORTH FRAZIER
CONROE, TEXAS 77303

PAVING & DRAINAGE PLANS FOR ANDERSON HILLS

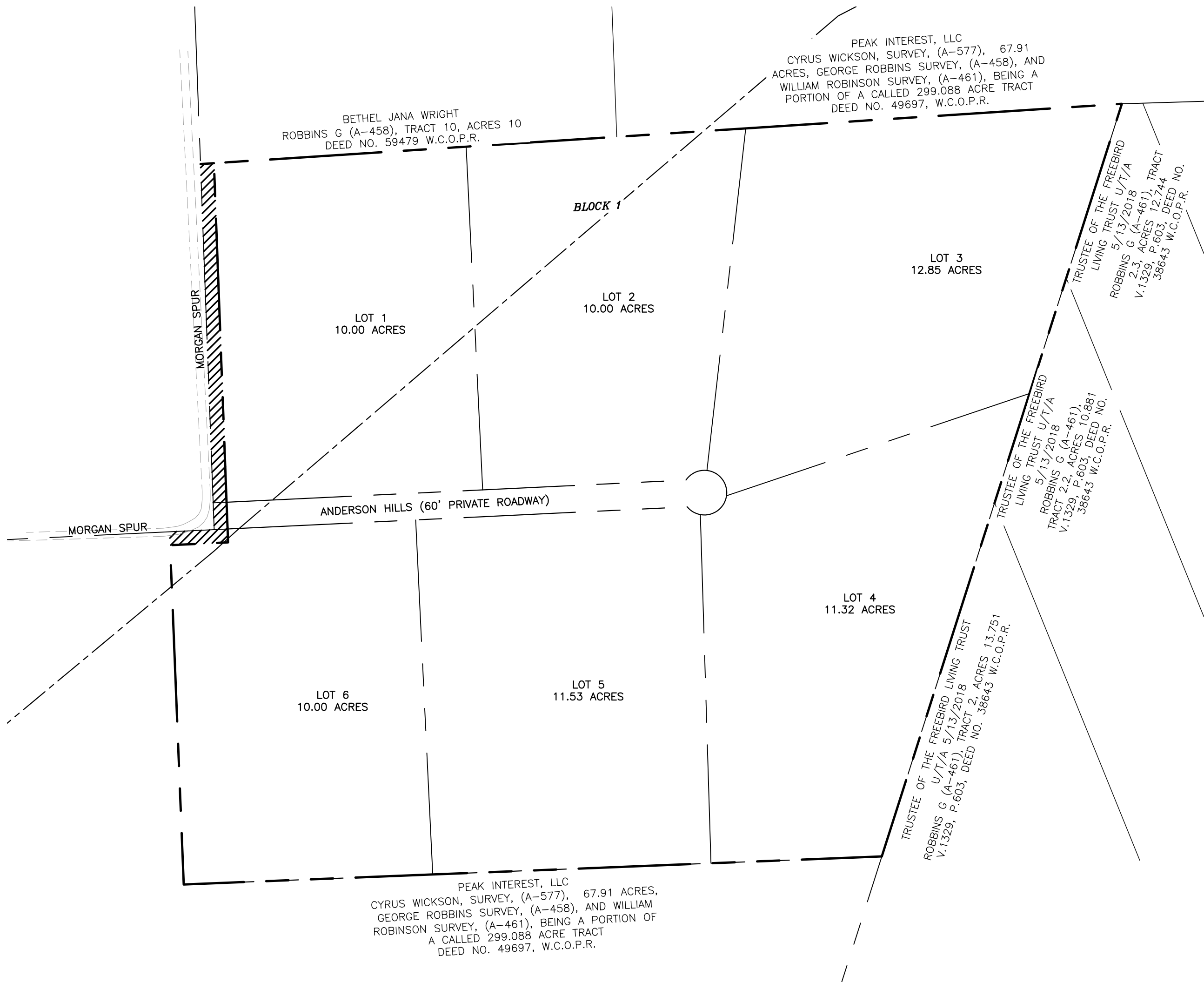
A PRIVATE SUBDIVISION IN WALKER COUNTY, TEXAS

JUNE, 2022



PROJECT
LOCATION

VICINITY MAP
SCALE : NONE



SCALE : NONE

Sheet List Table

Sheet Title
1 COVER
2 LEGEND & NOTES
3 OVERALL SITE PLAN
4 DRAINAGE PLAN
5 PLAN & PROFILE
6 TEMPORARY EROSION CONTROL
7 CONSTRUCTION NOTES AND DETAILS

REV	DATE
COMMENT	
REV	DATE
COMMENT	
COVER SHEET	ANDERSON HILLS A PRIVATE SUBDIVISION WALKER COUNTY, TEXAS
PREPARED FOR: JOHN PAUL LAMPSON 1600 NORMAL PARK HUNTSVILLE, TX 77340	
PROJECT NUMBER 1149	
SHEET: 1 OF: 7	

SYMBOLS LEGEND ABBREVIATIONS			REV	DATE
			COMMENT	
PLAN VIEW	PROPOSED	EXISTING	REV	DATE
			COMMENT	
STORM SEWER INLET (CURB TYPE)			<div>GENERAL NOTES:</div> <div>1. THE BEARINGS, DISTANCES, AREAS AND COORDINATES SHOWN HEREON ARE TEXAS STATE PLANE COORDINATE SYSTEM GRID, CENTRAL ZONE (NAD'83), AS DETERMINED BY GLOBAL POSITIONING SYSTEM (GPS) WITH NGS OPUS POST PROCESSING. THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET. TO CONVERT GRID DISTANCES TO SURFACE, APPLY THE COMBINED GRID TO SURFACE SCALE FACTOR OF 1.000105761.</div> <div>2. THE GRAPHIC LOCATION OF THE SUBJECT TRACT SUPERIMPOSED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48471C032SD, EFFECTIVE DATE AUGUST 16, 2011, INDICATES THAT THE SUBJECT TRACT IS NOT LOCATED WITHIN ZONE X.</div> <div>3. ALL ACREAGE QUANTITIES SHOWN ON THIS SURVEY ARE BASED UPON THE MATHEMATICAL CLOSURE OF THE BOUNDARY COURSES AND DISTANCES. SAID QUANTITIES DO NOT INDICATE THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.</div> <div>4. ALL EXTERIOR BOUNDARY LINES OF THIS SUBDIVISION WHICH ARE COMMON WITH THE ORIGINAL SURVEY BOUNDARY ARE MONUMENTED ON THE GROUND WITH CAPPED 1/2"–DIAMETER IRON RODS (OR OTHER STABLE MATERIAL).</div> <div>5. THE OWNER(S) HEREBY CERTIFY THAT ALL BOUNDARY CORNERS OF THE LOTS LOCATED WITHIN THIS SUBDIVISION WILL BE MONUMENTED ON THE GROUND WITH CAPPED 1/2" IRON RODS (OR OTHER STABLE MATERIAL) PRIOR TO LOT SALES.</div> <div>6. ALL DRIVEWAYS IN THE SUBDIVISION SHALL BE CONSTRUCTED OF CONCRETE OR ASPHALT AT OWNER'S EXPENSE, AND SHALL BE COMPLETED WITHIN TWELVE (12) MONTHS FROM THE SETTING OF FORMS FOR THE FOUNDATION OF SAID DWELLING OR STRUCTURE. FURTHER, THE DRIVEWAY OR ENTRANCE TO EACH LOT FROM THE PAVEMENT OF THE STREET SHALL BE PAVED WITH CONCRETE OR ASPHALT. APPLICATION FOR APPROVAL TO WALKER COUNTY IS REQUIRED PRIOR TO INSTALLATION OF THE DRIVEWAY FOR DETERMINATION OF THE LOCATION, CULVERT SIZING, INSTALLATION DEPTH, ETC.</div> <div>7. ALL LOT SETBACKS SHALL BE ACCORDING TO THE WALKER COUNTY STANDARDS.</div> <div>8. CONSTRUCTION PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE WALKER COUNTY SUBDIVISION REGULATIONS.</div> <div>DRAINAGE AND IMPERVIOUS COVER</div> <div>9. THE LANDOWNER IS PROHIBITED FROM CONSTRUCTING ANY IMPROVEMENTS WITHIN ANY "PRIVATE DRAINAGE AREA" ON THIS PLAT. LANDOWNER MAY CLEAR UNDERBRUSH AND ESTABLISH FOOT TRAILS WITHIN THESE "PRIVATE DRAINAGE AREAS" BUT NO VERTICAL IMPROVEMENT / DEVELOPMENT IS ALLOWED. FENCING IS ALLOWED ALONG THE PROPERTY LINES LOCATED WITHIN THESE "PRIVATE DRAINAGE AREAS" BUT IS LIMITED TO A WIRE FENCE WITH PROVISIONS NOT TO IMPEDE THE FLOW OF STORM WATER WITHIN THE "PRIVATE DRAINAGE AREAS".</div> <div>10. "PRIVATE DRAINAGE AREA" SHALL BE MAINTAINED BY LOT OWNERS AND/OR HOME OWNERS ASSOCIATION AND SHALL NOT BE MAINTAINED BY WALKER COUNTY.</div> <div>11. THE NATURAL DRAINAGE CHANNELS THAT ARE LOCATED WITHIN VARIOUS LOTS AND UNRESTRICTED RESERVE AREAS THROUGHOUT THIS SUBDIVISION MAY NOT BE ALTERED IN ANY WAY. LANDOWNER MAY CLEAR UNDERBRUSH AND ESTABLISH FOOT TRAILS WITHIN THESE NATURAL DRAINAGE CHANNELS BUT NO VERTICAL IMPROVEMENTS / DEVELOPMENT WILL BE ALLOWED WITHIN 40 FEET OF THE CENTERLINE OF THE NATURAL FLOW. FENCING IS ALLOWED ALONG THE PROPERTY LINES LOCATED WITHIN THESE NATURAL DRAINAGE CHANNELS BUT IS LIMITED TO A FOUR(4) STRAND WIRE FENCE WITH PROVISIONS NOT TO IMPEDE THE FLOW OF STORM WATER WITHIN THE DRAINAGE CHANNELS.</div> <div>12. ALL LOTS AND UNRESTRICTED RESERVE AREAS WITHIN THE SUBDIVISION AND THE OWNERS THEREOF MUST CONTINUE TO ACCEPT ALL EXISTING DRAINAGE FLOWS AND DRAINAGE STRUCTURES IN PLACE OR PROPOSED AT THE TIME OF DEVELOPMENT WHICH ARE A PART OF OR NECESSARY TO THE PUBLIC ROADS INFRASTRUCTURE OR PRIVATE SYSTEM OF DRAINAGE IN ADDITION TO ALL NATURAL FLOWS OF WATER ENTERING ONTO OR CROSSING THE PROPERTY. LOCAL APPROVAL OR CONSENT MUST BE GIVEN BY THE COUNTY ENGINEER, WALKER COUNTY IN WRITING PRIOR TO ALTERATION OF THE DRAINAGE INFRASTRUCTURE HEREIN DESCRIBED. IT IS THE RESPONSIBILITY OF THE LOT OWNERS TO COMPLY WITH ANY REGULATIONS OR LIMITATIONS NOTED, AND PERMITS ISSUED BY WALKER COUNTY FOR DEVELOPMENT DO NOT ACT AS A WAIVER OR VARIANCE OF THE LOT OWNER'S RESPONSIBILITY.</div> <div>FEMA AND DRAINAGE NOTES</div> <div>13. FLOOD PLAIN: THIS SECTION LIES WITHIN ZONE X SCALED FROM WALKER COUNTY, TEXAS FEMA MAP PANEL #48471C032SD EFFECTIVE DATE AUGUST 16, 2011.</div>	
STORM SEWER MANHOLE				
SANITARY SEWER MANHOLE				
WATER TAPPING SLEEVE & VALVE				
WATER LINE GATE VALVE & BOX				
FLUSH VALVE				
BLOW OFF VALVE & PLUG				
REDUCER				
SANITARY SEWER STACK				
SANITARY SEWER CLEANOUT				
SANITARY SEWER WYE				
UTILITY ENCASEMENT				
STREET LIGHTS				
DRAINAGE FLOW				
WATER WELL				
GROUND STORAGE TANK				
ELEVATED STORAGE TANK				
STORM SEWER MANHOLE				
SANITARY SEWER MANHOLE				

AE ARV ASPH BL BOV&B CL CONC DA DE DWE EA ESMT EP EXIST FF FG FH FV FL FND. FP FW GV GV&B GFL GW or GUY HDPE INT I.P. or IP I.R. or IR JB LET LF MH MEP MAX MIN NG PVMT P.O.B. P.O.C. PVI PVC PP PROP RCP RED RT ROW SAN SWR SHT SHLDR SNGL SF STA TEMP TC TG TP TW TPE TPZ TYP UE VWDE WL WTR SVC WSE	ACCESS EASEMENT AIR RELEASE VALVE ASPHALT BUILDING LINE BLOW OFF VALVE AND BOX CENTERLINE CONCRETE DRAINAGE AREA DRAINAGE EASEMENT DRIVEWAY EACH EASEMENT EDGE OF PAVEMENT EXISTING FINISHED FLOOR FINISHED GRADE FIRE HYDRANT FLUSH VALVE FLOW LINE FOUND FLOODPLAIN FLOODWAY GATE VALVE GATE VALVE AND BOX GUTTER FLOW LINE GUY WIRE HIGH DENSITY POLYETHYLENE PIPE INTERSECTION IRON PIPE IRON ROD JUNCTION BOX LET LINEAR FEET MANHOLE MATCH EXISTING PAVEMENT MAXIMUM MINIMUM NATURAL GROUND PAVEMENT POINT OF BEGINNING POINT OF COMMENCEMENT POINT OF VERTICAL INTERSECTION POLYVINYL CHLORIDE PIPE POWER POLE PROPOSED REINFORCED CONCRETE PIPE REDUCER RIGHT RIGHT OF WAY SANITARY SEWER SHEET SHOULDER SINGLE SQUARE FEET STATION TEMPORARY TOP OF CURB TOP OF GRATE TOP OF PAVEMENT TOP OF WALK TREE PRESERVATION EASEMENT TREE PRESERVATION ZONE TYPICAL UTILITY EASEMENT VARIABLE WIDTH DRAINAGE EASEMENT WATER LINE WATER SERVICE WATER SURFACE ELEVATION
---	--

STORM SEWER NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, MAINTAINING, AND RESTORING ANY BACKSLOPE DRAINAGE SYSTEMS DISTURBED AS A RESULT OF HIS WORK.

2. ALL DITCHES SHALL BE GRADED AND/OR REGRADED TO PROPOSED ELEVATIONS TO ENSURE PROPER DRAINAGE. ALL OUTFALLS SHALL BE PROPERLY BACKFILLED AND COMPACTED AND ALL DISTURBED AREAS SHALL BE REGRADED, COMPACTED, SEEDED, AND FERTILIZED WITHIN 10 WORKING DAYS OF EACH OCCURRENCE. (NO SEPARATE PAYMENT).

3. CONTRACTOR SHALL FIELD VERIFY EXISTING NATURAL GROUND ELEVATIONS PRIOR TO CULVERT CONSTRUCTION.

4. NO IMPROVEMENTS WILL BE ALLOWED OR CONSTRUCTED WITHIN THE NATURE TRAIL EASEMENT WHICH WILL IMPACT THE DRAINAGE OF THE DEVELOPMENT.

PAVING NOTES

1. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY WALKER COUNTY FOR CONSTRUCTION WITHIN THE COUNTY ROAD RIGHT–OF–WAY FOR THE OWNER.

2. PAVING CONTRACTOR SHALL PROTECT WATER, SEWER, AND DRAINAGE FACILITIES, AND WILL REPLACE AT HIS EXPENSE ANY FACILITIES DAMAGED DURING PAVING OPERATIONS. ALL MANHOLES FALLING WITHIN PAVEMENT AREA SHALL BE ADJUSTED TO FINISHED GRADE BY PAVING CONTRACTOR WITHOUT THE USE OF BLOCKOUTS WHEN DIRECTED BY OWNER.

3. PAVING SHALL BE IN ACCORDANCE WITH WALKER COUNTY SUBDIVISION REGULATIONS RELATING TO THE APPROVAL AND ACCEPTANCE OF IMPROVEMENTS IN SUBDIVISIONS OR RE–SUBDIVISIONS AND THE LATEST REVISIONS AND/OR AMENDMENTS OF SAME.

4. CONDITION OF THE EXISTING ROAD AND / OR RIGHT–OF–WAY, UPON COMPLETION OF JOB, SHALL BE AS GOOD AS CONDITION OF THE ROAD AND / OR RIGHT–OF–WAY, PRIOR TO STARTING WORK.

5. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DRAINAGE DITCHES OR STRUCTURES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY. ALL CONSTRUCTION STORM RUNOFF SHALL COMPLY WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.

6. ALL DRIVEWAYS WILL BE LOCATED TO AVOID EXISTING STRUCTURES.

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL ADHERE TO ALL WALKER COUNTY STANDARD DETAILS AND SPECIFICATIONS FOR PROPOSED PAVING AND DRAINAGE IMPROVEMENTS.

2. REVISIONS TO THESE ENGINEERING PLANS MUST BE AUTHORIZED BY SPEARPOINT ENGINEERING PRIOR TO CONSTRUCTION. (936) 244–9171

3. THE CONTRACTOR SHALL:

a. NOTIFY SPEARPOINT ENGINEERING (936–256–2626) AND WALKER COUNTY (936–436–4939) A MINIMUM OF 48 HRS BEFORE COMMENCING WORK.

b. NOTIFY ALL APPROPRIATE UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION.

c. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR ENGINEER APPROVAL.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND SAFETY PROVISIONS FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR THE STORAGE OF MATERIALS IN SAFE AND WORKMANLIKE MANNER TO PREVENT I INJURIES DURING ALL HOURS UNTIL PROJECT COMPLETION.

5. CONTRACTOR IS RESPONSIBLE FOR KEEPING ACCURATE RECORDS SHOWING THE INSTALLED LOCATIONS OF ALL IMPROVEMENTS, AND SHALL PROVIDE TO THE ENGINEER UPON PROJECT COMPLETION.

6. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE MUD AND/OR DIRT DEPOSITED ON EXISTING PAVEMENT DUE TO HIS CONSTRUCTION ACTIVITY DAILY. ALL EQUIPMENT AND DEBRIS FROM CONSTRUCTION TO BE REMOVED FROM THE SITE AT END OF PROJECT.

7. AFTER DISTURBED AREAS HAVE BEEN COMPLETED TO THE LINES, GRADES, AND CROSS-SECTIONS SHOWN ON THE PLANS, CONTRACTOR IS RESPONSIBLE FOR ACHIEVING 70% VEGETATION COVERAGE.

8. SIGNING, BARRICADING AND LIGHTING FOR CONSTRUCTION WITHIN PUBLIC RIGHT–OF–WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND OTHER APPLICABLE STATE OR LOCAL STANDARDS. SIGNS, BARRICADES AND LIGHTS SHALL BE KEPT CLEAN, OPERATIONAL AND PROPERLY POSITIONED TO ASSURE PROPER SAFETY PRECAUTIONS.

9. ALL TESTING PROCEDURES USED ON THIS PROJECT SHALL CONFORM TO THE TCEQ, AWWA, NSF OR OTHER APPLICABLE STANDARDS. THE TESTING EXPENSE SHALL BE BORNE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.

10. TEXAS LAW ARTICLE 1436C, PROHIBITS ALL ACTIVITIES IN WHICH PERSONS OR EQUIPMENT MAY COME WITHIN 6 FEET OF ENERGIZED OVERHEAD POWER LINES, AND FEDERAL REGULATION, TITLE 29, PART 1910.130 (1) AND PART 1926.440 (A) (15) REQUIRE A MINIMUM CLEARANCE OF 10 FEET FROM THESE FACILITIES. THE ABOVE LAWS CARRY BOTH CRIMINAL AND CIVIL LIABILITIES, WITH CONTRACTORS AND OWNERS BEING LEGALLY RESPONSIBLE FOR THE SAFETY OF WORKERS UNDER THESE LAWS. IF YOU OR YOUR COMPANY MUST WORK NEAR OVERHEAD POWER LINES, CALL THE POWER COMPANY FOR THE LINES TO BE DE-ENERGIZED AND/OR MOVED AT YOUR EXPENSE.

11. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES WITH FACILITIES IN THE PROJECT LOCATION A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION ACTIVITIES IN THE RESPECTIVE WORK AREAS. ADEQUATE PROVISIONS FOR PROTECTING EXISTING FACILITIES SHOULD BE EMPLOYED.

12. THE LOADING AND UNLOADING OF ALL MATERIALS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED PRACTICES AND SHALL TAKE PLACE ON THE SITE. THE CONTRACTOR SHALL LOCATE AND PROVIDE THE NECESSARY STORAGE AREAS FOR MATERIALS AND EQUIPMENT.

13. ALL MATERIALS AND EQUIPMENT SHALL BE BOTH FURNISHED AND INSTALLED UNLESS OTHERWISE NOTED.

14. CONSTRUCTION SHALL COMPLY WITH THE LATEST REVISIONS OF OSHA REGULATIONS AND STATE OF TEXAS LAW CONCERNING TRENCHING AND SHORING. CONTRACTOR SHALL PROVIDE A TRENCH SAFETY SYSTEM TO MEET, AS A MINIMUM, THE REQUIREMENTS OF OSHA SAFETY AND HEALTH REGULATION, PART 1926, SUB–PART P AS PUBLISHED IN THE FEDERAL REGISTER, VOLUME 54, NO. 209, DATED OCTOBER 31, 1989, AND LATEST REVISIONS.

15. DETAILS PREPARED DO NOT EXTEND TO OR INCLUDE DESIGNS OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONTRACTOR OR ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS, INCLUDING THE PLANS AND SPECIFICATIONS REQUIRED BY CHAPTER 756, SUBCHAPTER "C" OF THE TEXAS HEALTH AND SAFETY CODE.

16. CONTRACTOR IS RESPONSIBLE FOR COVERING OPEN EXCAVATIONS DURING NON-WORKING HOURS.

17. ALL TRENCHES, INCLUDING TRENCHES FOR LEADS AND STUBS UNDER PAVEMENT AND TO A POINT ONE (1) FOOT BACK OF ALL PAVEMENT SHALL BE BACKFILLED WITH CEMENT STABILIZED SAND AS PER SPECIFICATION TO A POINT IMMEDIATELY BELOW THE SUBGRADE. TRENCHES OTHER THAN UNDER PAVEMENT SHALL BE BACKFILLED WITH SUITABLE EARTH MATERIAL IN 6 INCH LAYERS AND MECHANICALLY COMPACTED TO A DENSITY OF NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM DESIGNATION D-698/AASHTO T99). MOISTURE CONTENT OF BACKFILL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CEMENT STABILIZED SAND SPECIFICATIONS. SEE DETAIL SHEETS FOR BEDDING AND OTHER DESIGN REQUIREMENTS.

18. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, AND CONFIRM POINTS OF CONNECTIONS TO EXISTING IMPROVEMENTS, INCLUDING CONFIRMATION OF ELEVATIONS AND GRADES OF EXISTING FACILITIES AND UTILITIES PRIOR TO STARTING ANY GRADING, PAVING OR UTILITY INSTALLATION. VERIFICATION OF LOCATIONS AND FUNCTIONS OF EACH EXISTING STRUCTURE OR SYSTEM AND ALL EXISTING UTILITY GRADES AND INVERT ELEVATIONS IS THE CONTRACTOR'S RESPONSIBILITY. NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. ANY CONFLICTS OR ERRORS BETWEEN EXISTING FIELD CONDITIONS AND ENGINEERING PLANS MUST BE RESOLVED PRIOR TO STARTING EXCAVATION OR SETTING ANY GRAVITY SEWER (STORM OR SANITARY) AND APPURTENANCES. CONTRACTOR IS RESPONSIBLE FOR COMPLETING CERTIFICATION FORM 006293 IN THE BID PACKAGE PRIOR TO START OF CONSTRUCTION.

19. ALL UNSATISFACTORY AND/OR WASTE MATERIALS INCLUDING VEGETATION, ROOTS, CONCRETE AND DEBRIS SHALL BE HAULED OFF–SITE BY THE CONTRACTOR. INCLUDE COST OF THIS WORK, INCLUDING HAUL, IN OTHER ITEMS OF THIS PROJECT.

20. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION OF PROPOSED FACILITIES.

21. CONTRACTOR SHALL CONFINED ALL WORK EFFORTS WITHIN THE DESIGNATED WORK AREA UNLESS SPECIFICALLY AUTHORIZED BY THE OWNER. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES TO NEIGHBORING PROPERTIES.

22. THIS DESIGN WAS BASED ON A SURVEY PROVIDED BY OTHERS.

LEGEND & NOTES

ANDERSON HILLS
A PRIVATE SUBDIVISION

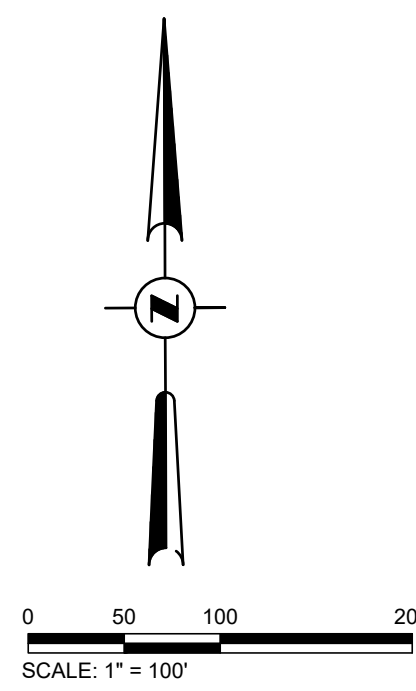
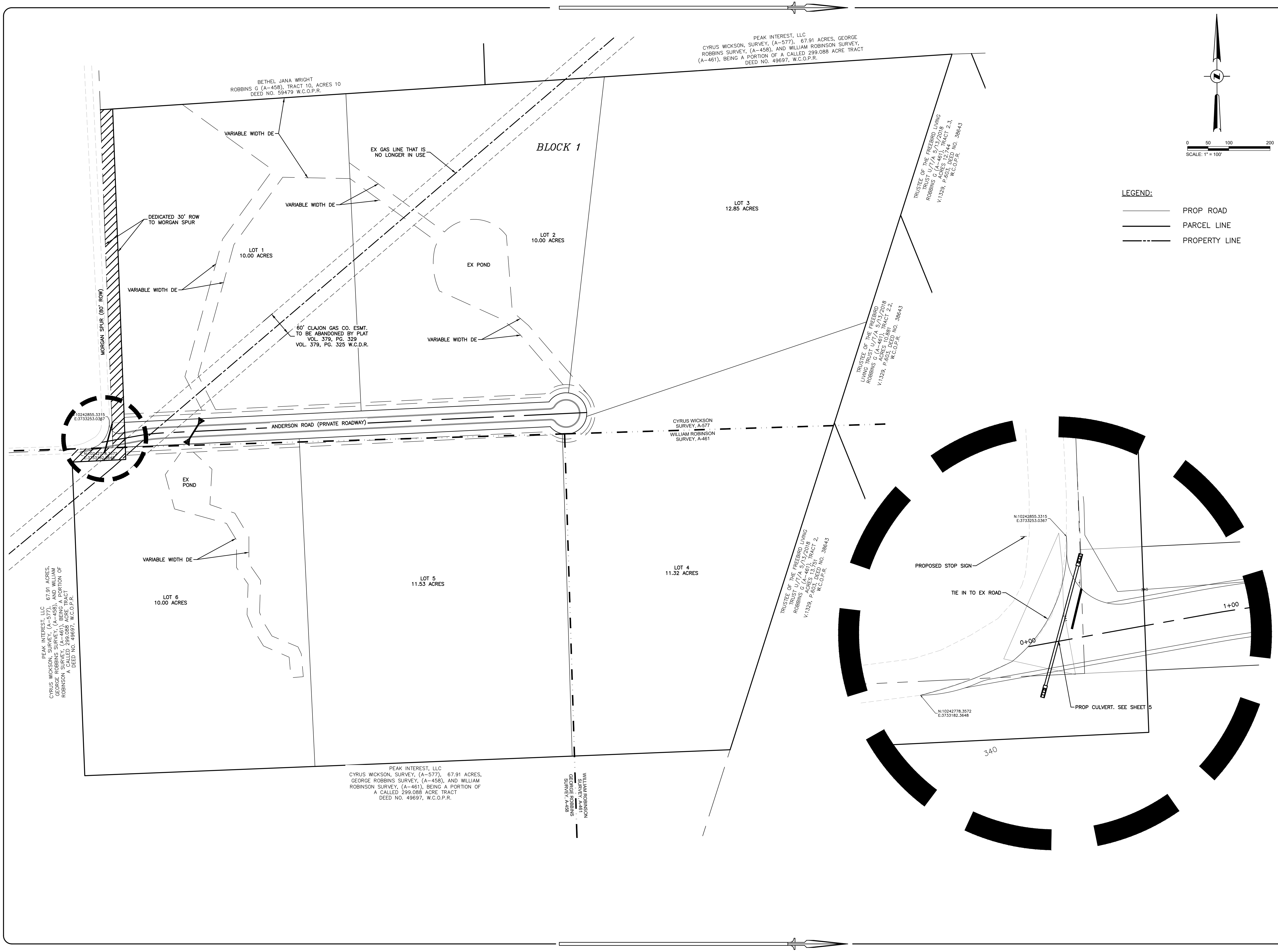
SPEAR POINT ENGINEERING, LLC

TBPE Firm No. 18904
604 W. WOPSHAM STREET
Willis, Texas 77378
(936) 256–2626

PREPARED FOR:
JOHN PAUL LAMPSON
1600 NORMAL PARK
HUNTSVILLE, TX 77340

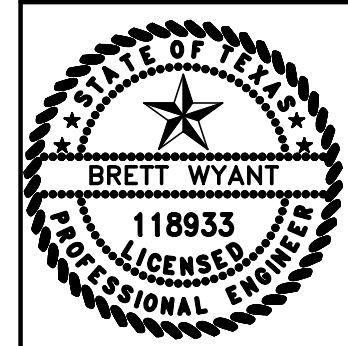
PROJECT NUMBER
1149

SHEET:
2 OF: 7



- LEGEND:**
- PROP ROAD
 - PARCEL LINE
 - - - PROPERTY LINE

REV	DATE
COMMENT	
REV	DATE
COMMENT	

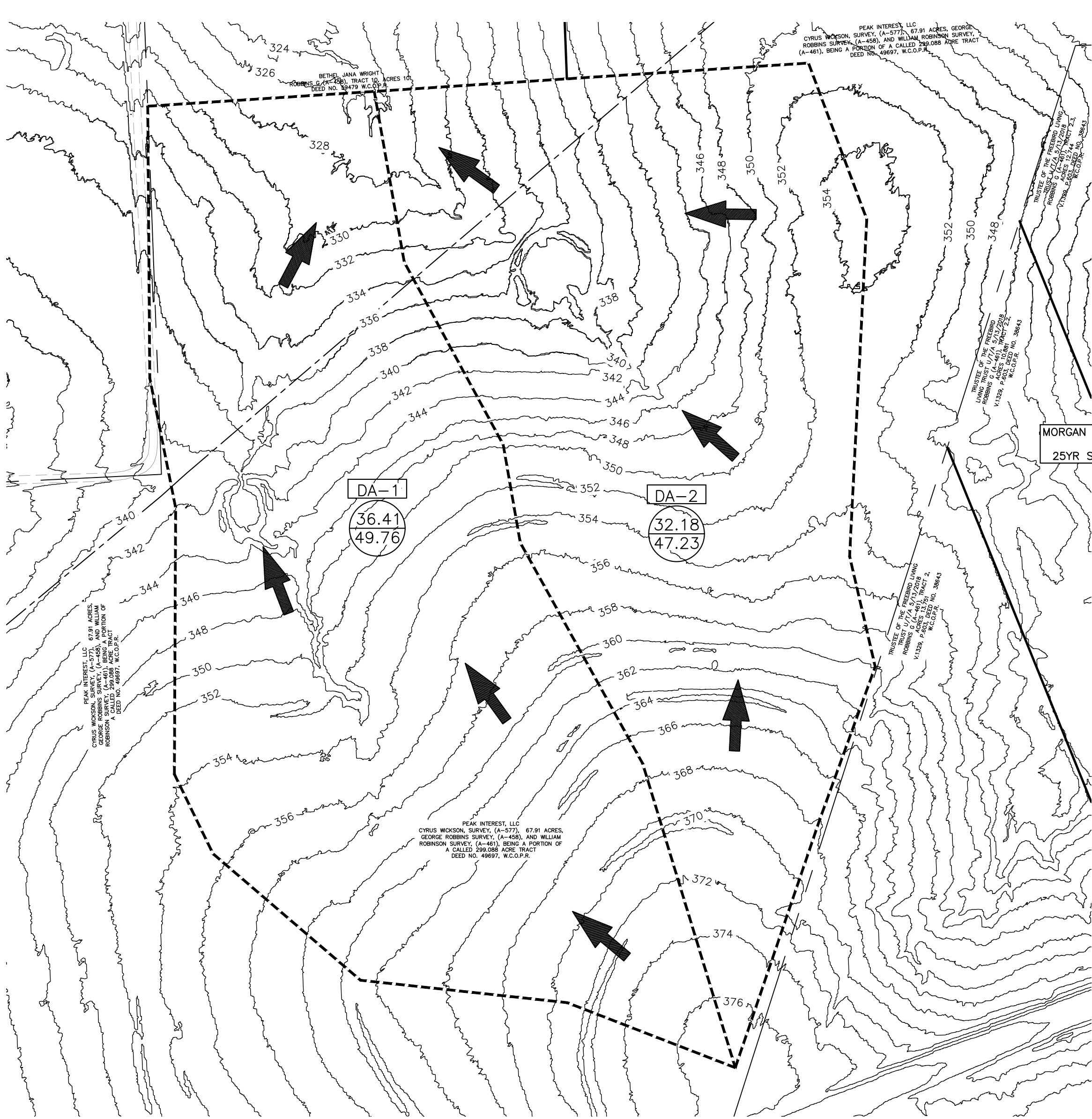


Brett Wyant
09/18/2022

OVERALL SITE PLAN	ANDERSON HILLS A PRIVATE SUBDIVISION	WALKER COUNTY, TEXAS
-------------------	---	----------------------

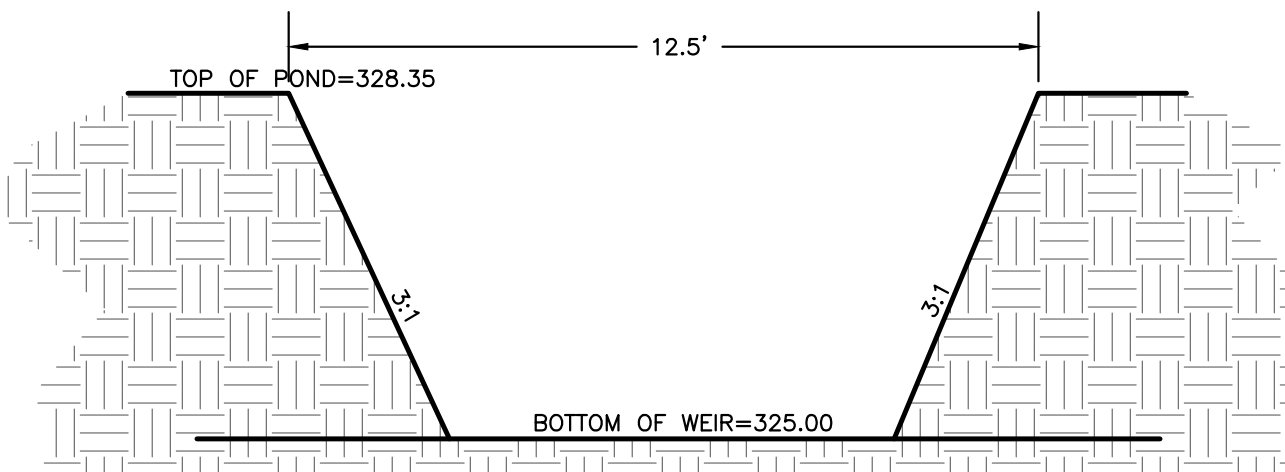
SPEAR POINT ENGINEERING, LLC
TBPE Firm No. 18904
604 W. WORSHAM STREET
Willis, Texas 77378
(936) 256-2626

PREPARED FOR: JOHN PAUL LAMPSON 1600 NORMAL PARK HUNTSVILLE, TX 77340	
PROJECT NUMBER 1149	
SHEET:	3 OF: 7

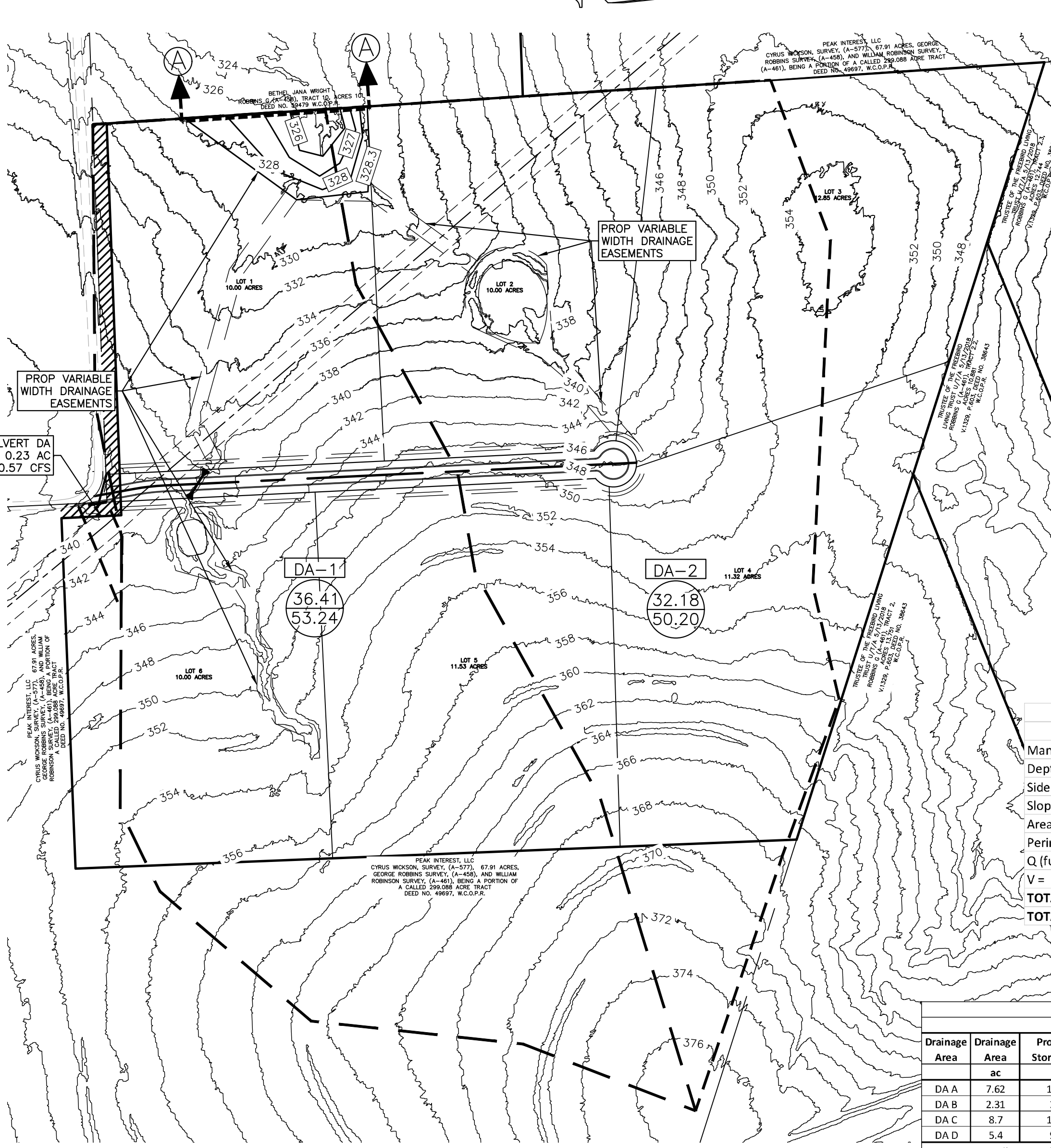


EXISTING DRAINAGE AREAS

PRE-DEVELOPED FLOW								
Drainage Area	Area (A; Acre)	Runoff Coefficient (C)	Time of Concentration (Tc)		Walker County Intensity		Peak Flow (Q; CFS)	
			Min.	Hr.	25-yr	100-yr	25-yr	100-yr
DA-1	36.41	0.3000	43.61	0.73	4.56	5.44	49.76	59.38
DA-2	32.18	0.3000	38.86	0.65	4.89	5.83	47.23	56.26
TOTAL	68.59	0.3000	---	---	---	---	97.00	115.64



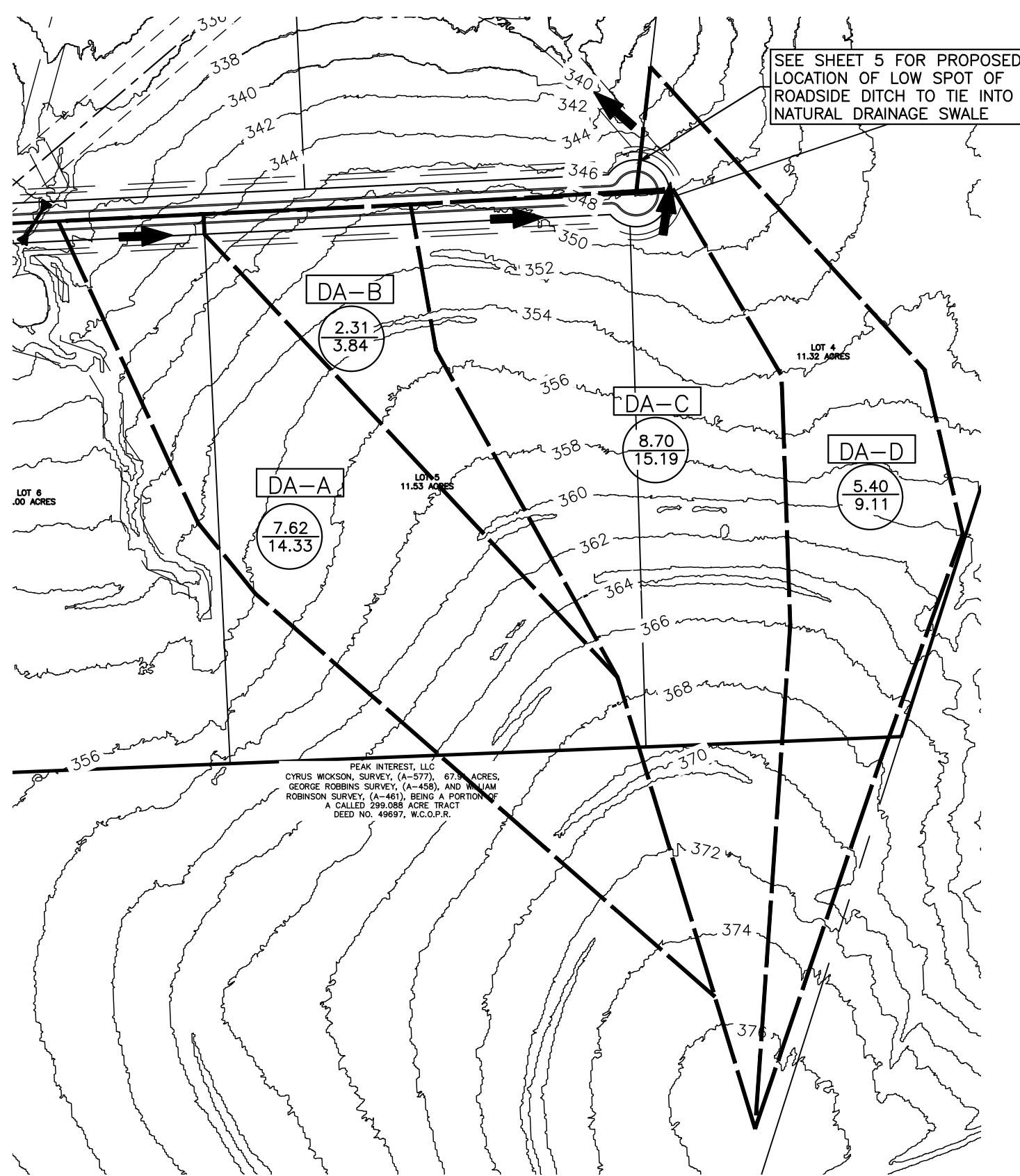
SECTION A-A
NTS



PROPOSED DRAINAGE AREAS

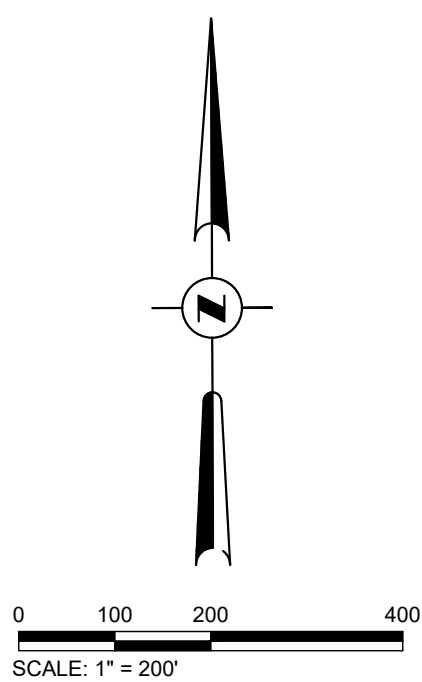
POST-DEVELOPED FLOW								
Drainage Area	Area (A; Acre)	Runoff Coefficient (C)	Time of Concentration (Tc)		Walker County Intensity		Peak Flow (Q; CFS)	
			Min.	Hr.	25-yr	100-yr	25-yr	100-yr
DA-1	36.41	0.3197	43.33	0.72	4.57	5.46	53.24	63.53
DA-2	32.18	0.3188	38.86	0.65	4.89	5.83	50.20	59.79
TOTAL	68.59	0.3193	---	---	---	---	103.44	123.32

UNDER ROAD CULVERTS			
Using Manning's Equation: $Q = (1.49/n)[A][R^{2/3}][S^{1/2}][1/2]$			
MORGAN RD CULVERT:		ANDERSON RD CULVERT:	
MIN 0.57 CFS		MIN 52.61 CFS	
n	0.013	n	0.013
DIAM (FT)	1.25	DIAM (FT)	2.00
A (SF)	1.23	A (SF)	3.14
R (FT)	0.313	R (FT)	0.50
S (FT/FT)	0.0098	S (FT/FT)	0.0178
Q	6.41	Q	30.26
Q (1 pipe)	6.41	Q (2 pipes)	60.53



DELINEATED PROPOSED DRAINAGE AREAS FOR DRIVEWAY CULVERT CALCULATIONS

NOTE: MITIGATION FOR DEVELOPMENT OF THIS SITE ONLY CONSIDERS AREAS WITHIN THE PROPOSED DRAINAGE AREAS. IF THE OWNER OF THE LOT WISHES TO DEVELOP OUTSIDE OF THE DRAINAGE AREA BOUNDARIES, THEN THEY WILL BE RESPONSIBLE FOR MITIGATING FOR THE INCREASE IN IMPERVIOUS COVER.



LEGEND:

DA-X DRAINAGE AREA

X.XX AREA (AC)

X.XX 25-YR FLOW (CFS)

EXTREME FLOW

EX DRAINAGE AREA

PROP DRAINAGE AREA

PROPERTY LINE

AT THE SHALLOWEST (0.95%), THE ROADSIDE DITCH WILL CARRY 46.75 CFS OF STORM WATER

AT CULVERT 1			
ROAD SIDE	BACK SIDE		
Manning's n =	0.040	0.040	Grass = 0.03-0.05; Dirt = 0.022; Concrete = 0.013;
Depth =	1.5	1.5	FT
Side Slope =	8	6	:1 (H:V)
Slope =	0.9500	0.9500	%
Area =	9.0000	6.7500	SF
Perimeter =	12.0934	9.1241	FT
Q (full flow) =	26.7625	19.9924	CFS
V =	2.9736	2.9618	FT/SEC
TOTAL Q (full flow) =	46.7549		
TOTAL V =	2.9686		

REQUIRED DRIVEWAY CULVERT PIPES											
Using Manning's Equation: $Q = (1.49/n)[A][R^{2/3}][S^{1/2}][1/2]$											
Drainage Area	Drainage Area ac	Produced Storm Flow cfs	Contributing Area	Total Produced Flow "Q" cfs	n	Ditch Slope ft/ft	Lot #	Required Radius ft	Required Diameter ft	Required Diameter in	Number Pipes
DA A	7.62	14.33	DA A+DA B	18.17	0.013	0.0192	6	0.96	1.92	23.04	1
DA B	2.31	3.84	DA B	3.84	0.013	0.0192	5	0.32	0.64	7.68	1
DA C	8.7	15.19	DA C	15.19	0.013	0.0062	4	0.81	1.61	19.34	1
DA D	5.4	9.11	DA C+DA D	24.3	0.013	0.0062	3	1.32	2.63	31.61	2

Note: Lots 1-2 will require (1) 15" culvert since there is minimal overland flow travelling through the roadside ditches because the lots will be required to follow natural grades.

REV
DATE

COMMENT

REV
DATE

COMMENT

STATE OF TEXAS
BRETT WYANT
118933
LICENSED PROFESSIONAL ENGINEER
04/19/2022

DRAINAGE PLAN

ANDERSON HILLS
A PRIVATE SUBDIVISION

WALKER COUNTY, TEXAS

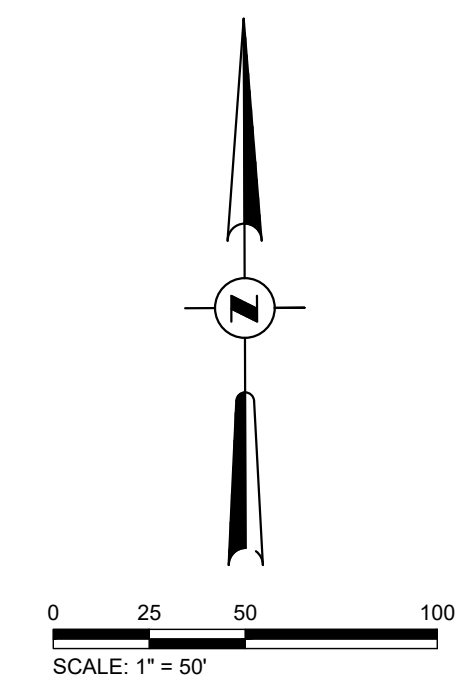
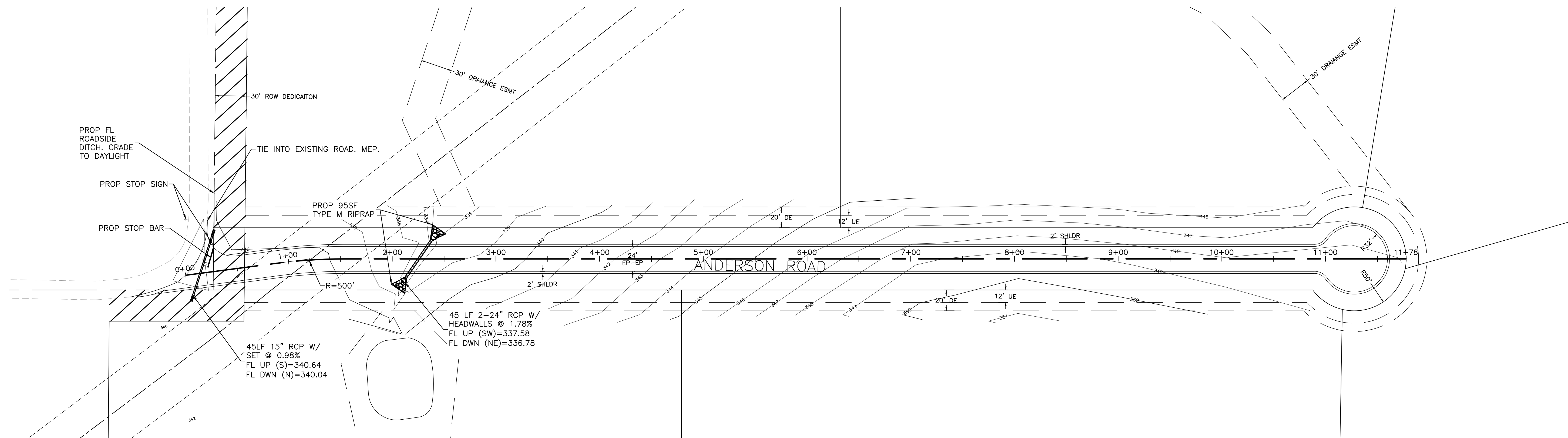
SPEAR POINT ENGINEERING, LLC




TBPE Firm No. 18904
604 W. WOPSHAM STREET
Willis, Texas 77378
(936) 256-2626

PREPARED FOR:
JOHN PAUL LAMPSON
1600 NORMAL PARK
HUNTSVILLE, TX 77340

PROJECT NUMBER
1149

SHEET:
4 OF: 7



REV		DATE	
COMMENT			
REV		DATE	
COMMENT			
			
 08/18/2022			
PLAN & PROFILE		ANDERSON HILLS A PRIVATE SUBDIVISION	
		WALKER COUNTY, TEXAS	
<div style="text-align: center;"><h1>SPEAR POINT ENGINEERING, LLC</h1><p>TBPE Firm No. 18904 604 W. WORSHAM STREET Willis, Texas 77378 (936) 256-2626</p></div>			
PREPARED FOR: JOHN PAUL LAMPSON 1600 NORMAL PARK HUNTSVILLE, TX 77340			
PROJECT NUMBER 1149			
SHEET: <div style="display: flex; justify-content: space-between; align-items: center;">5OF: 7</div>			

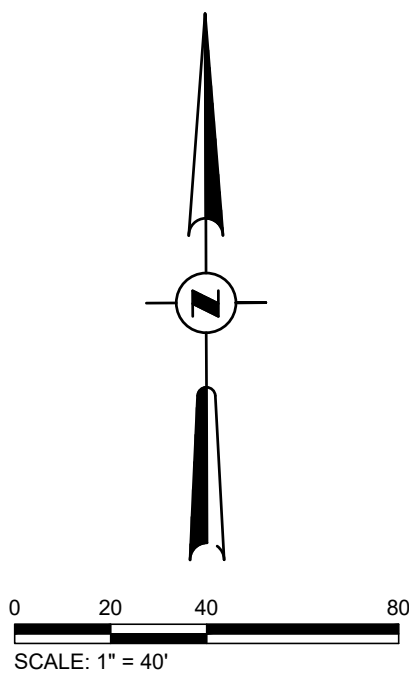
CONTRACTOR SHALL SEED ALL DISTURBED AREAS BETWEEN OUTER EDGE OF UTILITY EASEMENT TO OUTER EDGE OF UTILITY EASEMENT ALONG ALL RIGHT OF WAYS, SWALES, UTILITY OR DRAINAGE EASEMENTS, AND DETENTION POND. CONTRACTOR MUST WATER AND MAINTAIN HYDRO-MULCH UNTIL 70% OF GRASS HAS BEEN ESTABLISHED ACROSS ENTIRE SITE.

SWPPP NOTES:

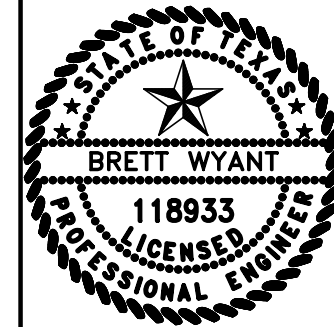
1. CONTRACTOR SHALL FOLLOW ALL TCEQ REGULATIONS AND REQUIREMENTS, AND OBTAIN A TPDES GENERAL PERMIT TXR150000 FOR THE PROJECT. CONTRACTOR SHALL DISPLAY THE TPDES PERMIT, TCEQ LARGE CONSTRUCTION SITE NOTICE AND STORM WATER POLLUTION PREVENTION PLAN ON-SITE.
2. CONTRACTOR SHALL PLACE EROSION CONTROL MATS IN ALL DITCHES THAT SLOPES EXCEED 2.5%
3. CONTRACTOR SHALL PLACE ROCK FILTER DAMS IN DITCHES THAT EXCEED 5% SLOPE AT 150 FOOT INTERVALS.
4. WORK IS TO BE PERFORMED UNDER THE GENERAL PERMIT TO DISCHARGE TPDES EFFECTIVE DATE 03-05-18 CONSTRUCTION GENERAL PERMIT TXR150000.
5. COVERAGE IS REQUIRED FOR > 5 ACRES.
6. PREPARE AND IMPLEMENT SWP3.
7. SUBMIT NOI TO TCEQ.
8. POST SITE NOTICE.
9. SUBMIT COPY OF NOI TO COH ENGINEERING DEPARTMENT.

NOTES:

1. CONTRACTOR SHALL FOLLOW ALL TCEQ REGULATIONS AND REQUIREMENTS, AND OBTAIN A TPDES GENERAL PERMIT TXR150000 FOR THE PROJECT. CONTRACTOR SHALL DISPLAY THE TPDES PERMIT, TCEQ LARGE CONSTRUCTION SITE NOTICE AND STORM WATER POLLUTION PREVENTION PLAN ON-SITE.
2. CONTRACTOR SHALL PLACE EROSION CONTROL MATS IN ALL DITCHES THAT SLOPES EXCEED 2.5%
3. CONTRACTOR SHALL PLACE ROCK FILTER DAMS IN DITCHES THAT EXCEED 5% SLOPE AT 150 FOOT INTERVALS.



- LEGEND**
- SF- SILT FENCE
 - (SCE) STABILIZED CONSTRUCTION ENTRANCE
 - [SBB] STRAW BALE BARRIER



Brett Wyant
09/18/2022

TEMPORARY EROSION
CONTROL PLAN & DETAILS

ANDERSON HILLS
A PRIVATE SUBDIVISION

WALKER COUNTY, TEXAS

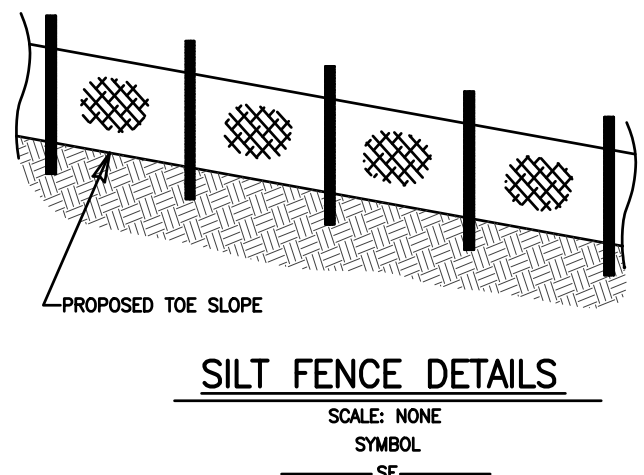
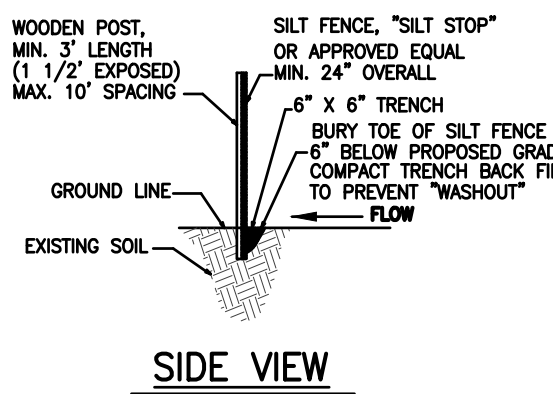
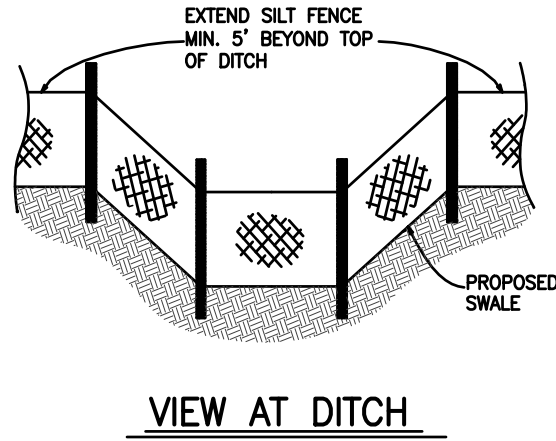
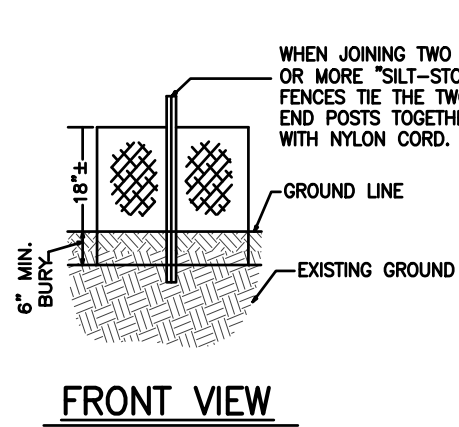
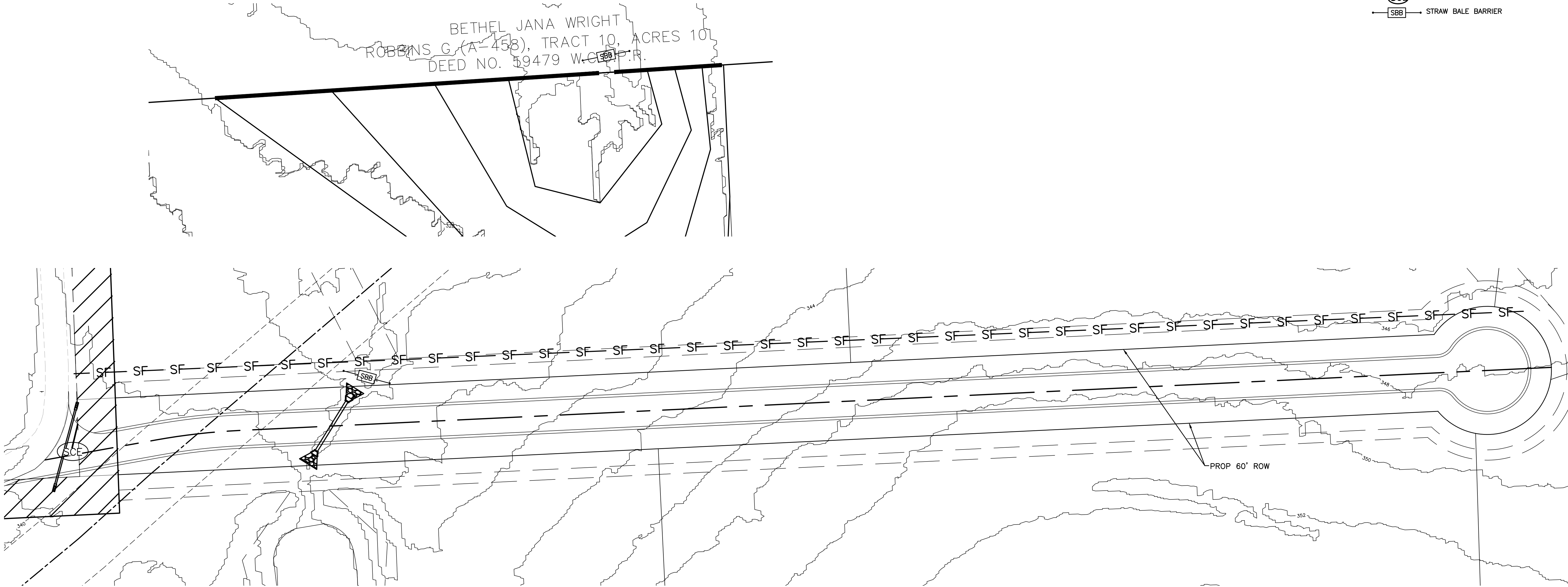
SPEAR POINT ENGINEERING, LLC

TBPE Firm No. 18904
604 W. WOPSHAM STREET
Willis, Texas 77378
(936) 256-2626

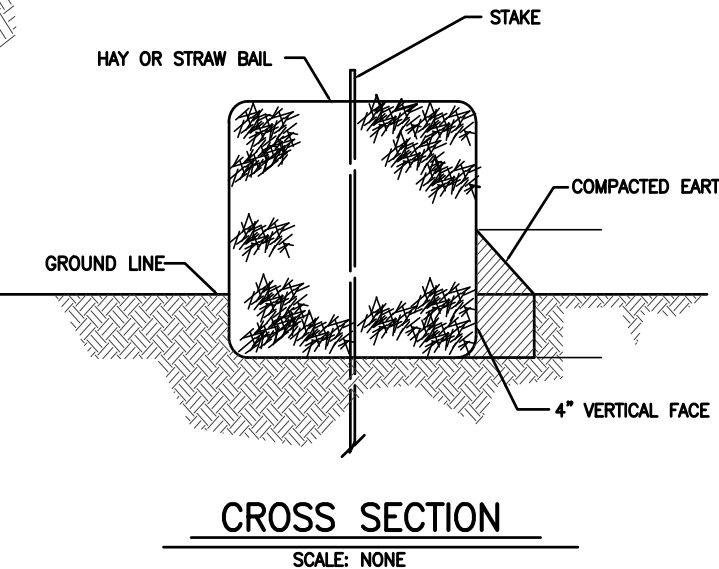
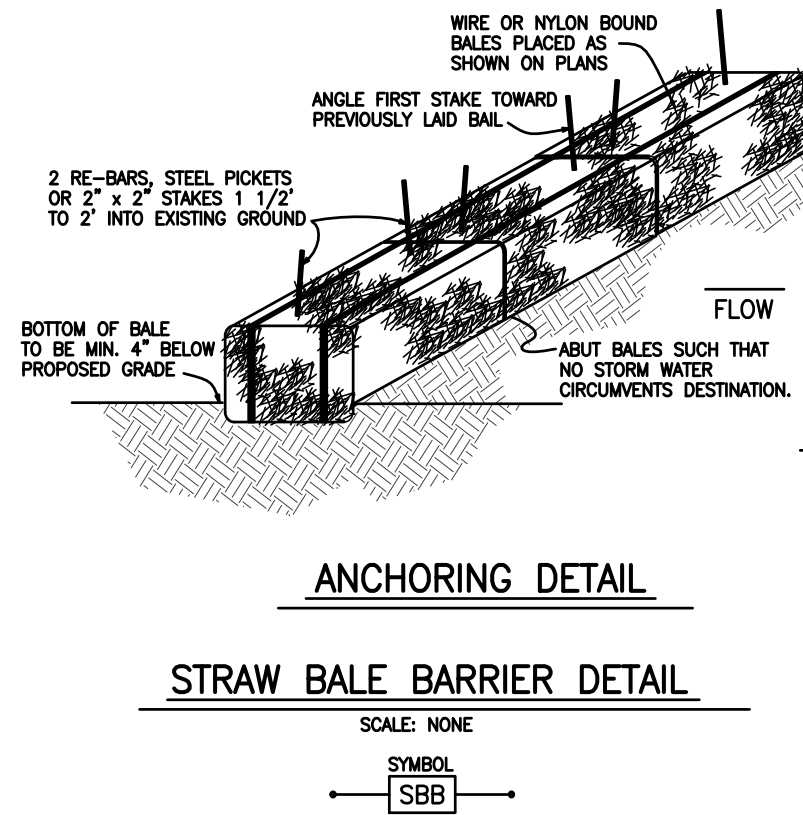
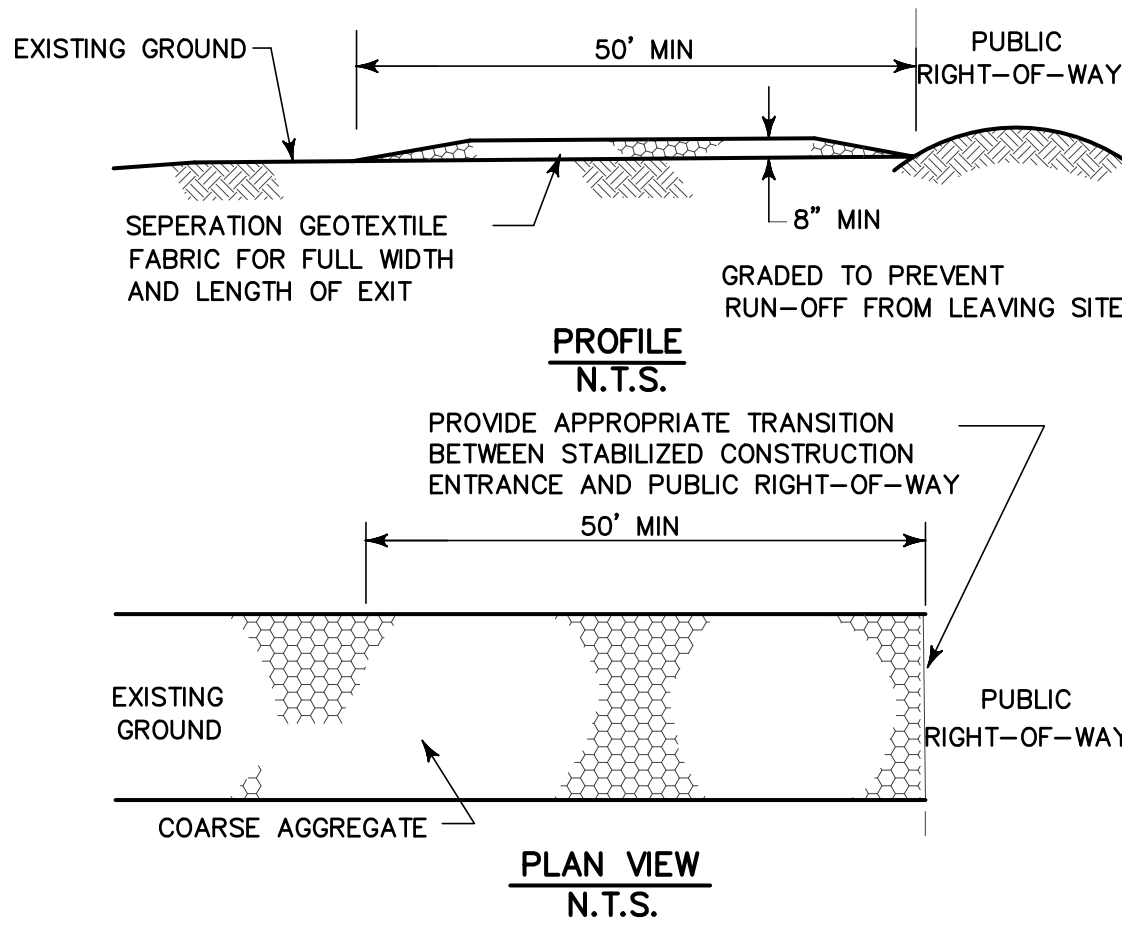
PREPARED FOR:
JOHN PAUL LAMPSON
1600 NORMAL PARK
HUNTSVILLE, TX 77340

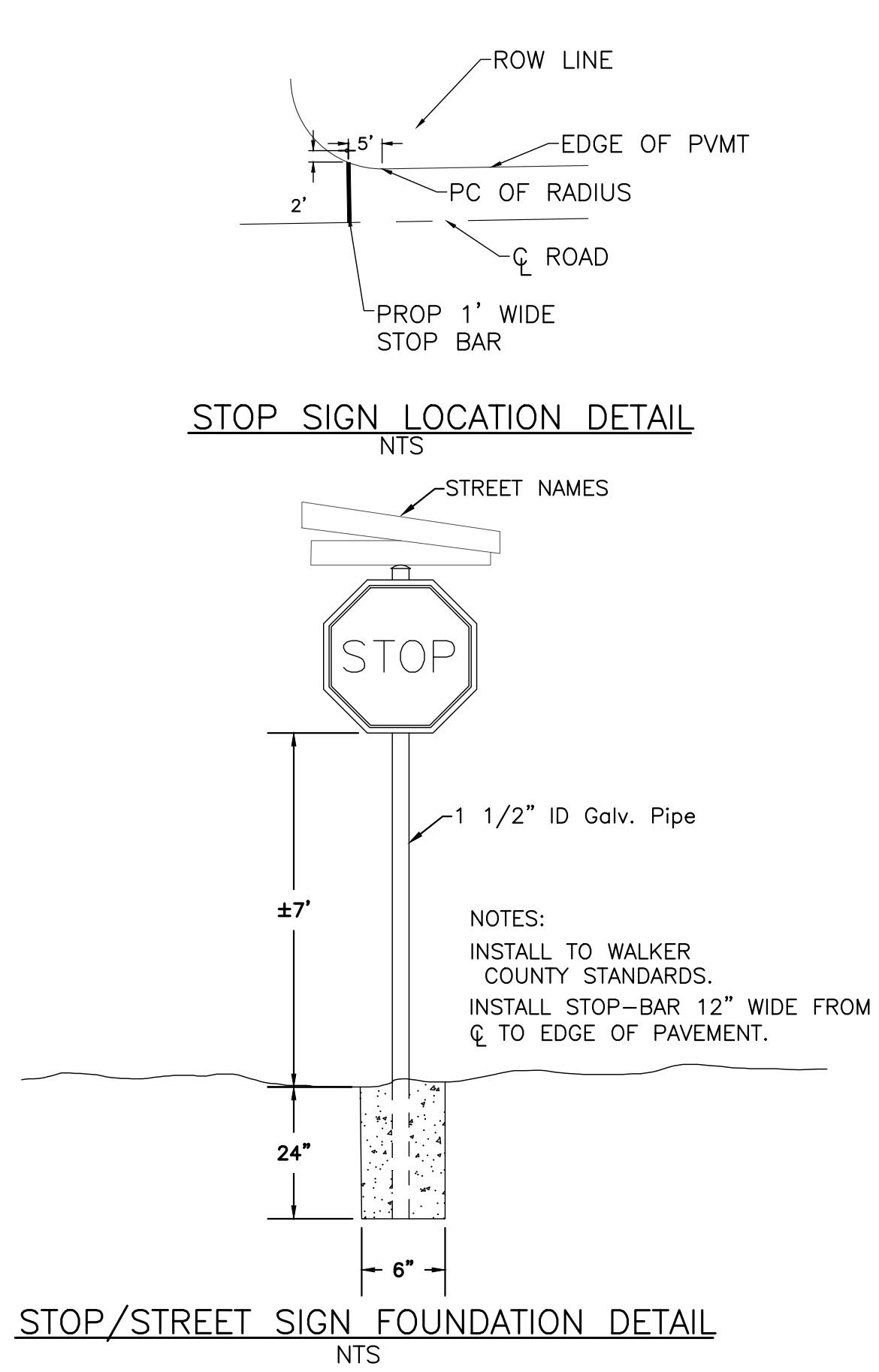
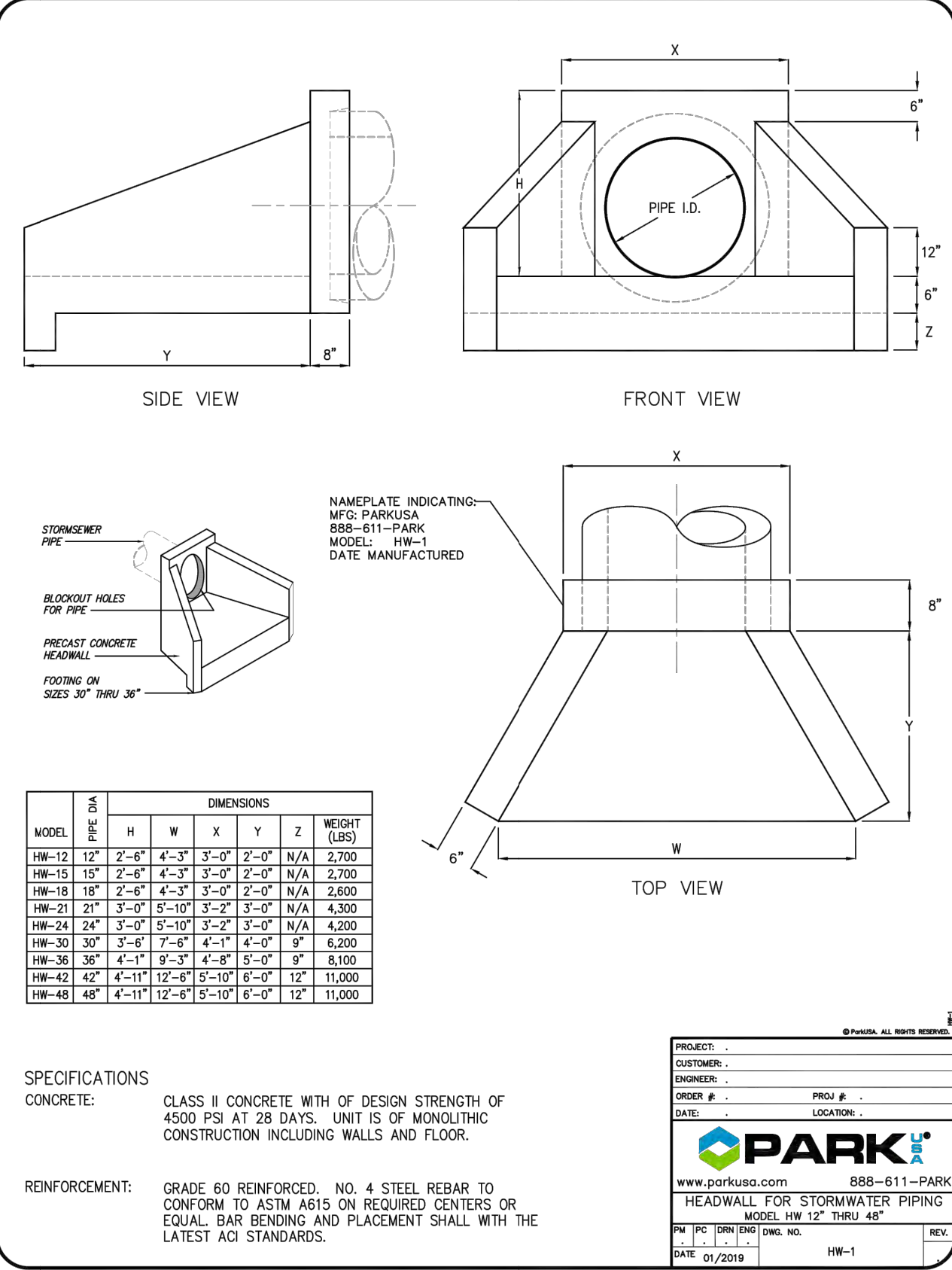
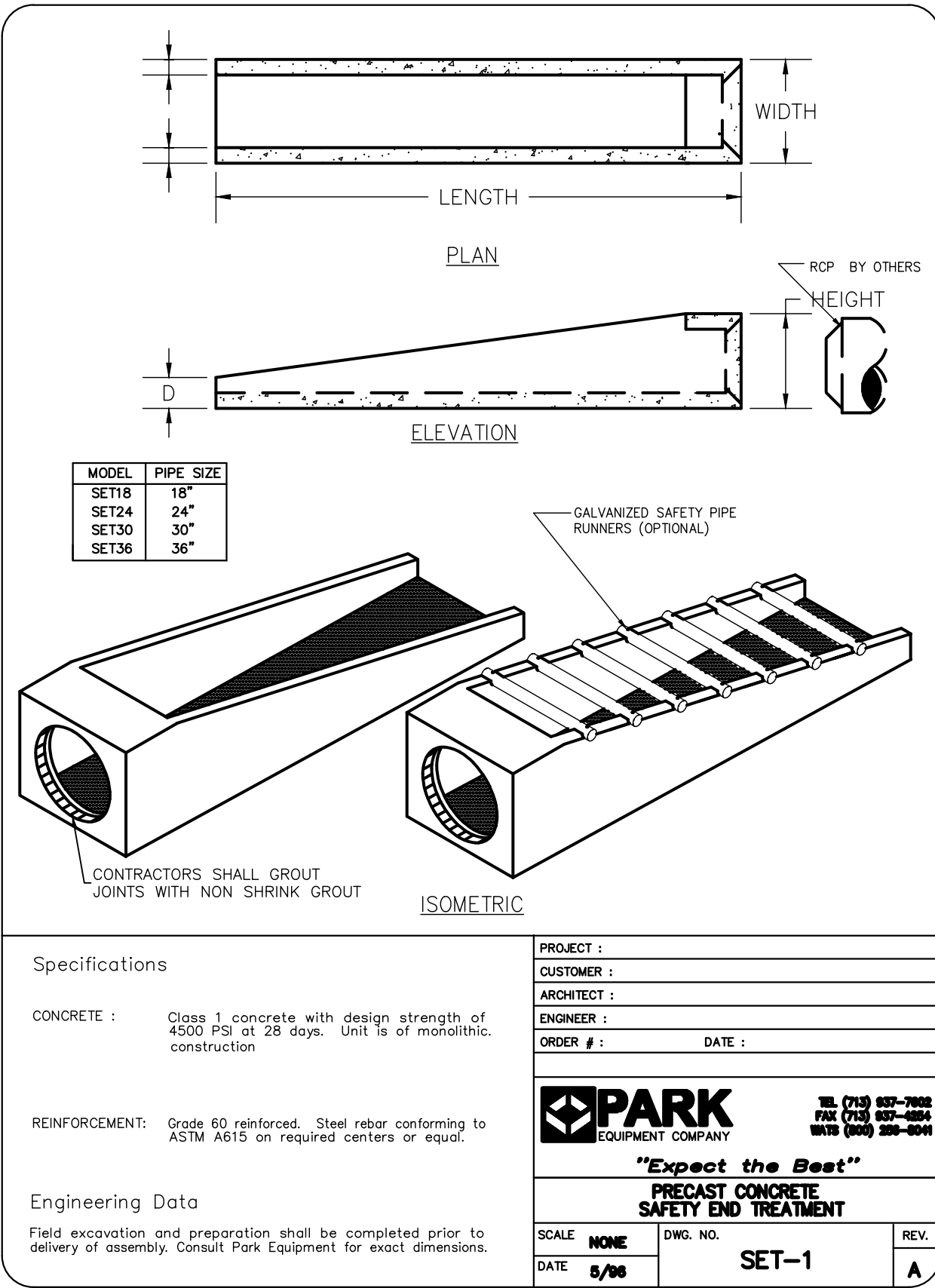
PROJECT NUMBER
1149

SHEET:
6 OF: 7



- SILT FENCING NOTES:
1. POST TO BE AT 3 FT. MAXIMUM SPACING. IF FACTORY PRE ASSEMBLED FENCE WITH SUPPORT NETTING IS USED, SPACING OF POST MAY BE INCREASED TO 6 FT. MAXIMUM.
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHOULD BE OVERLAPPED 6 INCHES AT THE POSTS AND FOLDED.



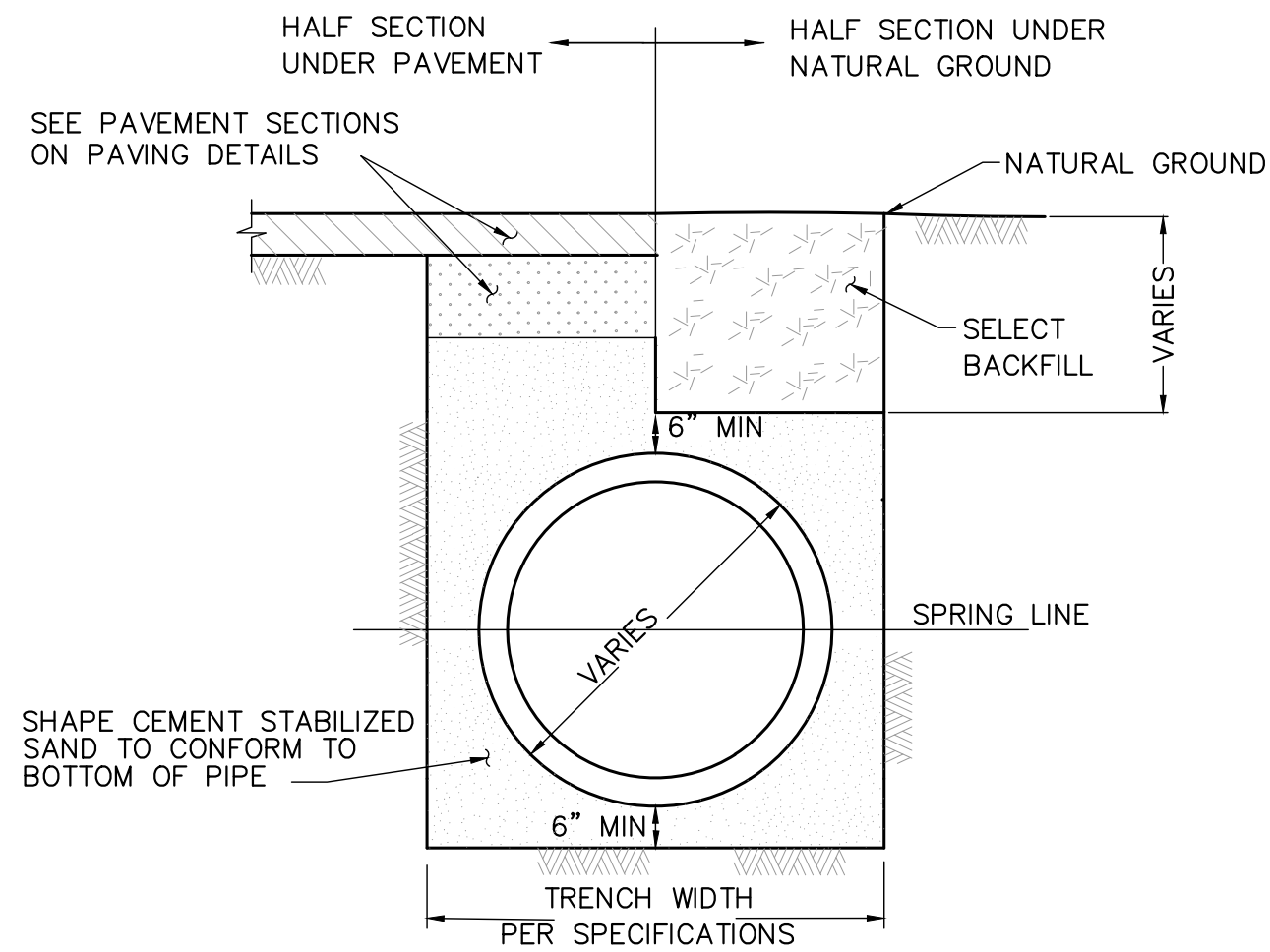
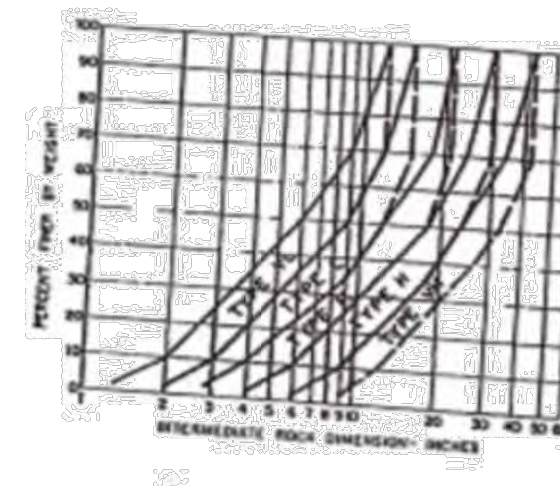


CLASSIFICATION AND GRADATION OF ORDINARY RIPRAP

RIPRAP DESIGNATION	% SMALLER THAN GIVEN SIZE BY WEIGHT	INTERMEDIATE ROCK DIMENSION (INCHES)	d50* (INCHES)
Type VL	70-100 50-70 35-50 2-10	12 9 6 2	6**
Type L	70-100 50-70 35-50 2-10	15 12 9 3	9**
Type M	70-100 50-70 35-50 2-10	21 18 12 4	12
Type H	70-100 50-70 35-50 2-10	30 24 18 6	18
Type VH	70-100 50-70 35-50 2-10	42 33 24 9	24

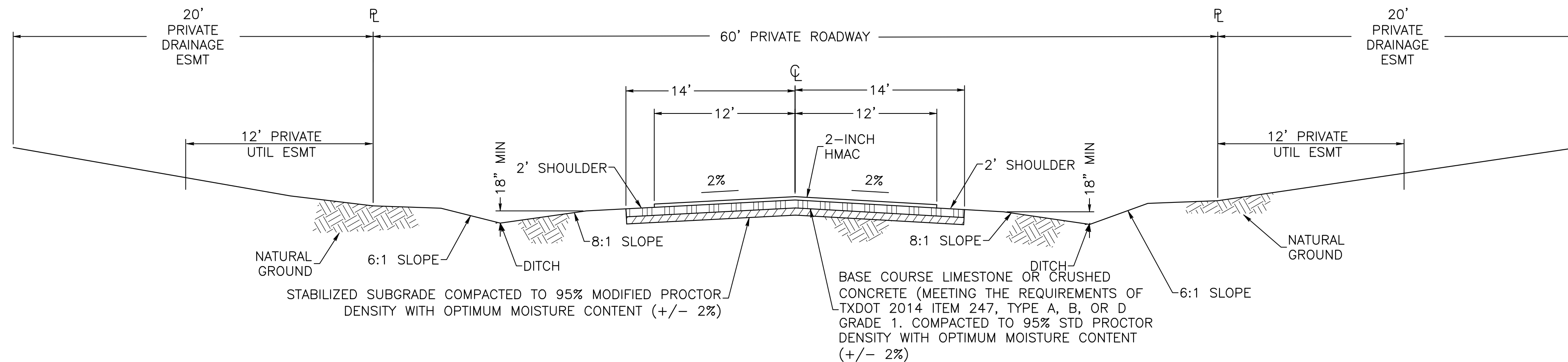
*d₅₀ = mean particle size

**Bury type VL and L with native top soil and revegetate to protect from vandalism.



ON-SITE STORM SEWER BEDDING AND BACKFILL

NTS



TYPICAL STREET SECTION

60' PRIVATE ROADWAY

NTS

NOTES:

- PAVEMENT AND BASE MATERIAL SHALL BE IN ACCORDANCE WITH THE WALKER COUNTY DESIGN STANDARDS. CONTRACTOR SHALL PROVIDE WRITTEN MATERIAL ANALYSIS PER SECTION 5.21 WALKER COUNTY STANDARDS
- HMA SHALL BE TYPE "D" PER TEXAS D.O.T. STANDARD SPECIFICATIONS, ITEM NO. 340.
- HOTMIX AND FLEXIBLE BASE SHALL COMPLY WITH WALKER COUNTY DESIGN STANDARDS SECTIONS 5.17 AND 5.18
- THE GEOTECHNICAL REPORT SHALL INDICATE THE PERCENTAGE OF LIME OR CEMENT REQUIRED FOR SUBGRADE STABILIZATION.
- ROADSIDE DITCH FRONT SLOPES SHALL BE AT 8:1 TYPICAL WITH A MAXIMUM OF 6:1 IN AREAS APPROACHING DRAINAGE CROSSINGS AND STRUCTURES.
- DITCH BACK SLOPES SHALL BE AT 6:1 TYPICAL WITH A MAXIMUM OF 5:1 IN AREAS APPROACHING DRAINAGE CROSSINGS AND STRUCTURES.

REV	DATE
COMMENT	
REV	DATE
COMMENT	
CONSTRUCTION DETAILS	
ANDERSON HILLS	
A PRIVATE SUBDIVISION	
WALKER COUNTY, TEXAS	
SPEAR POINT ENGINEERING, LLC	
TBPE Firm No. 18904 604 W. WOPSHAM STREET Willis, Texas 77378 (936) 256-2626	
PREPARED FOR: JOHN PAUL LAMPSON 1600 NORMAL PARK HUNTSVILLE, TX 77340	
PROJECT NUMBER 1149	
SHEET:	7 OF 7

SPEAR POINT
ENGINEERING, LLC
TBPE Firm No. 18904

Engineer's Opinion of Construction Cost
Anderson Hills
Storm and Paving
December 6, 2021

Item No.	Item Description	Unit Quantity	Unit Measure	Unit Price	Total Cost
BONDING & MOBILIZATION					
1	TPDES General Storm Water Permit	1	EA	\$ 2,500.00	\$ 2,500.00
BONDING & MOBILIZATION TOTAL:				\$	2,500.00
DETENTION					
1	Detention Pond Excavation	1,000	CY	\$ 4.25	\$ 4,250.00
3	Detention Pond Outfall	1	EA	\$ 2,500.00	\$ 2,500.00
4	Hydromulch Seeding of Detention Ponds	0.25	AC	\$ 3,000.00	\$ 750.00
DETENTION TOTAL:				\$	7,500.00
STORM SEWER					
1	18-inch RCP Storm Sewer	60	LF	\$ 70.00	\$ 4,200.00
2	24-inch RCP Storm Sewer	45	LF	\$ 80.00	\$ 3,600.00
3	18-inch Culvert SET	2	EA	\$ 1,200.00	\$ 2,400.00
4	24-inch Culvert headwall	2	EA	\$ 1,600.00	\$ 3,200.00
5	Concrete rip-rap; 6-inch to 12-inch diameter x 24-inch deep	22	SY	\$ 75.00	\$ 1,650.00
6	Roadside Ditch Excavation	100	LF	\$ 1.00	\$ 100.00
STORM SEWER TOTAL:				\$	15,150.00
TEMPORARY EROSION CONTROL					
1	Construction Entrance	1	EA	\$ 2,500.00	\$ 2,500.00
2	Broadcast Seeding of disturbed areas	0.75	AC	\$ 1,500.00	\$ 1,125.00
3	Reinforced Filter Fabric Fencing	132	LF	\$ 1.40	\$ 184.80
TEMPORARY EROSION CONTROL TOTAL:				\$	3,809.80
PAVING					
1	Roadway Excavation	1,290	CY	\$ 4.25	\$ 5,482.50
2	6-inch Subgrade Stabilization and Preparation	3,858	SY	\$ 5.00	\$ 19,290.00
3	TRU-BLN Soil Stabilization blend for Subgrade Stabilization	109	TON	\$ 185.00	\$ 20,165.00
4	8-inch Base Course	3,858	SY	\$ 16.00	\$ 61,728.00
5	2-inch Type D HMA Paving	3,334	SY	\$ 14.00	\$ 46,676.00
6	Street, Stop and Speed Limit Signs	3	EA	\$ 500.00	\$ 1,500.00
7	Furnish and install Pavement Markings	1	LS	\$ 500.00	\$ 500.00
PAVING TOTAL:				\$	155,341.50
TOTALS:					
TOTAL ESTIMATED CONSTRUCTION COST:				\$	184,301.30

This Document is Released for the Purpose of:

General Planning

Under the Authority of:

Engineer: Brett Wyant, P.E.

License No.: 118933



BW
12/06/2021

First National Bank

OF HUNTSVILLE

IRREVOCABLE STANDBY LETTER OF CREDIT NUMBER: 759

July 18, 2022

Credit Number: 759

BENEFICIARY:

Walker County
Danny Pierce, County Judge
And his/her heirs
Huntsville, Texas 77320

FOR ACCOUNT OF:

Double H. Investments, LP
and Peak Interest, Inc.
Huntsville, Texas 77340

AMOUNT: \$184,301.30

EXPIRATION: July 18, 2023

LADIES AND GENTLEMEN:

We hereby establish our Irrevocable Standby Letter of Credit No. 759 in your favor available by your draft(s) drawn on us at Sight for up to the aggregate of \$184,301.30 when accompanied by the following:

1. Dated statement signed by an authorized representative of Walker County certifying that invoice(s) issued to Double H Investments, LP and Peak Interest, Inc. is / are unpaid.
2. Dated copy (ies) of unpaid invoice(s).

This letter of credit shall be valid until July 18, 2023.

Partial drawings are permitted.

Drafts drawn under this credit must be marked "Drawn under First National Bank of Huntsville, Letter of Credit No. 759 dated July 18, 2022."

The original of this Letter of Credit must be presented with any drawing.

We hereby engage with you that the draft(s) drawn under and in compliance with the terms of this credit will be duly honored upon presentation and delivery of the documents as specified.

Except so far as otherwise expressly stated, this documentary credit is subject to the "international Standby Practices" (ISP98) International Chamber of Commerce Publication 590.

Sincerely,


Walter H. Bennett, Jr.
Executive Vice President/COO

THE STATE OF TEXAS

COUNTY OF WALKER

We, Peak Interest, Inc., owners of the property subdivided in the above foregoing map, hereby adopt this plat designating the herein described real property as Anderson Hills, and do hereby make subdivision of said property according to lines, streets, lots, alleys, parks, building lines, and easements therein shown, and dedicate to public use forever all areas shown on on this plat as streets, alleys, parks, and easements except those specifically indicated as private; and does hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades; and does hereby bind ourselves, our successors and assigns to warrant and forever defend the title of the land so dedicated.

Owners hereby certify that is has complied with all applicable regulations of the County of Walker, Texas, and that a rough proportionality exist between the dedications, improvements, and exactions required under such regulations and the projected impact of the subdivision.

WITNESS, our hands in Walker County, Texas this 21, day of June, 2022.

John Paul Lampson
President

STATE OF TEXAS
COUNTY OF WALKER

BEFORE ME, the undersigned authority, on this day personally appeared John Paul Lampson, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 21st day of June, 2022.

Notary Public, County of Walker, State of Texas.

Notary Signature: Michael Arnold



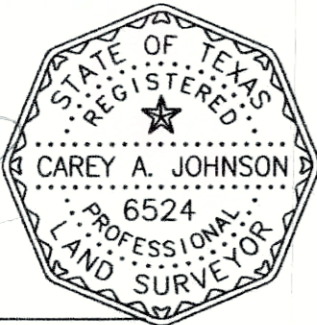
STATE OF TEXAS
COUNTY OF WALKER

I, Kari A. French, County Clerk in and for said county, do hereby certify that this plat was filed for record in my office on the ___ day of ___, 2022, at ___ o'clock ___, and recorded in Volume ___, Page ___ of the Plat Records of Walker County, Texas.

Kari A. French, County Clerk

SURVEYOR'S ACKNOWLEDGMENT

This is to certify that the undersigned, a registered professional land surveyor of the State of Texas, has platted the above subdivision from an actual survey on the ground; that this plat correctly represents the survey; and that all boundary corners, angle points and points of curvature or tangency are properly monumented.



Carey A. Johnson
Registered Professional Land Surveyor No. 6524

STATE OF TEXAS

COUNTY OF WALKER

This is to certify that the Commissioners Court of Walker County, Texas has on the ___ day of ___, 2022, approved this plat.

Danny Kuykendall
Commissioner Precinct 1

Ronnie White
Commissioner Precinct 2

Bill Daugette
Commissioner Precinct 3

Jimmy D. Henry
Commissioner Precinct 4

Robert D. Pierce
County Judge

STATE OF TEXAS

COUNTY OF WALKER

I, Kari A. French, clerk of the County Court of Walker County, Texas do hereby certify that the foregoing Plat was approved by the Commissioners Court of said County on the ___, day of ___, 2022.

Kari A. French, County Clerk

ENGINEER'S CERTIFICATION

Based upon the calculations made from available data, if the impervious cover (structures, driveways, sidewalks, etc) on each lot does not exceed the following square footages:

Lot 1 - 10,000 s.f. Lot 2 - 10,000 s.f. Lot 3 - 10,000 s.f.
Lot 4 - 10,000 s.f. Lot 5 - 10,000 s.f. Lot 6 - 10,000 s.f.

then the existing detention on the property will be sufficient. However, if the impervious cover of the lots listed above exceeds these amounts, then further study will be necessary and possible drainage/detention improvements may be required in accordance with current local, state and federal regulations including the Walker County Subdivision Regulations. Local approval or allowance must be given by Walker County in writing prior to the alteration of drainage infrastructure. It is the responsibility of the lot owners to comply with any local, state an federal regulations or limitations noted above. Permits issued by Walker County for development do not act as a waiver or variance of the owner's responsibility to provide excess runoff and drainage created by permitted development.

I, Brett Wyant, licensed Professional Engineer No. 118933 in the State of Texas, hereby certify that proper engineering consideration has been given this plat regarding design, construction and layout of public improvements.

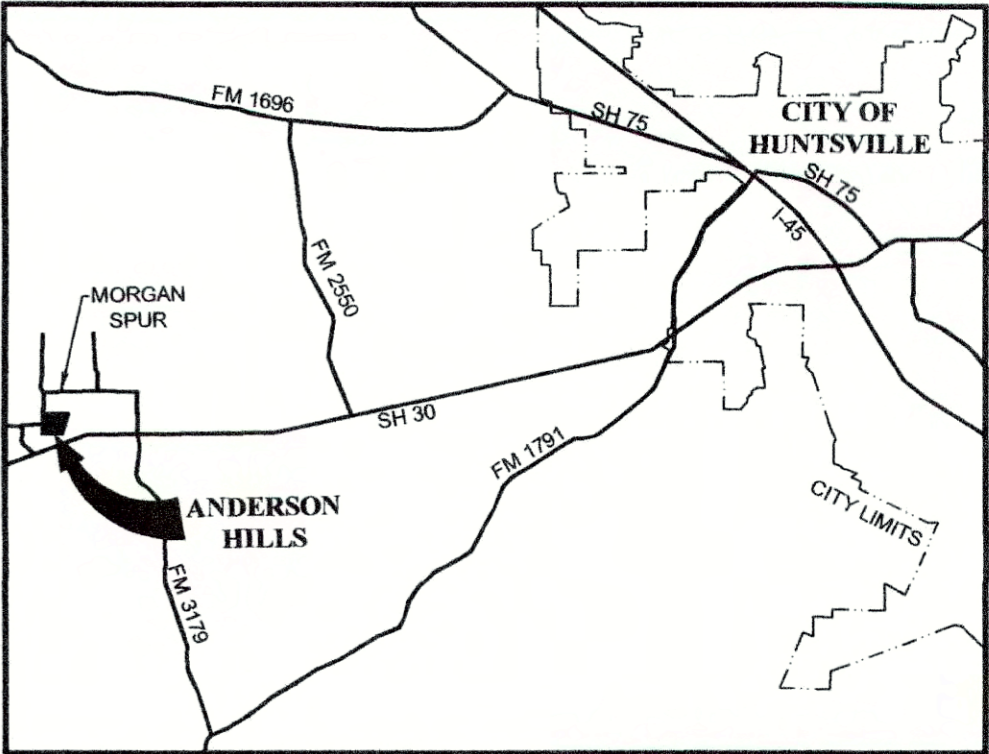
Dated this 20 day of June, 2022.

BY: Brett Wyant, P.E.
Spearpoint Engineering, LLC
TPBE Firm No. 18904



DRAINAGE & DETENTION

All owners of lots within the subdivision shall have the responsibility of complying with the Walker County Subdivision Regulations' policies on drainage runoff due to the development of impervious areas created through the development of the lot for residential, commercial or recreational use. If detention of water is necessary in order to comply with local, state or federal regulations, including but not limited to the Walker County Subdivision Regulations, then the owner may be able to accomplish compliance with said policies through creating detention on a single lot, multiple lots or the entire subdivision depending on the circumstances involved and the owner's ability to obtain the cooperation of others in the subdivision.



VICINITY MAP
(NOT TO SCALE)

ANDERSON HILLS

BEING A PRIVATE SUBDIVISION OF 67.91 ACRES SITUATED IN THE CYRUS WICKSON, SURVEY, ABSTRACT NO. 577, GEORGE ROBBINS SURVEY, A-458, AND THE WILLIAM ROBINSON SURVEY, ABSTRACT NO. 461, BEING A PORTION OF A CALLED 299.088 ACRE TRACT AS RECORDED IN INSTRUMENT NUMBER 49697 OF THE OFFICIAL RECORDS OF WALKER COUNTY, TEXAS.

CONTAINING 6 LOTS 1 BLOCK

JUNE 2022

OWNER
PEAK INTEREST, INC
1600 NORMAL PARK
HUNTSVILLE, TEXAS 77320

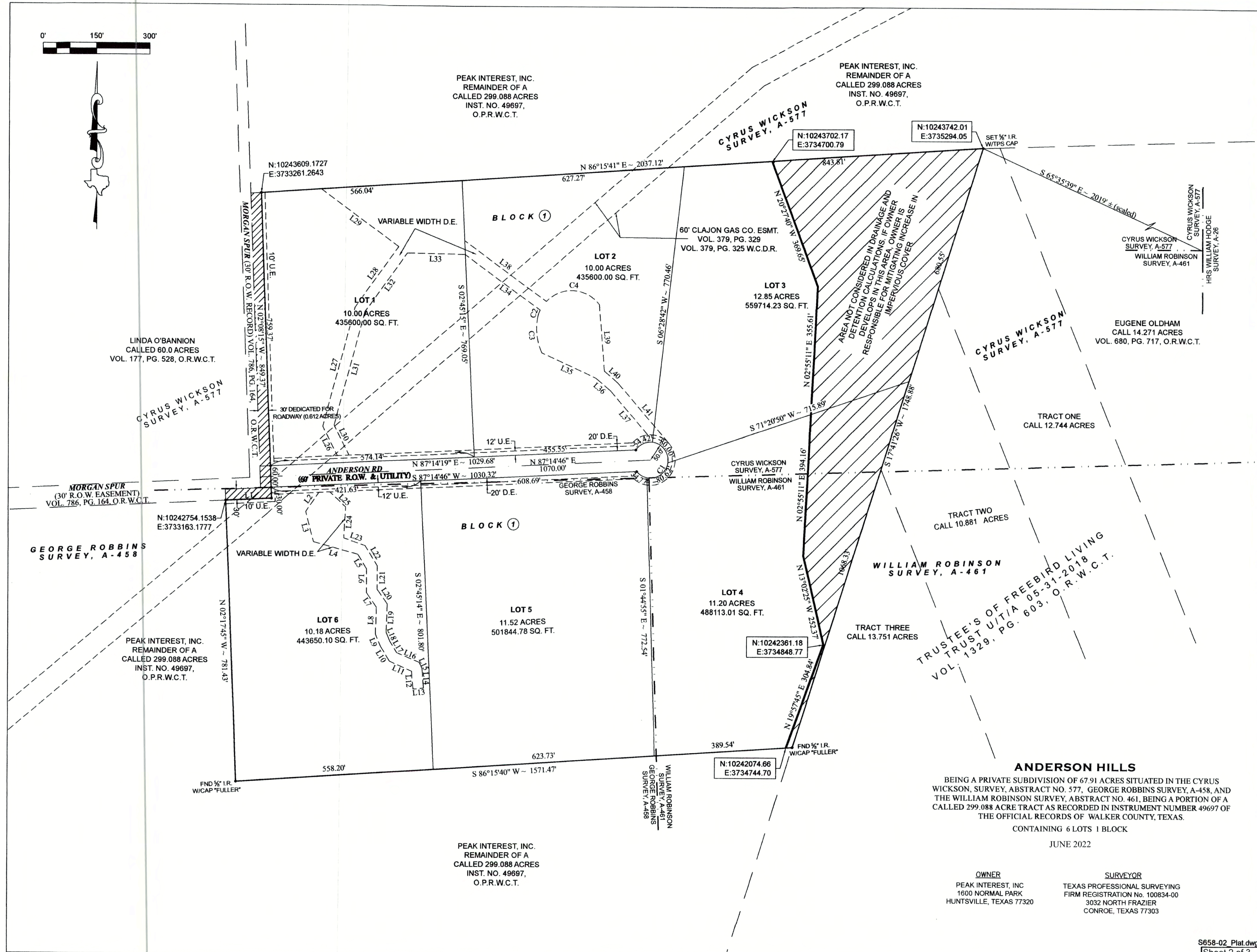
SURVEYOR
TEXAS PROFESSIONAL SURVEYING
FIRM REGISTRATION No. 100834-00
3032 NORTH FRAZIER
CONROE, TEXAS 77303

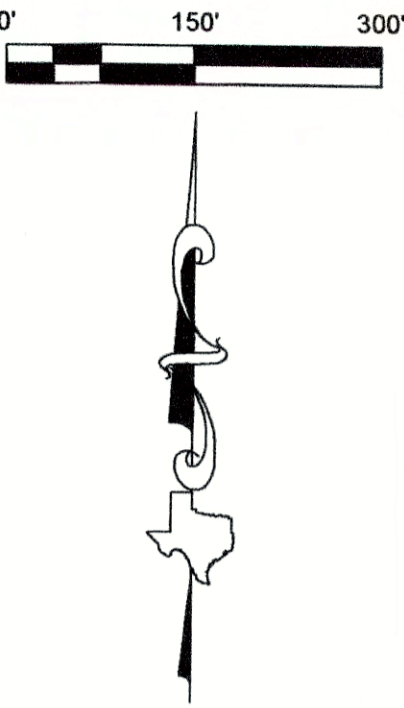
General Notes:

- 1) U.E. INDICATES "UTILITY EASEMENT"
- 2) B.L. INDICATES "BUILDING LINE"
- 3) VOL. INDICATES "VOLUME"
- 4) PG. INDICATES "PAGE"
- 5) R.O.W. INDICATES "RIGHT-OF-WAY"
- 6) O.R.W.C.T. INDICATES "OFFICIAL RECORDS WALKER COUNTY TEXAS"
- 7) W.C.D.R. INDICATES "WALKER COUNTY DEED RECORDS"
- 8) All coordinates shown hereon are grid and referenced to the Texas State Plane Coordinate System (NAD83), Texas Central Zone No. 4203 and may be converted to surface by multiplying by the combined scale factor of 1.000112922.
- 9) Bearings shown hereon are based on GPS Observations and are referenced to the Texas State Plane Coordinate System (NAD83), Central Zone (4203). All distances shown are grid.
- 10) Subject property shown hereon is located in Zone "X", does not lie within the 100 year flood plain, according to FEMA Community Panel No. 48471C0325D, with an effective date of 08/16/11.

Drainage Acceptance Note

All lots within the subdivision and the owners thereof must continue to accept all existing drainage flows and drainage structures in place at the time of development which are a part of or necessary to the public roads infrastructure or public system of drainage, in addition to all natural flows of water entering onto or crossing the property.





Line Table		
LINE	BEARING	DISTANCE
L1	N 87°14'46" E	129.92'
L2	S 35°01'06" W	65.02'
L3	S 15°08'33" E	85.92'
L4	S 74°25'39" E	130.65'
L5	S 30°59'40" E	47.20'
L6	S 00°00'00" E	66.34'
L7	S 34°53'39" E	49.02'
L8	S 01°58'45" W	74.17'
L9	S 22°43'42" E	36.14'
L10	S 31°29'29" E	49.48'
L11	S 66°21'23" E	67.92'
L12	S 05°04'01" E	50.00'
L13	N 84°55'59" E	30.00'
L14	N 05°04'01" W	55.25'
L15	N 24°54'09" W	18.81'
L16	N 67°25'55" W	68.46'
L17	N 31°29'29" W	37.45'
L18	N 22°43'42" W	27.27'
L19	N 01°58'45" E	77.60'
L20	N 34°53'39" W	49.59'
L21	N 00°00'00" W	65.22'
L22	N 30°59'40" W	66.46'
L23	N 71°04'36" W	63.68'
L24	N 03°20'38" E	86.03'
L25	N 47°28'16" W	61.22'
L26	N 26°56'51" W	91.49'
L27	N 15°18'44" E	344.85'
L28	N 35°54'36" E	207.25'
L29	N 54°05'24" W	270.65'
L30	N 26°56'51" W	93.37'
L31	N 15°18'44" E	327.81'
L32	N 35°54'36" E	201.80'
L33	S 88°50'27" E	162.91'
L34	S 53°58'31" E	261.51'
L35	S 65°34'54" E	169.02'
L36	S 49°15'44" E	53.78'
L37	S 40°43'45" E	161.18'
L38	S 53°58'31" E	285.07'
L39	S 04°26'52" E	184.88'
L40	S 49°15'37" E	51.88'
L41	S 40°43'45" E	219.26'

Curve Table					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	50.00'	249.81'	286°15'37"	N 02°45'14" W	60.00'
C2	98.91'	16.46'	9°31'58"	S 21°30'54" W	16.44'
C3	161.34'	105.38'	37°25'25"	S 06°06'53" E	103.52'
C4	98.91'	170.71'	98°53'03"	S 86°49'42" E	150.30'

ANDERSON HILLS

BEING A PRIVATE SUBDIVISION OF 67.91 ACRES SITUATED IN THE CYRUS WICKSON, SURVEY, ABSTRACT NO. 577, GEORGE ROBBINS SURVEY, A-458, AND THE WILLIAM ROBINSON SURVEY, ABSTRACT NO. 461, BEING A PORTION OF A CALLED 299.088 ACRE TRACT AS RECORDED IN INSTRUMENT NUMBER 49697 OF THE OFFICIAL RECORDS OF WALKER COUNTY, TEXAS.

CONTAINING 6 LOTS 1 BLOCK

JUNE 2022

OWNER
PEAK INTEREST, INC
1600 NORMAL PARK
HUNTSVILLE, TEXAS 77320

SURVEYOR
TEXAS PROFESSIONAL SURVEYING
FIRM REGISTRATION No. 100834-00
3032 NORTH FRAZIER
CONROE, TEXAS 77303

VARIANCE REQUEST TO ON-SITE SEWAGE FACILITY REGULATIONS OF WALKER COUNTY, TEXAS

Copy all pages of this form and all attachments for (1) community official, (2) building owner.
If any section is not applicable to the proposed development project please mark that section "NA"

SECTION A – PROPERTY INFORMATION		FOR COUNTY USE ONLY
A1. Property Owner's Name FRANKLIN A KONVICKA		Application Number: 2018-0325 2019-0289
A2. Building/Site Street Address <div style="background-color: black; height: 20px; width: 100%;"></div>		Date of Submittal: 8-4-22
City HUNTSVILLE	State TEXAS	ZIP Code 77320
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) CHANDLER #2 9UNPLATTED, LOT 13, ACRES 10.0 A-9 J CARUTHERS PROPERTY ID 10583 GEOGRAPHIC ID 00009-002-0-01300 MAP ID 129E <div style="background-color: black; height: 20px; width: 100%;"></div>		
<p>THE ABOVE NAMED PERMIT APPLICANT DOES HEREBY MAKE AN APPEAL TO THE COMMISSIONER'S COURT OF WALKER COUNTY FOR A VARIANCE TO THE CONDITIONS OF PERMIT APPROVAL, REGULATORY REQUIREMENTS, AND/OR CONSTRUCTION STANDARDS REQUIRED BY THE WALKER COUNTY ON-SITE SEWAGE FACILITY REGULATIONS.</p>		
SECTION B – OTHER VARIANCE		
(All Variance requests need to include the specific variance along with the Section(s) of the Regulation to which they apply)		
B1. A Variance is requested to Section(s) <u>10 (B)</u> of the On-site Sewage Facility Regulations of Walker County, Texas and / or TAC 30, Chapter 285 as follows: MUST BE ONLY ONE HOME ON THE PROPERTY AS PER PROPERTY REQUIREMENTS. 		
SECTION C – JUSTIFICATION AND PRESENTATION OF FACTORS EFFECTING VARIANCE		
(This section must be completed by a Registered Sanitarian or Engineer.)		
C1. Is the variance being requested for a new on-site sewage facility, or for the modification of an existing OSSF? New _____ Existing <u>X</u>		
C2. Has the proposed OSSF been installed prior to the request for or approval of a variance? Yes <u>X</u> Existing _____		

Initial _____

C3. Please explain the cause or reason the variance is being requested (attach additional pages as "Exhibit E"):

PLEASE SEE EXHIBIT E

C4. In the opinion of the below signed Registered Sanitarian or Registered Engineer responsible for the preparation of the planning materials that include the variance, will the on-site wastewater facility including the variant methods or installation measures requested provide conditions that will provide equivalent or greater protection of the public health and the environment by variant means?

Yes _____ No X

Please explain below:

C5. Is the OSSF for which the variance is being requested being installed on an existing small lot or tract created before January 1, 1998?

Yes _____ No X

C6. Is the variance being requested for a separation distance?

Yes _____ No X

If the answer to question C6 is "Yes", then does the below signed Sanitarian or Engineer certify that to the best of his/her knowledge and ability that the provisions of TAC 30, Chapter 285 cannot be met on the site without the grant of a variance?

Yes _____ No _____

CERTIFICATION OF REGISTERED SANITARIAN OR ENGINEER

I, the below signed Engineer / Sanitarian do hereby certify that I have reviewed the planning materials and plans for the subject on-site sewage facility and have answered the questions in Section C to the best of my ability and in conformance with standard principles and practices. I further understand that my professional opinion may be relied upon for the issuance of a variance to the local order pertaining to on-site sewage facilities as it relates to equivalent protection of public health and safety and the environment, and a license to operate a system under said regulations.

Signature of Sanitarian/Engineer	Date	(Seal)
Printed Name of Sanitarian/Engineer	License #	

Initial _____

NOTICE

ALL INSTALLATION AND OPERATION OF THE ON-SITE SEWAGE FACILITY AND/OR ASSOCIATED DEVELOPMENT MUST BE IN STRICT COMPLIANCE WITH THE VARIANCES STATED HEREIN AND OTHER CONDITIONS STATED ON THE DEVELOPMENT PERMIT. ANY VARIATION WILL RESULT IN IMMEDIATE SUSPENSION OR TERMINATION OF THIS VARIANCE AND THE LICENSE TO OPERATE THE ON-SITE SEWAGE FACILITY. FLAGRANT VIOLATION OF THE CONDITIONS OF THIS VARIANCE MAY RESULT IN THE COMMISSIONER'S COURT SEEKING INJUNCTIVE RELIEF, CIVIL, OR CRIMINAL PENALTIES.

WARNING

THE GRANTING OF A VARIANCE IS LIMITED TO THE PERMITTING STANDARDS AND LOCAL REGULATORY STANDARD ONLY. THE APPLICANT ACKNOWLEDGES THAT HE/SHE IS RESPONSIBLE TO ENSURE THAT ANY VARIANCE DOES NOT DAMAGE OR THREATEN THE HEALTH OF OCCUPANTS OR NEARBY PROPERTIES OR PROPERTY OWNERS, AND COMPLIES WITH ALL OTHER MINIMUM LOCAL, STATE, AND FEDERAL REGULATIONS.

DISCLAIMER

THE COMMISSIONER'S COURT OF WALKER COUNTY AND ANY OFFICER OR EMPLOYEE OF WALKER COUNTY ARE NOT LIABLE FOR DAMAGES OR INJURIES RESULTING FROM A PERMIT FOR WHICH THIS VARIANCE IS GRANTED.

I, FRANKLIN A. KONVICKA, do hereby acknowledge that I have reviewed the provisions, warnings, notices, and disclaimers stated above and that I understand them agree with them and intend to comply fully with them. I am fully aware that Walker County is not liable for damages resulting from the use of the on-site sewage facility or regulatory variance as approved for my property or facility. I further accept full responsibility for the risks, if any, associated with this variance. I also certify that the facts presented in this application are true, and that in the event I sell this property or structure in the future, that I will give notice of the variance to the purchaser prior to sale.

Signature of Owner/Applicant

Franklin A Konvicka

Date

7-31-21

SECTION D – ACTION ON VARIANCE BY COMMISSIONER'S COURT

After careful consideration of the reasons for the request of variance, the Commissioner's Court of Walker County, Texas has determined that it is within the scope of Section 13 as outlined in the Walker County Order Adopting Rules for On-Site Sewage Facilities to _____ this request for variance.

This variance will expire in 12 months if the related license to operate is not issued within prior to that date.

Commissioner's Court Signature

Printed Name

Date

We are applying for the Homeowners Maintenance Program and are requesting a variance to be able to perform maintenance on our 2 septic systems.

We have 10 acres. Property is located at [REDACTED] Huntsville, Texas 77320. Property dimensions are approximat 400' x 1100'. We have our main house and 2 cabins on two separate septic systems. Our main house is on the back part of the property, and we have 2 cabins towards the front part of the property. One of the cabins is/will be used as a guest house. The other cabin is a guest house currently but will be used as an office. Because of the slope of the land and the distance of our main house from the cabins, it was recommended that we install two separate septic systems instead of just one. Both systems are about 500' from each other.

Main house has a permitted septic system installed on 8-7-19 permit # 2018-0325.

The 2 cabins are on a separate permitted septic system installed on 8-7-19 permit # 2019-0289.. I own land, house, cabins and both septic systems. I would be maintaining both septic systems if allowed.

Thank you for your consideration

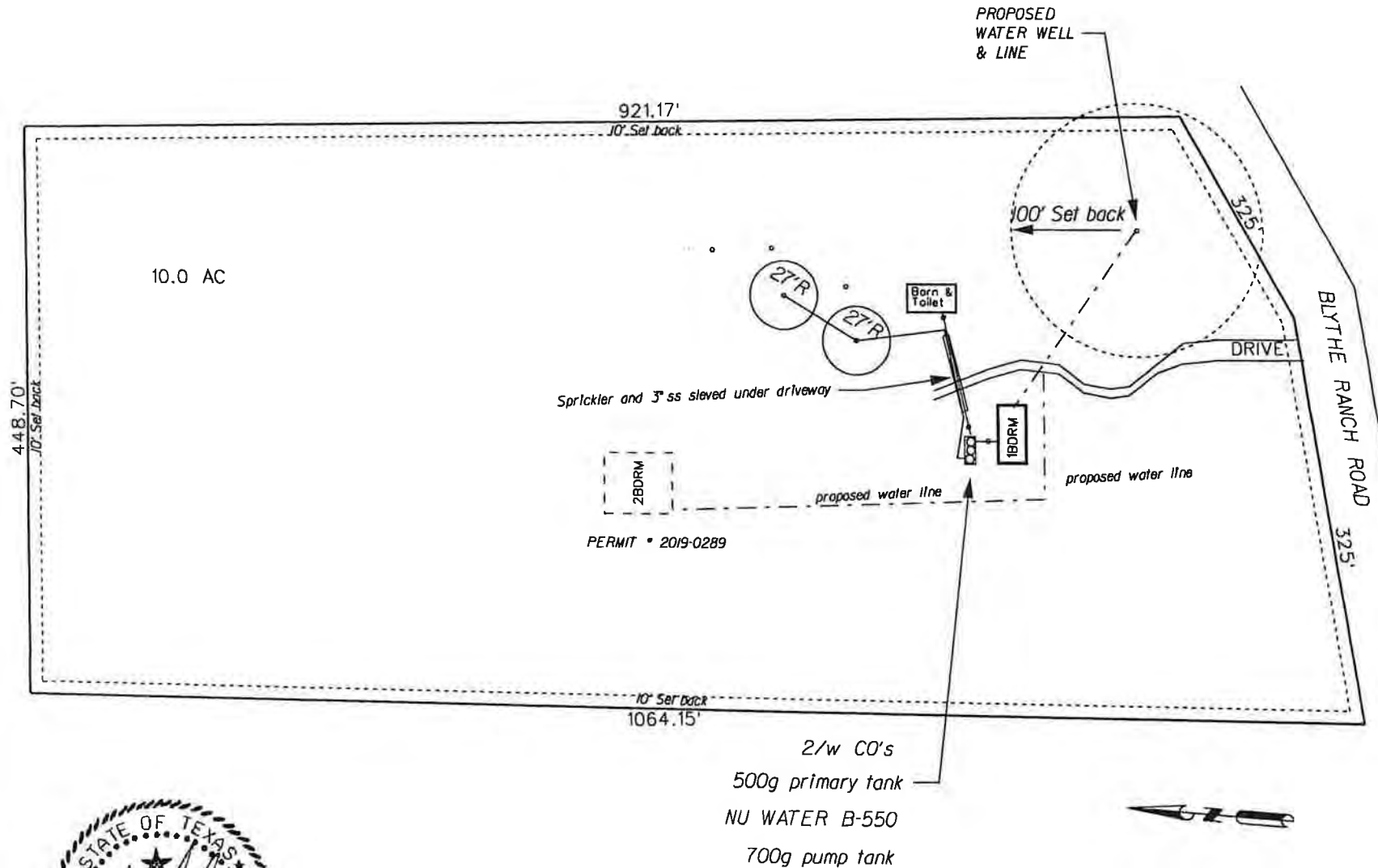
Franklin A Konvicka

[REDACTED]

AS BUILT

NU WATER B-550 SYSTEM,
OR EQUIVALENT.

ATTACHMENT : 'B' SYSTEM DESIGN



• Boring sites

K & B TECH.	(936) 293 1598
REBECCA KONVICKA	
HUNTSVILLE, TEXAS 77320	
1" = 120 FEET	7-8-2019